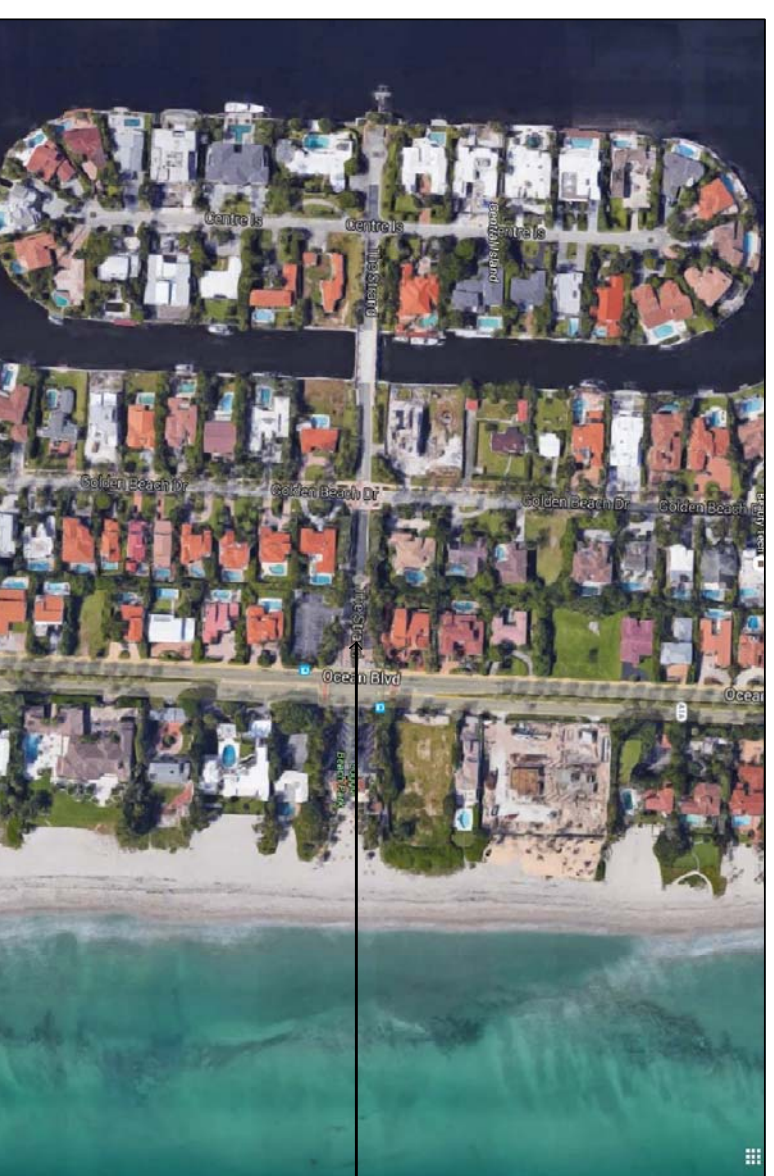


GROUP INC.

ABRAHAM ARVELO, P.E.
ARVELO AND ASSOCIATES INC.
STRUCTURAL ENGINEERS
44597116E UNDEVELOPED SITE
44597116E UNDEVELOPED SITE
(305) 967-7028
STRUCTURAL REG. # 00369566
CERTIFICATE EB-000721

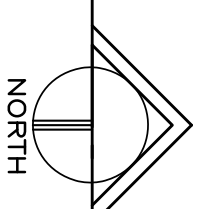
Engineering Design, Inc.
C.A.#: 29235
5690 SW 76th Ave
Miami, FL 33129
Phone: (305) 444-6712
Email: info@edesigninc.com

JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER 12229 SW 132ND COURT, FLORIDA 33186 PHONE: (305)251-7923 FAX: (305)251-7924 AR-0015751/ID-0002171/AA0003560



PROJECT
SITE

LOCATION PLAN



NORTH

GOLDEN BEACH ENTRANCE

THE STRAND

GOLDEN BEACH, FL 33160

ENTRANCE RENOVATION PROPOSAL

NOVEMBER 30, 2016



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- A-1 GATE BUILDING SITE PLAN
- A-2 FIRST & SECOND FLOOR PLANS & ELEVATIONS
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STRUCTURAL

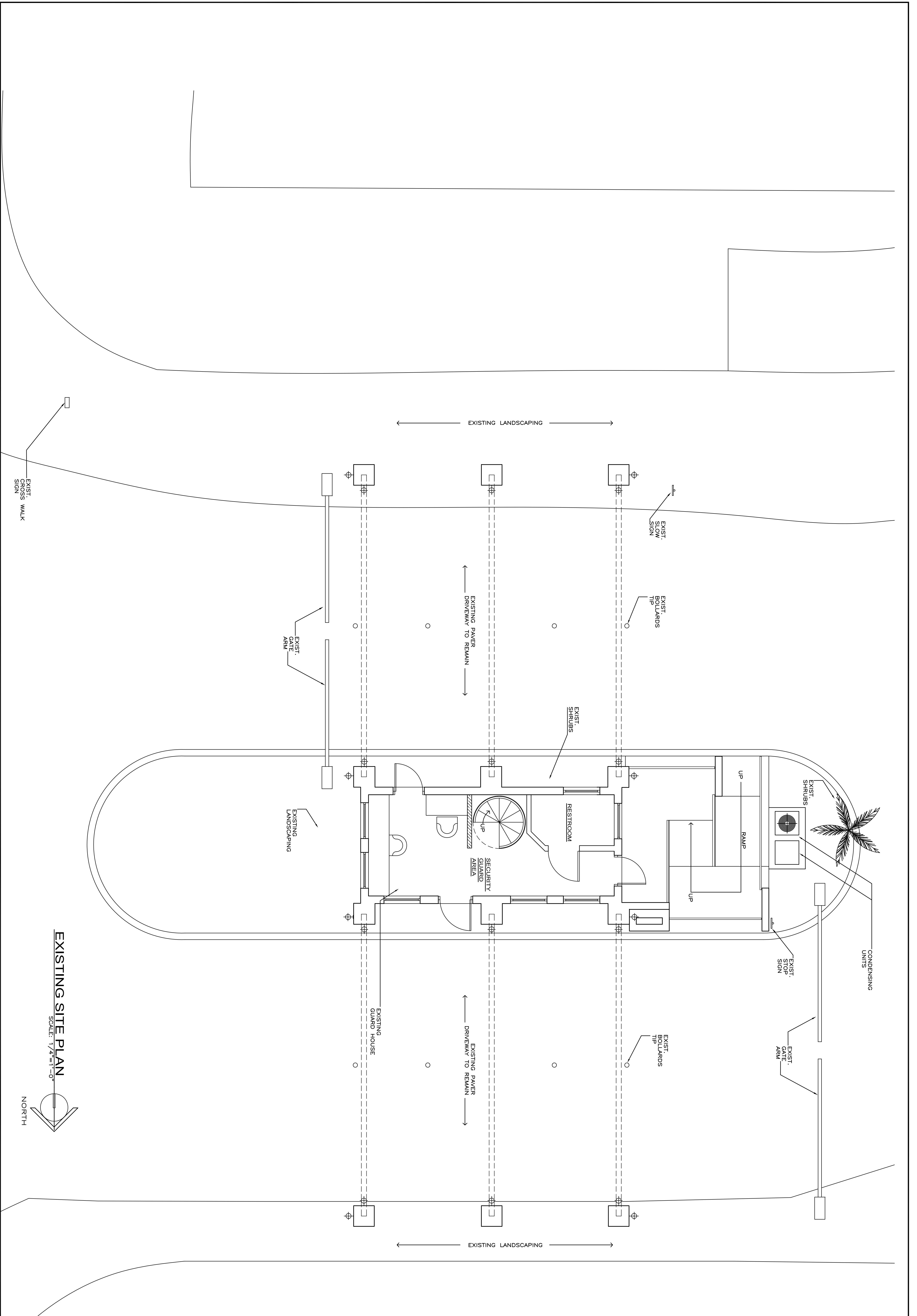
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ELECTRICAL PANEL SCHEDULE, RISER DIAGRAM
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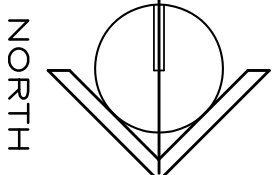
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DIAGRAMS DETAILS

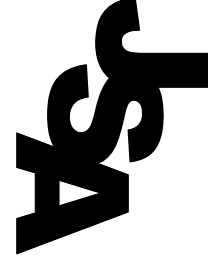


EXISTING SITE PLAN

SCALE: 1/4"=1'-0"



REVISIONS



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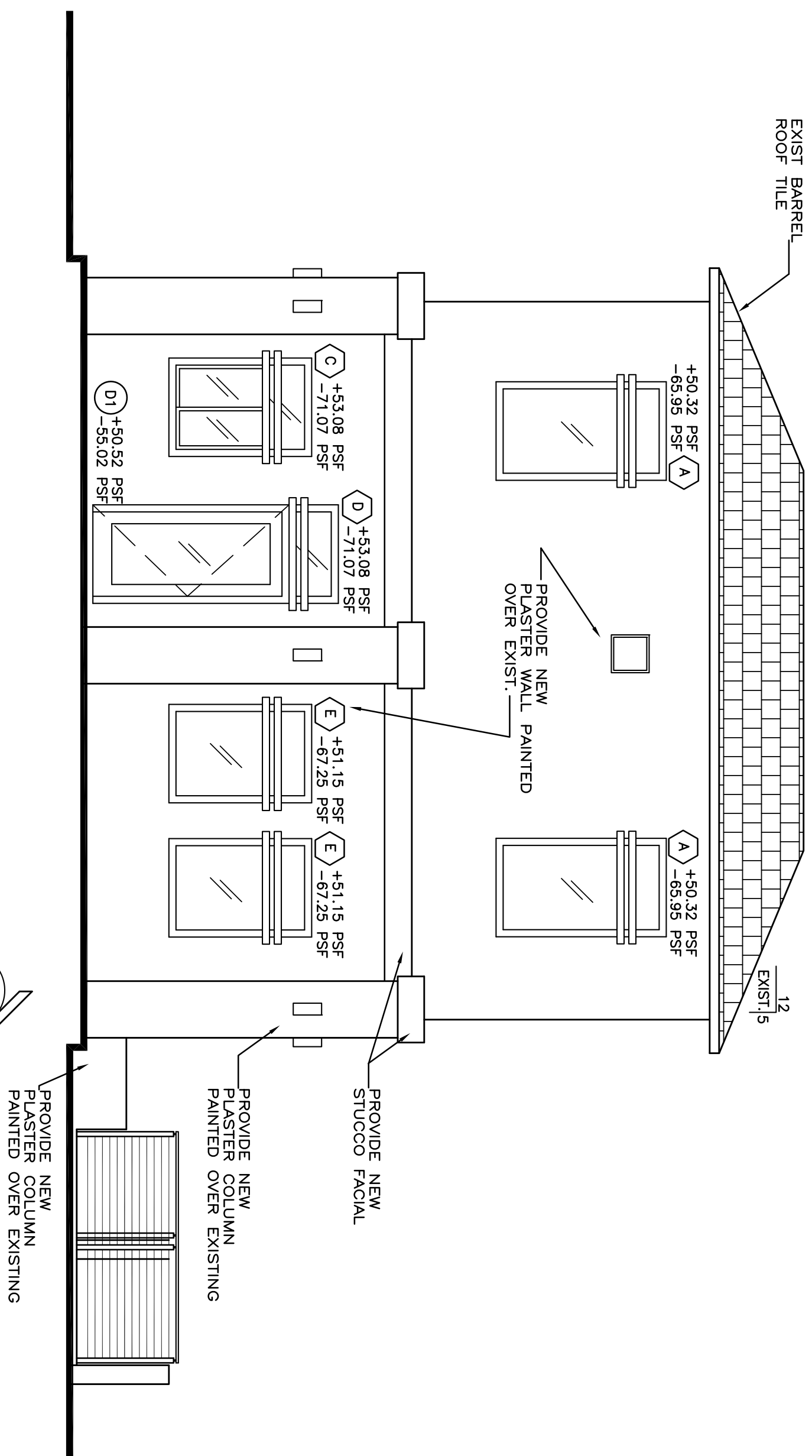
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923
 JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924
 AR-0015751/AA0003560/ID-0002171 julio@jsagroup.net

PROPOSED GOLDEN BEACH GUARDHOUSE RENOVATION:
GOLDEN BEACH ENTRANCE
 THE STRAND
 GOLDEN BEACH, FL 33160

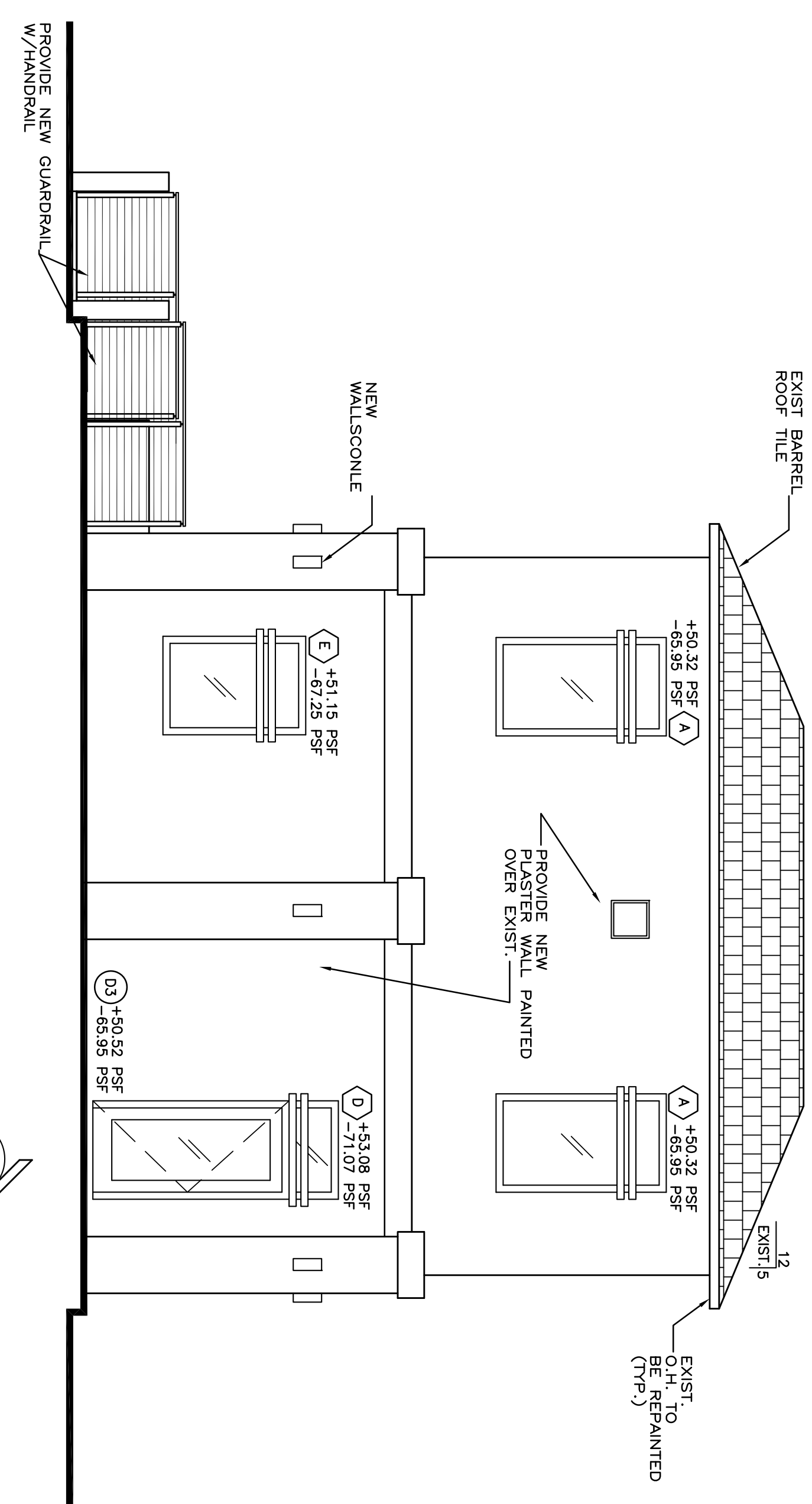
JOB # 16-015
 DRAWN BY: JC
 NOVEMBER 2016

A-1

SEAL
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 NO. 15751
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PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



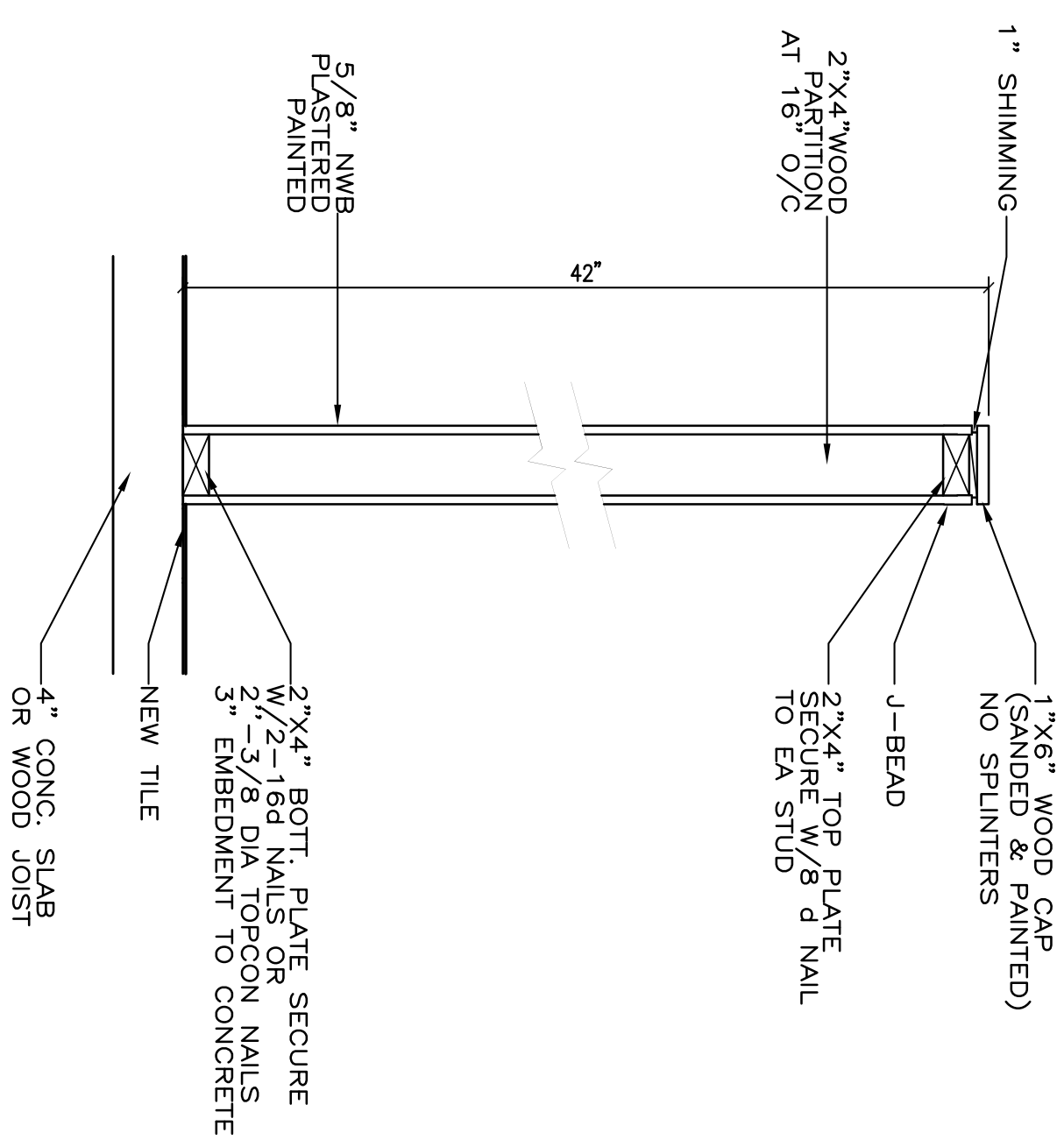
PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"

OCCUPANCY LOAD CALCULATION
CLASSIFICATION AS PER CHAPTER 3 OF F.B.C. 2014
BUSINESS GROUP B
AS PER TABLE 1004.1.1, BUSINESS AREAS, & NFPA 2009 TABLE 7.3.11.2

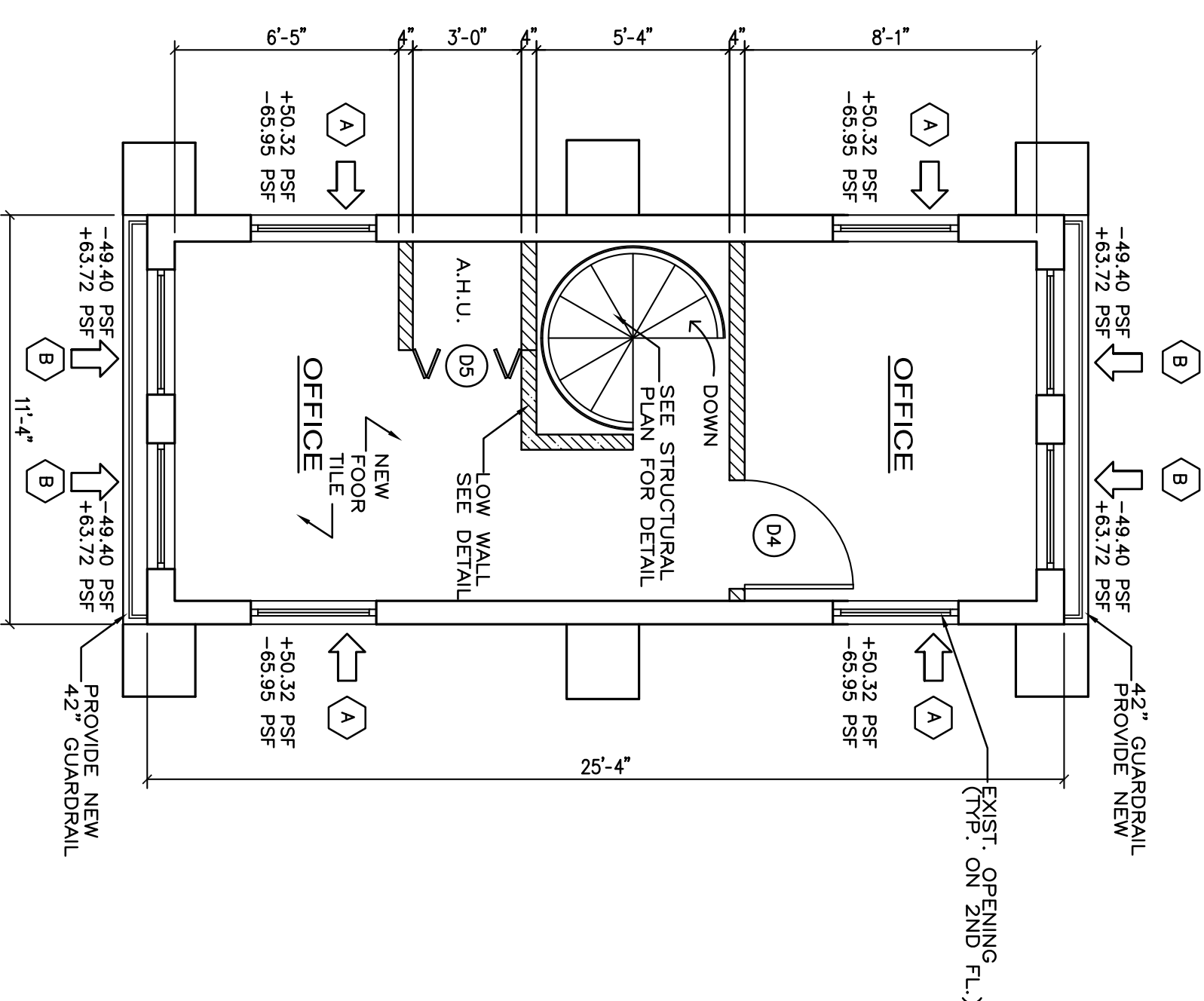
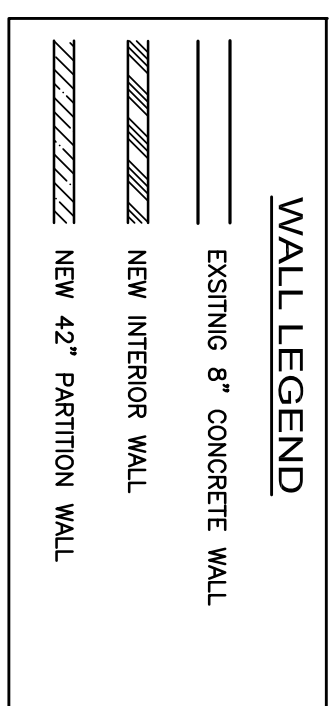
CONSTRUCTION TYPE
TYPE III B
AS PER F.B.C. 2014, BUILDING, SECTION 601.3

ALTERATION LEVEL
LEVEL 2
AS PER F.B.C. 2014, EXISTING BUILDING, SECTION 404

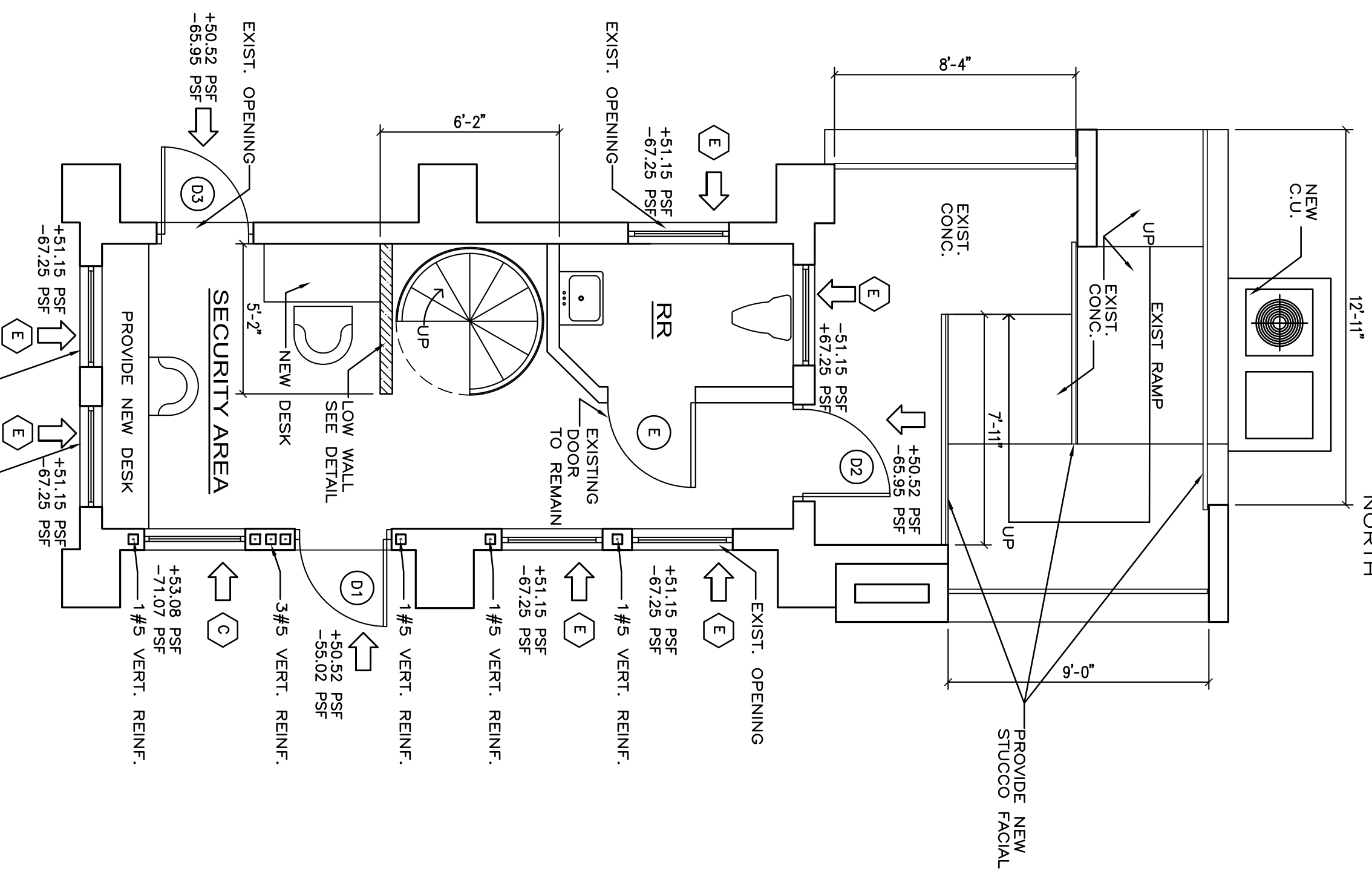
DESIGN DATA
FLORIDA BUILDING CODE 2014
OCCUPANCY GROUP "B" (AS PER SECTION 305.1)
TYPE: I-A (AS PER TABLE 601)
BUILDING COMPLIES WITH FBC 2014, TABLE 503, TYPE IIIA ALLOWABLE HEIGHT AND TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS.



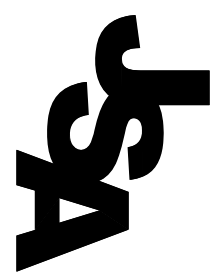
LOW WALL DETAIL
SCALE: 1-1/2" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



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 AR-0015751/AA0003560/ID-0002171 julio@jsagroup.net

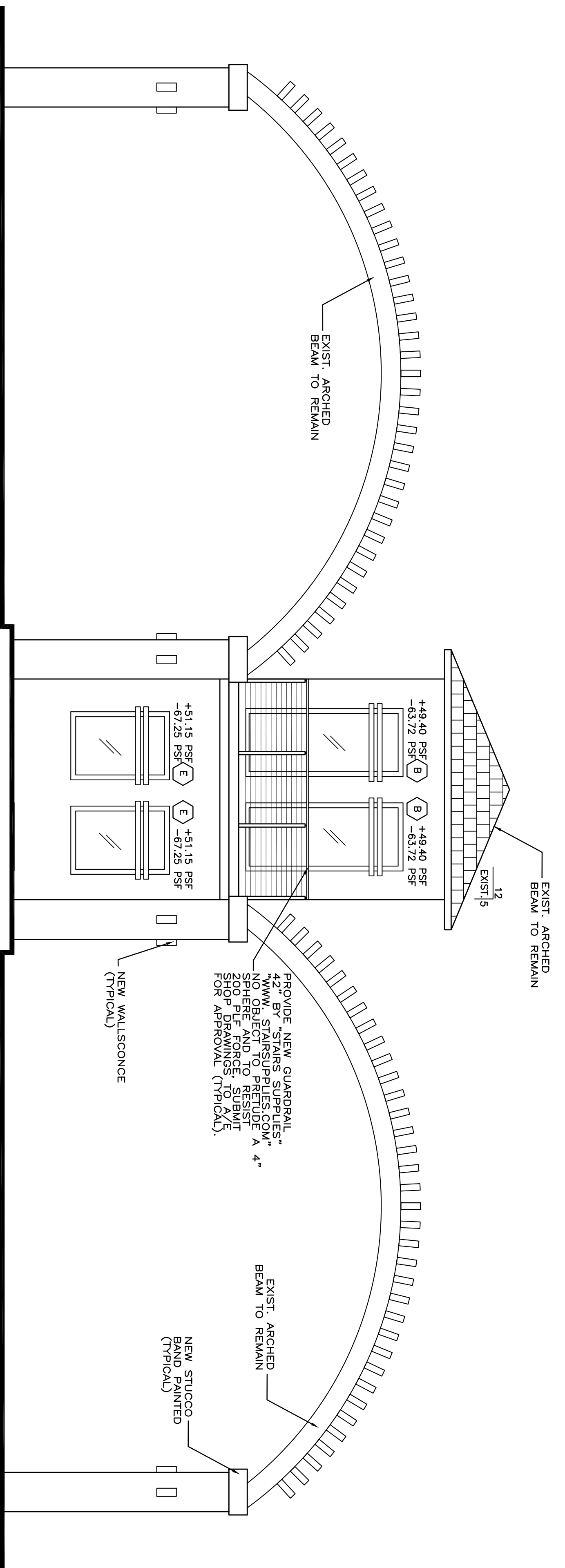
PROPOSED GOLDEN BEACH GUARDHOUSE RENOVATION:
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 THE STRAND
 GOLDEN BEACH, FL 33160

JOB # 16-015
 DRAWN BY: JS
 December 2016

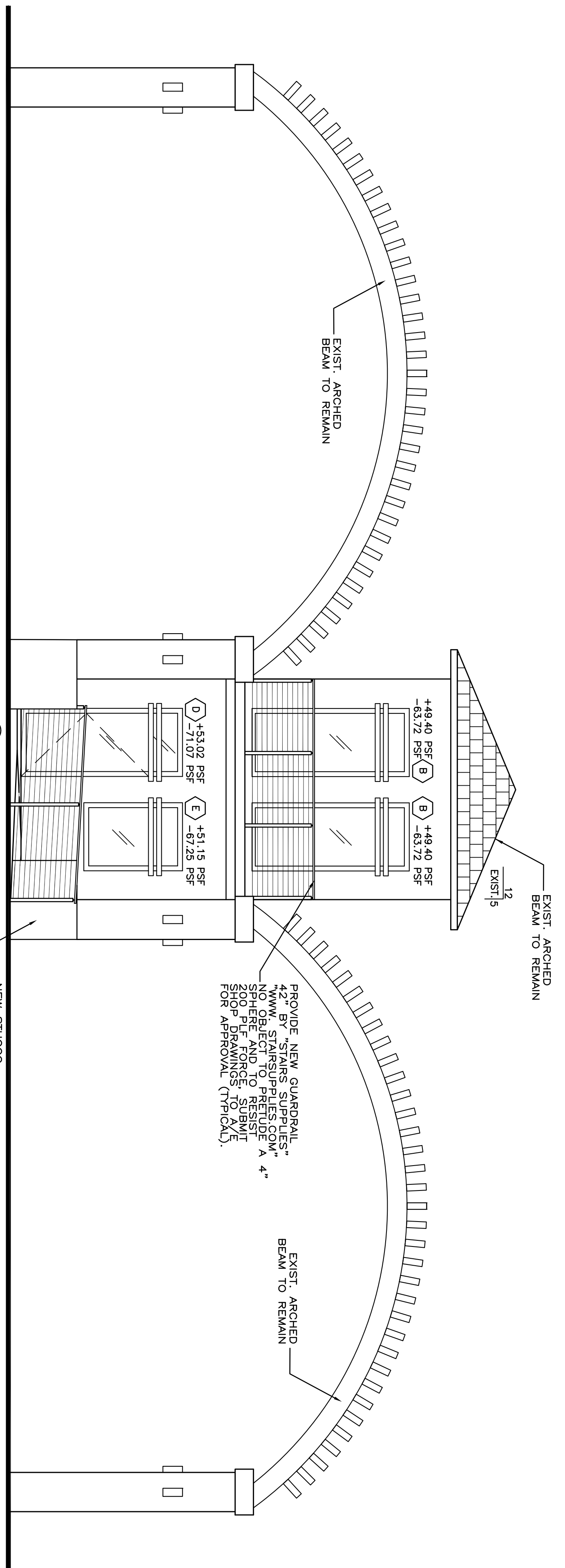
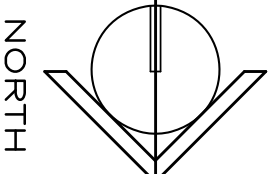
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SEAL

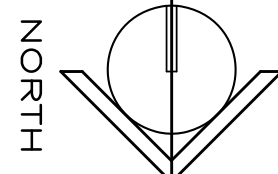
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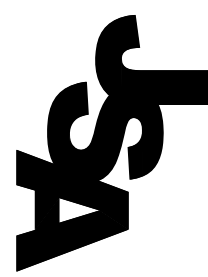


PROPOSED EAST ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED WEST ELEVATION
 SCALE: 1/4"=1'-0"



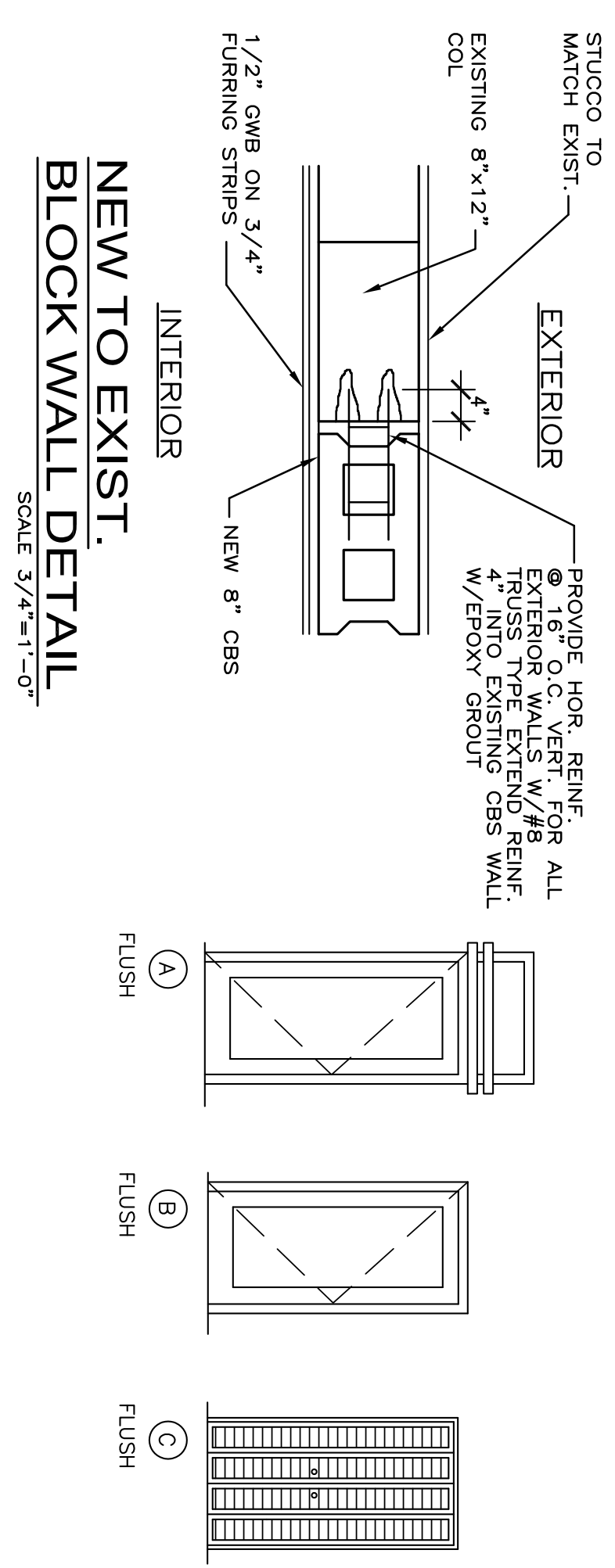
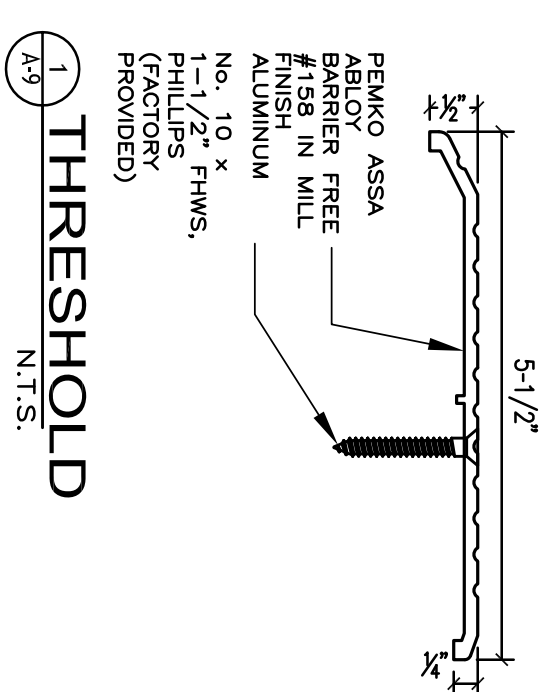


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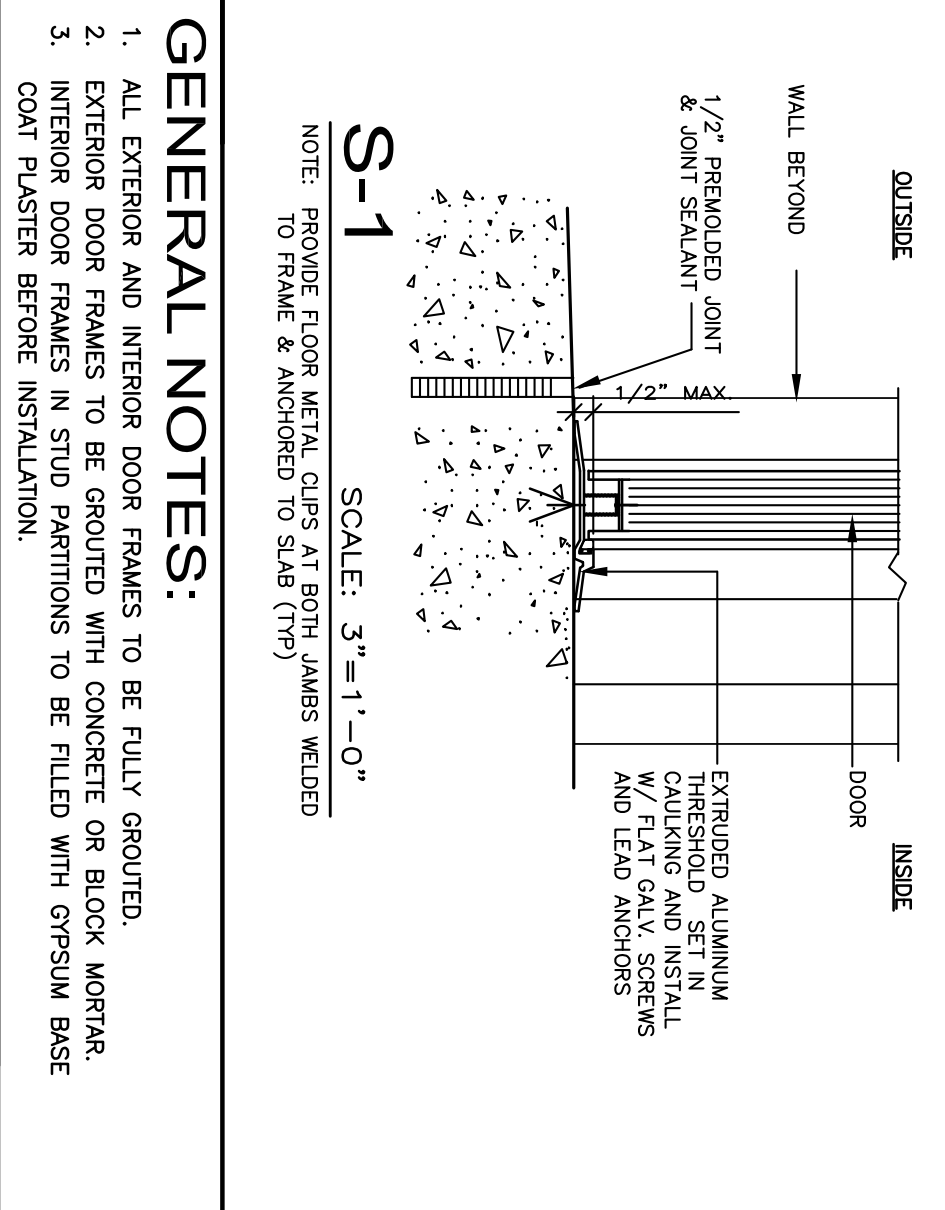
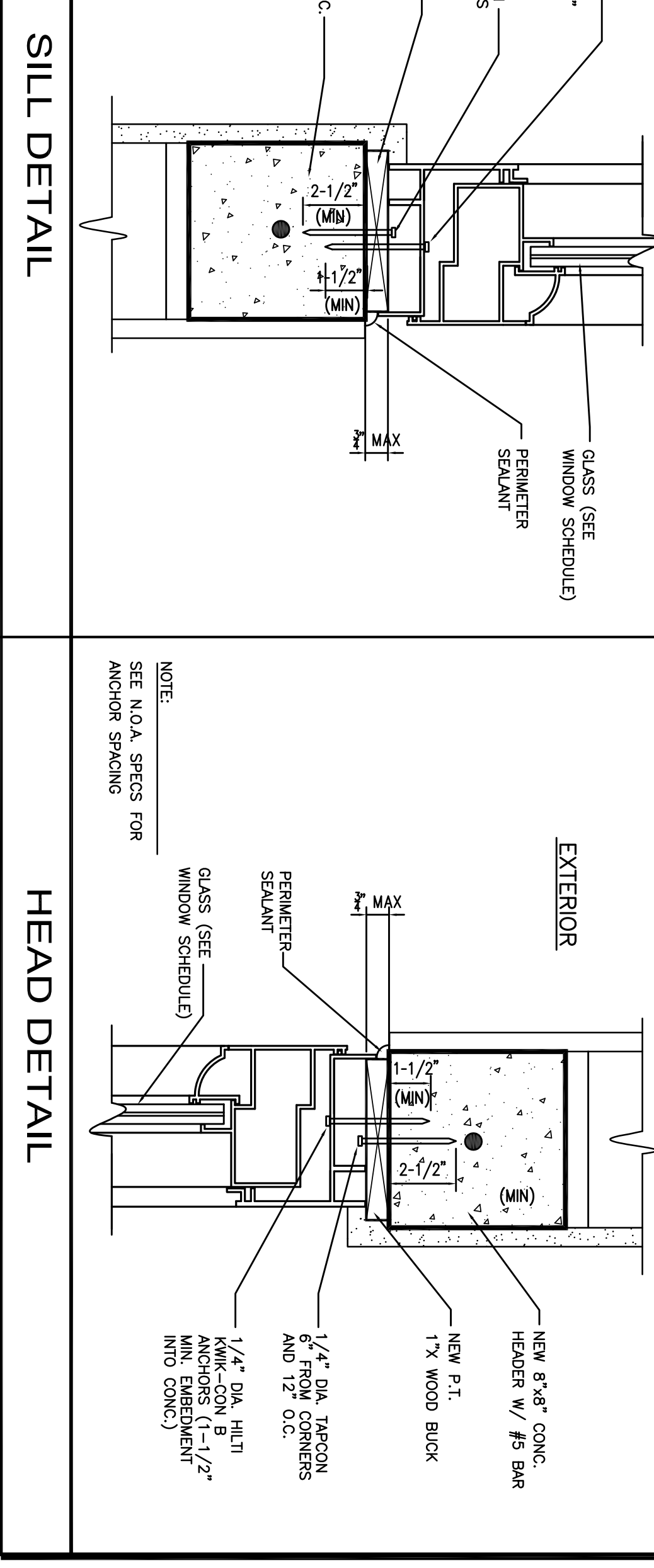
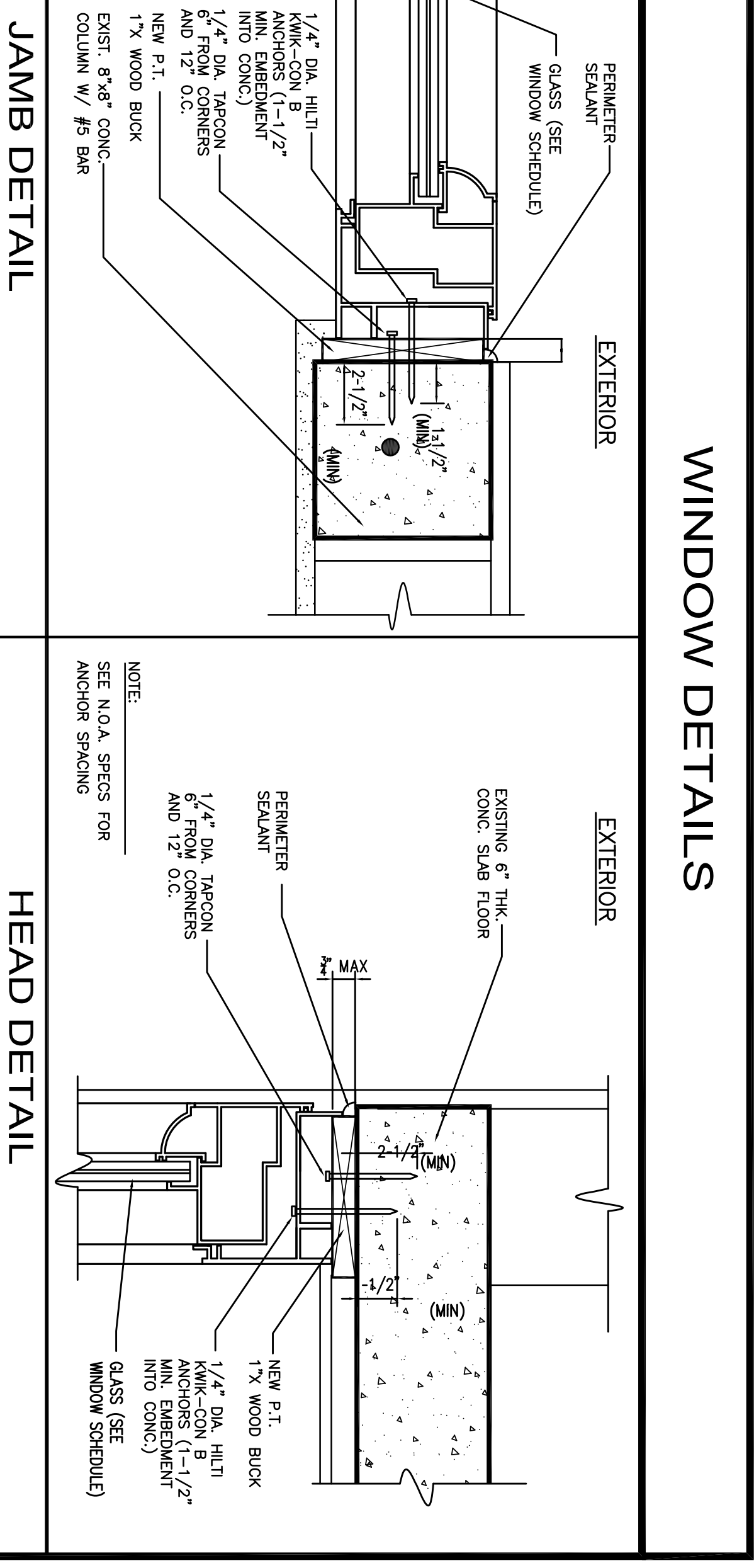
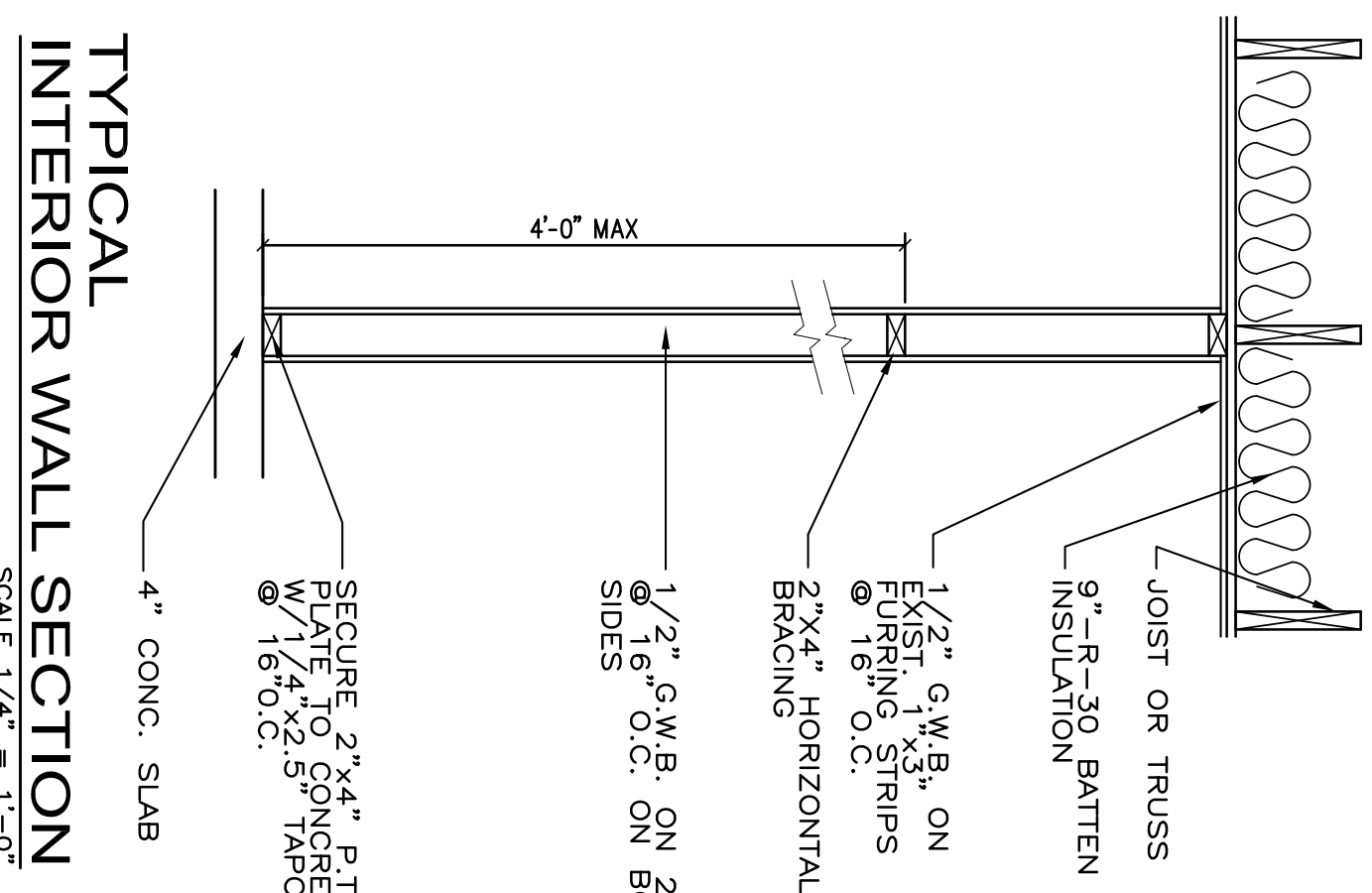
PROPOSED GOLDEN BEACH GUARDHOUSE RENOVATION:
GOLDEN BEACH ENTRANCE
THE STRAND
GOLDEN BEACH, FL 33160
JOB # 16-015
DRAWN BY: JS
NOVEMBER 2016
A-4
SEAL

MARK		DIMENSIONS		MATERIALS		REMARKS	
W.	H.	THICKNESS	DOOR	DETAILS	FRAME	THRESHOLD	
01	A	3'-0"	7'-0"	1-3/4"	ALUMINUM/GLASS	16GA ALUMINUM	STOREFRONT DOOR
02	A	3'-0"	7'-0"	1-3/4"	ALUMINUM/GLASS	16GA ALUMINUM	DOOR TRANSOM WITH IMPACT/TEMPER GLASS.
03	A	3'-0"	7'-0"	1-3/4"	ALUMINUM/GLASS	16GA ALUMINUM	DOOR TRANSOM WITH IMPACT/TEMPER GLASS.
04	B	3'-0"	6'-8"	1-3/8"	ALUMINUM/GLASS	16GA ALUMINUM	DOOR TRANSOM WITH IMPACT/TEMPER GLASS.
05	C	3'-0"	6'-8"	1-1/4"	WOOD	ALUMINUM	DOOR TRANSOM WITH IMPACT/TEMPER GLASS.

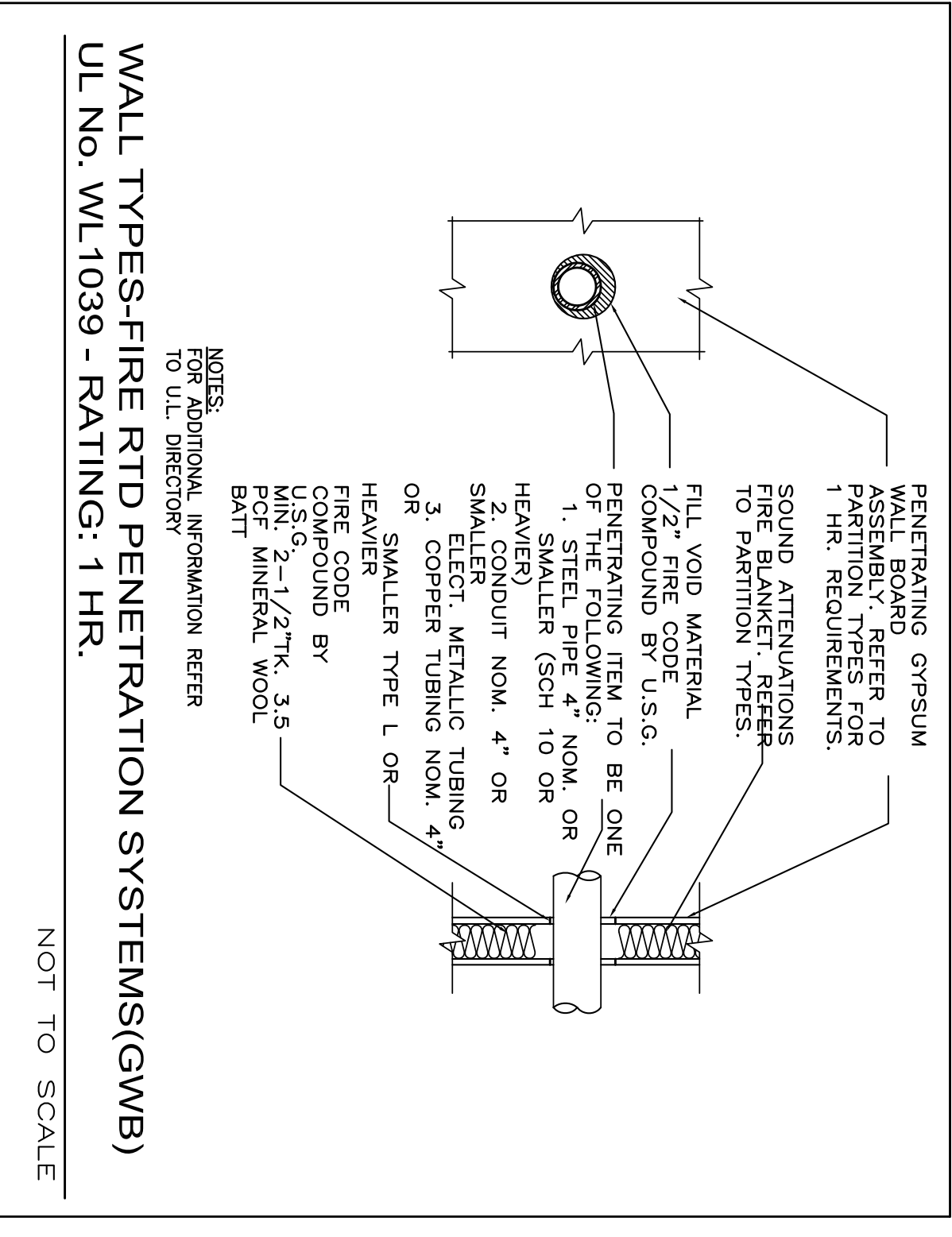
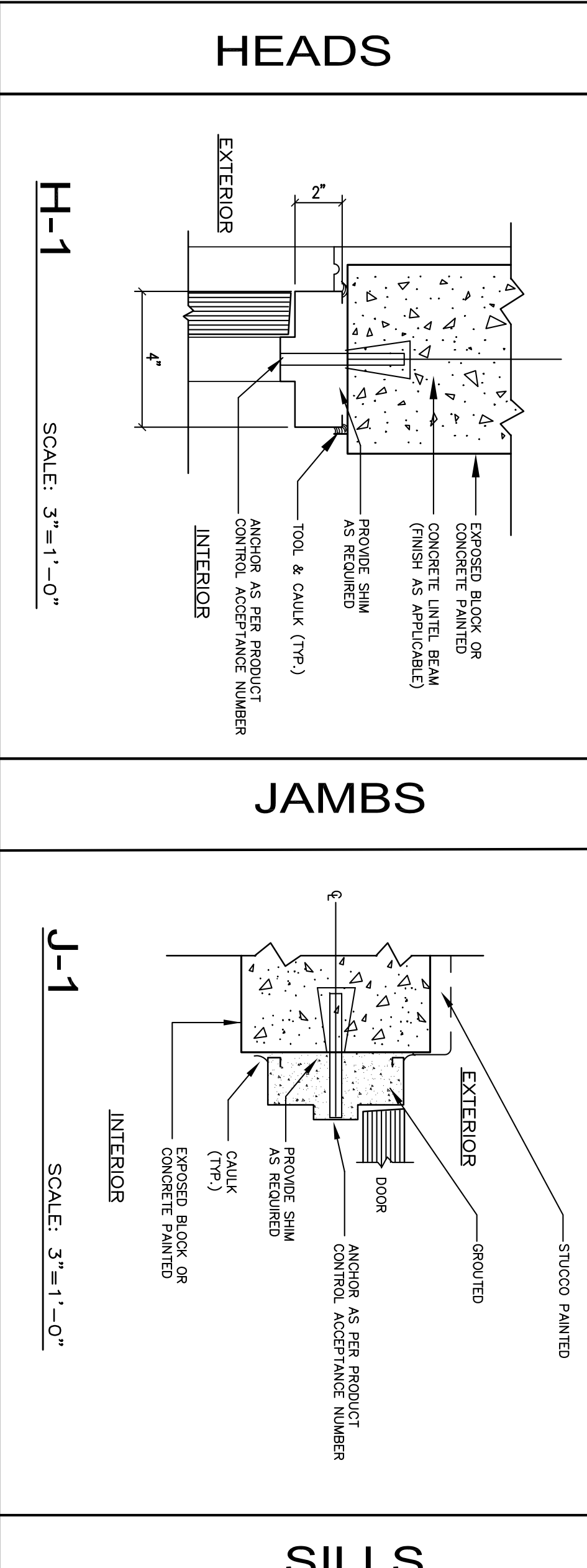


MARK	CODE	QUANTITY	TYPE	WIDTH	HEIGHT	REMARKS
A	CUSTOM	4	FIXED GLASS	42"	72"	IMPACT GLASS
B	CUSTOM	4	FIXED GLASS	42"	100"	IMPACT/TEMPER GLASS
C	CUSTOM	1	SLIDER	42"	60"	IMPACT GLASS
D	CUSTOM	3	TRANSOM (FIXED)	42"	21"	
E	CUSTOM	6	FIXED GLASS	42"	60"	

WINDOW NOTES:
ALL WINDOW FRAME FINISHES SHALL COMPLY WITH FLORIDA BUILDING CODE 2014 WITH REGARDS TO EGRESS REQUIREMENTS AND MINIMUM CLEAR PASSING SPACE. ALL FIXED GLASS SHALL MET 2 SAFETY GLASS. ALL OTHER GLASS (UNLESS NOTED OTHERWISE) SHALL BE STANDARD GRPC TINT.
SUBMITTAL NOTE:
CONTRACTOR TO SUBMIT SHOP DRAWINGS (SUBMITTALS) & MARKS FOR ALL SPECIFICATIONS NOTED ON CONSTRUCTION DOCUMENTS MINIMUM OF (3) COPIES W/SAMPLES



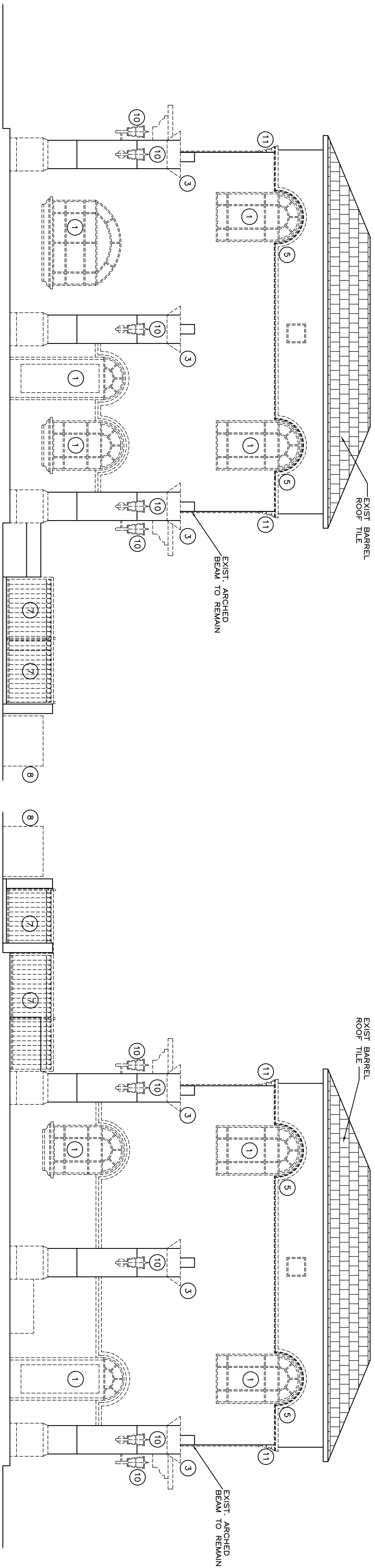
GENERAL NOTES:
1. ALL EXTERIOR AND INTERIOR DOOR FRAMES TO BE FULLY GROUTED.
2. EXTERIOR DOOR FRAMES TO BE GROUTED WITH CONCRETE OR BLOCK MORTAR.
3. EXTERIOR DOOR FRAMES TO BE FINISHED TO BE FILLED WITH GYPSUM BASE COAT PLASTER BEFORE INSULATION.



WALL TYPES-FIRE RTD PENETRATION SYSTEMS(GWB)
UL NO. W1.1039 - RATING: 1 HR.
NOT TO SCALE

1 DOG RUNS DETAILS
SCALE: 3/8"=1'-0"

JULIO SANCHEZ
NO. 15751
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MARKS SHOWN IN THIS BOOK

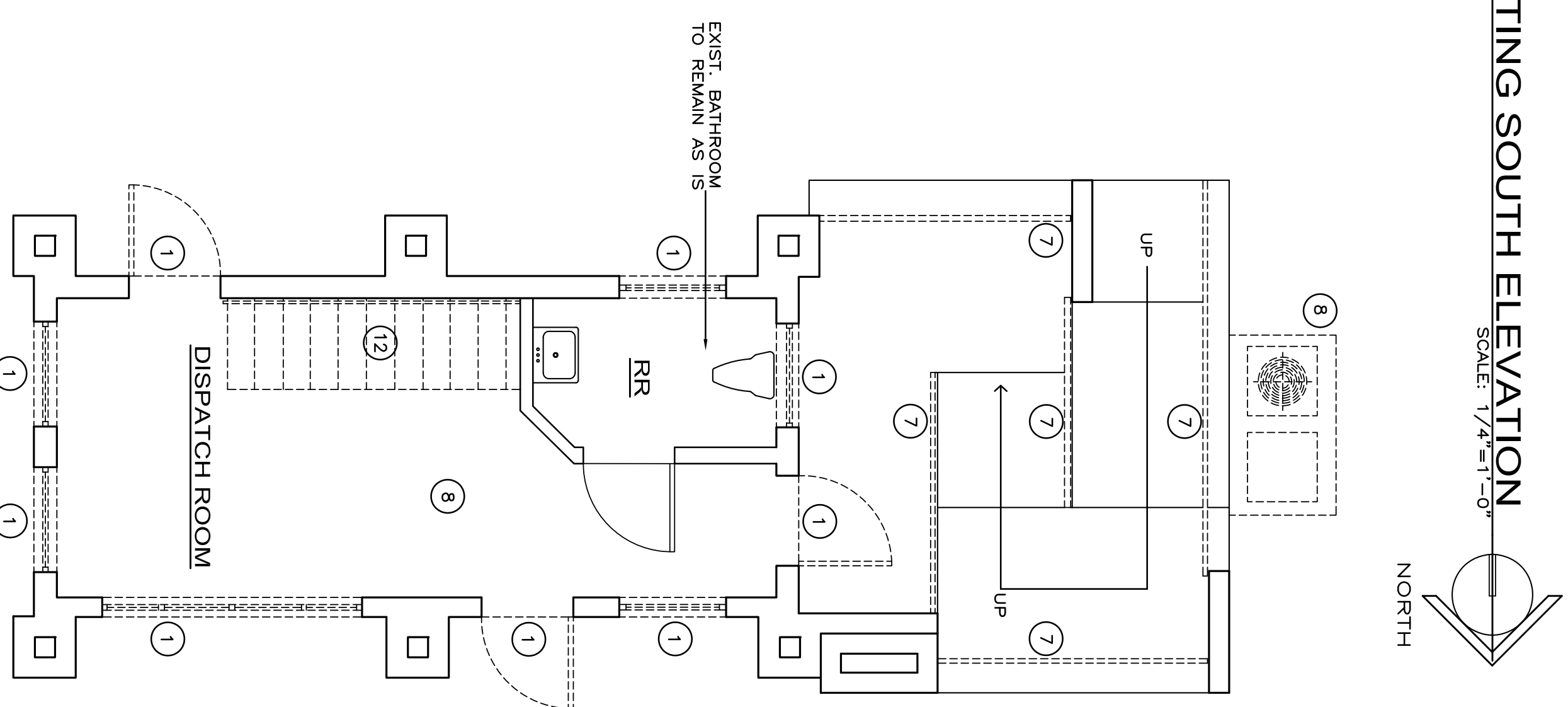
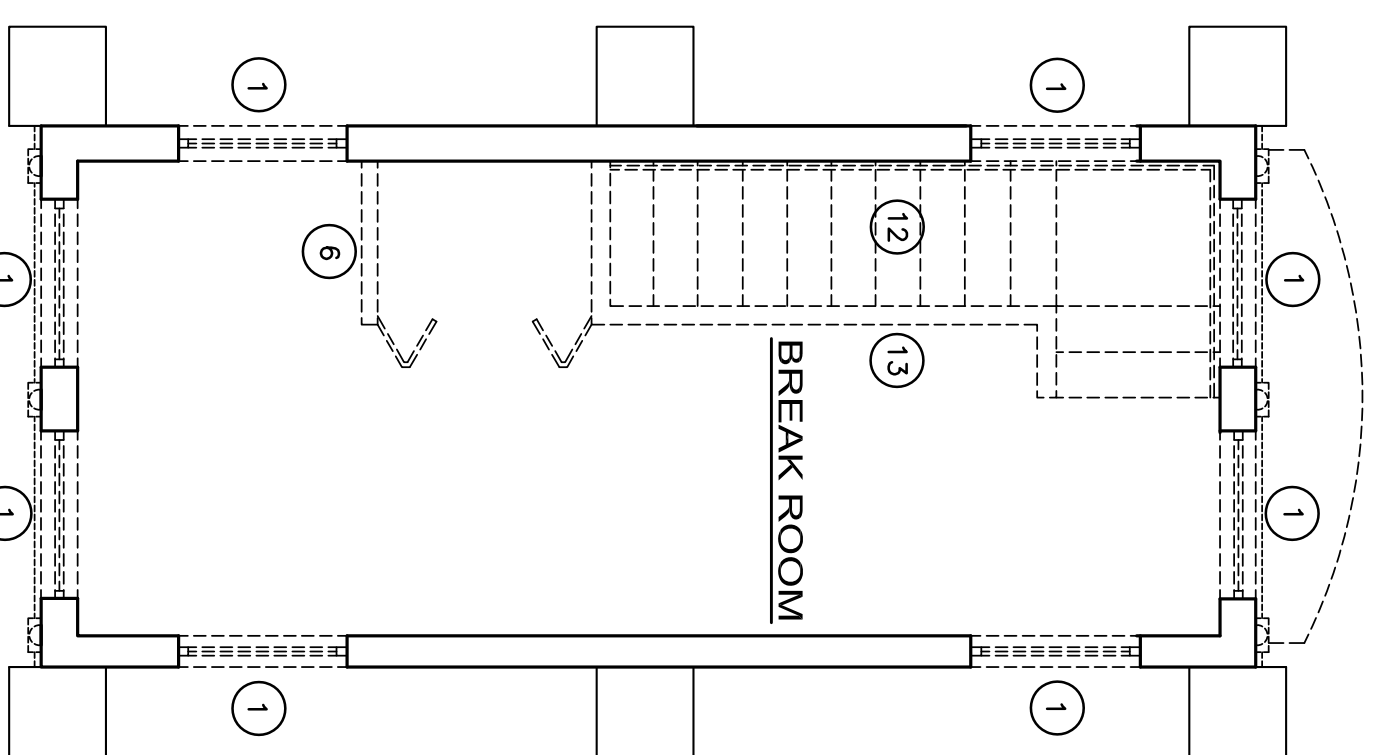


DEMOLITION NOTES:

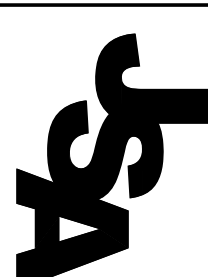
- 1 REMOVE EXISTING DOOR W/FRAME OR WINDOW.
- 2 CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM THE SITE.
- 3 REMOVE EXISTING KEYSTONE FASCAL ONLY
- 4 REMOVE EXISTING LIGHTS, RECEPTACLES, SWITCHES, EXHAUST FANS, SPACE HEATERS, SEPTIC PUMP, EXHAUST FANS, EXHAUST FANS, SHAKES, EXISTING ELECTRICAL, EXHAUST FANS, EXHAUST FANS AND WIRING THROUGHOUT AREA TO BE DEMOLISHED (INTERIOR ONLY).
- 5 REMOVE EXISTING KEYSTONE MOULDING OR SILL
- 6 REMOVE EXISTING PARTITION.
- 7 REMOVE EXISTING ALUMINUM HANDRAIL
- 8 REMOVE EXIST. A.H.U., CONDENSING UNIT, DUCTWORK, THERMOSTAT, AC WALL UNIT, ETC.
- 9 REMOVE EXISTING GWB CEILING.
- 10 REMOVE EXISTING EXTERIOR WALLSCOPE ONLY
- 11 REMOVE EXISTING CORINTHIAN CAPITAL
- 12 REMOVE EXISTING STAIRS
- 13 REMOVE LOW WALL PARTITION (SEE STRUCTURAL PLAN)
- 14 REMOVE EXISTING WOOD BRACKETS
- 15 REMOVE EXISTING WOOD BALCONY AND WOOD BRACKETS
- 16 REMOVE EXISTING PLASTERED MANSCOT.

DEMOLITION GENERAL NOTES:

1. DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THE DOCUMENTS. ALL REQUIRED DEMOLITION SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
2. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED DAILY TO BE DISPOSED OF IN AN ILLEGAL MANNER . NO SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
3. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES.
4. THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC. WORK SHALL BE STOPPED IMMEDIATELY IF ANY PERSON ON THE SITE OR ADJACENT TO THE SITE IS INJURED OR IF ANY PERSON ON THE SITE IS IN VIOLATION OF ANY FEDERAL, STATE, LOCAL, OR MUNICIPAL LAWS, ORDINANCE CODES, AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING EMERGENCY LIGHTING, SECURITY, ALARMS, ETC., FOR ALL OR PART OF THE ITEMS WHICH ARE TO REMAIN.
6. DO NOT CUT OR ALTER ANY STRUCTURAL MEMBERS WITHOUT AUTHORIZATION FROM THE ARCHITECT OR ENGINEER.
7. REMOVE ALL MECHANICAL, PLUMBING AND WATER PIPING BACK TO THEIR SOURCE AND CAP-OFF AS REQUIRED.
8. REMOVE ALL ELECTRICAL CONDUIT, WIRING, DISCONNECTS, ETC. AND PROVIDE COVERS AT ALL CONNECTING POINTS.
9. BUILDING WILL BE OCCUPIED DURING THE DEMOLITION WORK.
10. REFER TO ATTACHED ASBESTOS REPORT FOR INFORMATION AND INSTRUCTION OF REMOVAL, IF REQUIRED.
11. EXISTING EXTING SIGNIS WILL NOT BE REMOVED UNTIL NEW ONES ARE REPLACED.
12. REFER TO MECHANICAL DRAWINGS FOR SYSTEMS COORDINATION.



REVISIONS



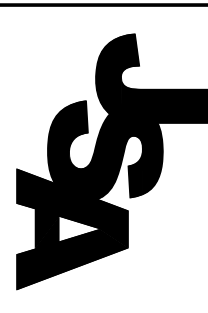
JSA GROUP INC.
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923
JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924
AR-0015751/AA0003560/ID-0002171 julio@jsagroup.net

PROPOSED GOLDEN BEACH GUARDHOUSE RENOVATION:
GOLDEN BEACH ENTRANCE
THE STRAND
GOLDEN BEACH, FL 33160

JOB # 16-015
DRAWN BY: JC
NOVEMBER 2016

D-1

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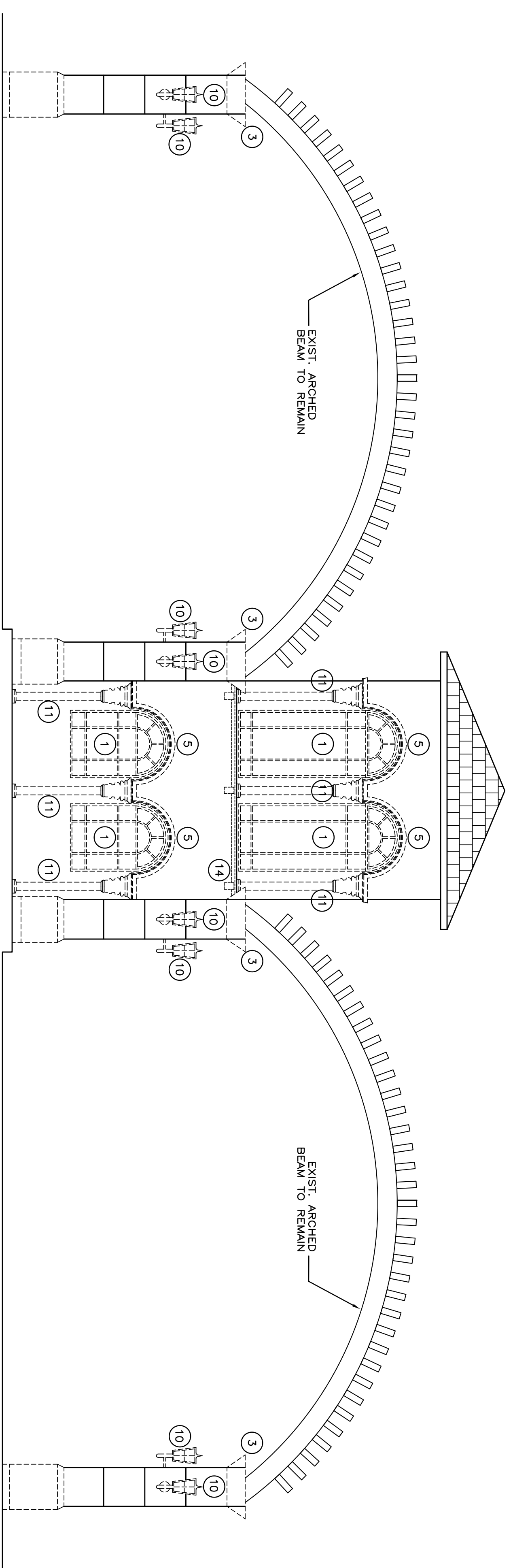


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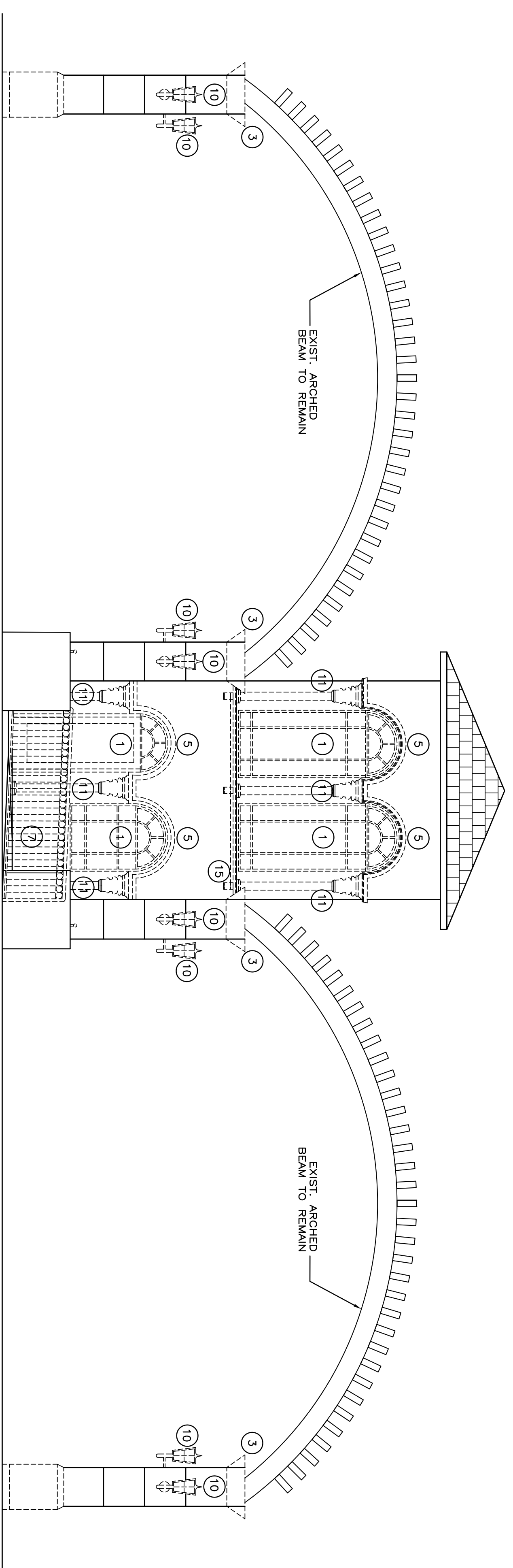
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GOLDEN BEACH ENTRANCE
 THE STRAND
 GOLDEN BEACH, FL 33160

JOB # 16-015
 DRAWN BY: JC
 NOVEMBER 2016
D-2

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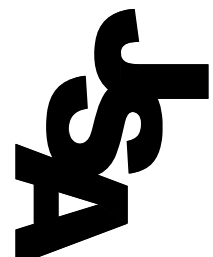
EXISTING EAST ELEVATION
 SCALE: 1/4"=1'-0"
 NORTH



EXISTING WEST ELEVATION
 SCALE: 1/4"=1'-0"
 NORTH

DEMOLITION NOTES:

- 1 REMOVE EXISTING DOOR W/FRAME OR WINDOW.
- 2 CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM THE SITE.
- 3 REMOVE EXISTING KEystone FASCIAL ONLY
- 4 REMOVE EXISTING LIGHTS, RECEPTACLES, SWITCHES, EXHAUST FANS, SMOKE DETECTORS, REFRIGERATION EQUIPMENT, EXHAUST FANS, ETC. REMOVE EXIST. EXPOSED ELECTRICAL CONDUITS, PANELS AND WIRING THROUGHOUT AREA TO BE DEMOLISHED (INTERIOR ONLY).
- 5 REMOVE EXISTING KEystone MOULDING OR SILL
- 6 REMOVE EXISTING PARTITION.
- 7 REMOVE EXISTING ALUMINUM HANDRAIL
- 8 REMOVE EXIST. AHU, CONDENSING UNIT, DUCTWORK, THERMOSTAT, AC WALL UNIT, ETC.
- 9 REMOVE EXISTING GNB CEILING.
- 10 REMOVE EXISTING EXTERIOR WALLSCOPE ONLY
- 11 REMOVE EXISTING CORINTHIAN CAPITAL
- 12 REMOVE EXISTING STAIRS
- 13 REMOVE LOW WALL PARTITION (SEE STRUCTURAL PLAN)
- 14 REMOVE EXISTING WOOD BRACKETS
- 15 REMOVE EXISTING WOOD BALCONY AND WOOD BRACKETS
- 16 REMOVE EXISTING PLASTERED MAINSCOT.



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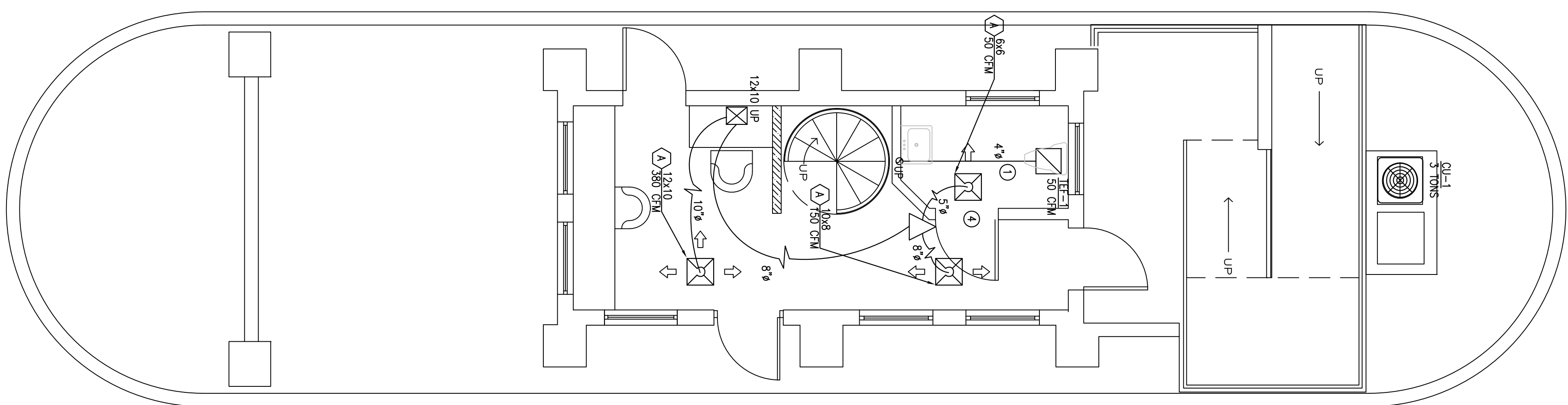
PROPOSED RENOVATIONS:
GOLDEN BEACH ENTRANCE
 THE STRAND
 GOLDEN BEACH, FL 33160

JOB # 16-015
 TL 16-154
 DRAWN BY: AL
 July 2016

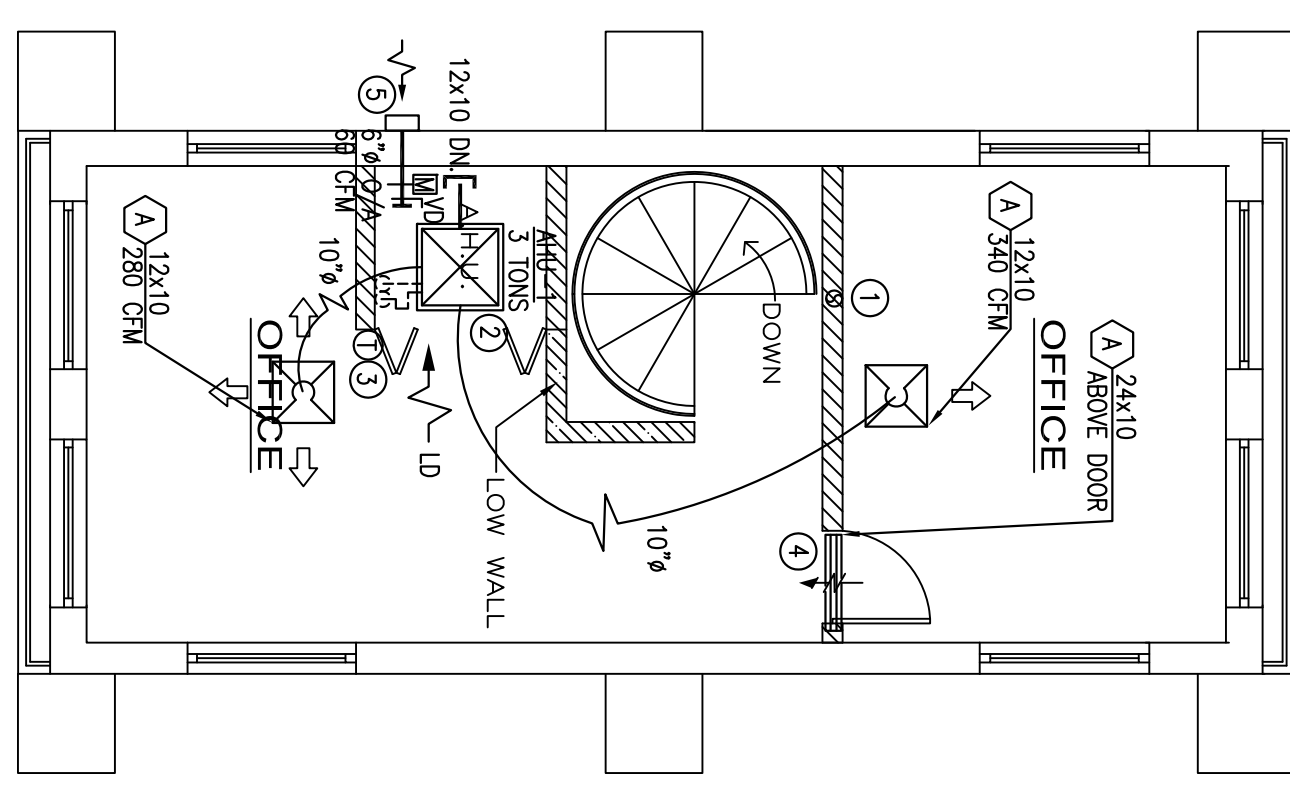
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 1 OF 2

SEAL

A. PODRONEZ
 MECHANICAL ENGINEER
 LICENSE NUMBER 16000
 PRINTED SCALE IN THIS BLOCK



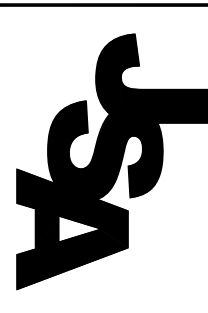
1 MECHANICAL PLAN FIRST FLOOR
 M-1 SCALE 1/4"=1'-0"



1 MECHANICAL PLAN SECOND FLOOR
 M-2 SCALE 1/4"=1'-0"

- ① HVAC KEEPS NOTES
- ② 4" TOILET EXHAUST DUCT UP TO ROOF JACK WITH B.O.D. AND CORROSION RESISTANT W.A.S.
- ③ AHU INSIDE A/C CASSETT. P/A PENUM AND ACCESS DOOR SHALL BE NON COMBUSTIBLE.
- ④ RE-CONNECT NEW 1-1/2" A/C CONDENSATE TO EXISTING.
- ⑤ VERIFY IF EXISTING REFRIGERANT PIPES MATCH NEW UNIT SIZE REQUIREMENT AND RE-USED IF POSSIBLE. FLUSH PIPING AND VERIFY IF LEAK FREE. REPLACE PIPING INSULATION.
- ⑥ PROGRAMMABLE THERMOSTAT
- ⑦ 1" UNDERROUT DOOR. (TYP)
- ⑧ 6" Ø O/A DUCT TO 4'-0" UP WITH MIN. 5' PROVIDE MOTORIZED DAMPER INTERLOCKED TO OPERATE TO FULLY OPEN POSITION WHEN UNIT IS ON.
- ⑨ TERMINATE O/A DUCT AT RETURN AIR UNIT BOTTOM INLET OPENING.
- ⑩ METAL LOUVERED DOOR. MIN. 45° FREE AREA.

REVISIONS



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 GOLDEN BEACH, FL 33160

JOB # 16-015
 DRAWN BY: AL
 NOVEMBER 2016

S-3

SEAL

JULIO SANCHEZ
 NO. 15751
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 UNLESS SIGNED IN THIS BLOCK

LUMBER AND FRAMING NOTES:

- FRAMING LUMBER SHALL CONFORM WITH THE PROVISIONS OF THE 2012 NATIONAL DESIGN SPECIFICATION FOR WOOD AND EACH PIECE SHALL BEAR THE GRADE STAMP OF AN APPROVED GRADING AGENCY.
- FRAMING LUMBER GRADES: THE FOLLOWING GRADES SHALL BE THE MINIMUM ACCEPTABLE GRADES, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ITEM	MINIMUM GRADE
STUD ONLY:	
2" TO 4" THICK: 2" TO 4" WIDE . . .	STUD GRADE YELLOW PINE OR BETTER
2" TO 4" THICK: 2" TO 4" WIDE . . . NO. 2 YELLOW PINE OR BETTER	STRUCTURAL JOISTS & HEADERS:
2" TO 4" THICK: 4" WIDER . . . NO. 2 YELLOW PINE OR BETTER	NO. 2 YELLOW PINE OR BETTER
4" X 4" AND LARGER . . . NO. 2 YELLOW PINE OR BETTER	NO. 2 YELLOW PINE OR BETTER
4" X 4" AND LARGER . . . NO. 2 GREEN HEART OR BETTER	FLOOR DECKS TO BE NO. 2 GREEN HEART OR BETTER
- BOLT HOLES SHALL BE 1/16" LARGER THAN THE BOLT SIZE. RE-TIGHTEN ALL NUTS PRIOR TO CLOSING IN.
- STANDARD CUT WASHERS SHALL BE USED UNDER BOLT HEADS AND NUTS AGAINST WOOD.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PROTECTED WITH AN APPROVED PRESERVATIVE. BOLT HEADS SHALL BE PROTECTED WITH AN APPROVED PRESERVATIVE. PRESERVATIVE SHALL BE APPLIED 9" FROM ANY NOTCH GREATER THAN 1/2" THE WIDTH OF A MEMBER.
- NOTCH JOISTS, RAFTERS OR BEAMS ACCORDING TO DRAWINGS. OBTAIN ENGINEER'S SIGNATURE AND SEAL. NOTCHES SHALL BE MADE IN THE DEFILED HOLES THROUGH SILVER PLATES STUDS AND DOUBLE PLATED IN INTERIOR. BEARING AND SHERE WALLS SHALL NOT EXCEED 1/3 THE PLATE WIDTH. USE BORED HOLES LOCATED IN THE CENTER OF THE STUD OR PLATE.
- 2" SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS.

CONCRETE AND REINFORCING:

- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318-14), 2010 ASCE CODE OF STANDARD PRACTICE, 530/530.1-13 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
- ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (A.C.I. 301 - LATEST EDITION), PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 305R - LATEST EDITION).
- ALL CONCRETE TO BE REGULAR WEIGHT WITH AN COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP 3" MIN. TO 5" MAX.
- ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING AS PER ASTM A-615 GRADE 60. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH A.C.I. 315 AND C.S.I. MANUAL OF STANDARD PRACTICE.
- CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS:

FOOTINGS:	(BOTTOM)	3"
FOOTINGS:	(TOP & SIDES)	2"
COLUMNS AND BEAMS:	(TOP & SIDES)	1-1/2"
- COLUMN REINFORCEMENT:
 DOWELS TO BE SAME SIZE AND NUMBER AS VERTICAL REBAR ABOVE. LAP 36 BAR DIAMETER OR MINIMUM OF 18" U.O.N. PROVIDE RIGID TEMPLATES FOR DOWEL LOCATION. PROVIDE STANDARD HOOKS AT TOP OF ALL VERTICAL REINFORCEMENT AT NONCONTINUOUS COLUMNS (U.O.N.).
- ALL DOWELS FOR COLUMNS SHALL BE SECURED IN POSITION PRIOR TO IS NOT CONCRETING. PUSHING THE DOWELS INTO POSITION IN WET CONCRETE IS NOT PERMITTED.
- BEAM REINFORCEMENT: LAPPED 36 BAR DIAMETER OR MINIMUM 18 INCHES (SEE BEAM DIAGRAM ON PLAN). BOTTOM BARS SPICED ONLY AT SUPPORTS. TOP BARS SPICED ONLY AT JOISTS. ALL BARS SPICED USING STANDARD HOOKS (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE HOOKS AS REQUIRED (U.O.N.).
- ADDED REINFORCEMENT:
 ADDITIONAL REINFORCING NUMBER BARS BEAT 36 INCHES MINIMUM EACH WAY AT "L" AND "T" CORNERS IN OUTER FACES OF ALL BEAMS TO MATCH ALL HORIZONTAL BAR (TOP, BOTTOM AND INTERMEDIATE REBAR).
- SEE PLAN FOR MINIMUM SIZE CONCRETE TIE BEAM REQUIREMENTS.

GENERAL:

- THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE NOT MEASUREMENTS. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.
 - ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL REVIEW ALL DRAWINGS, SPECIFICATIONS AND CONDITIONS OF CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND COORDINATE WITH THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS OR OMISSIONS IN THE DRAWINGS, SPECIFICATIONS AND CONDITIONS OF CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS OR OMISSIONS IN THE DRAWINGS, SPECIFICATIONS AND CONDITIONS OF CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS OR OMISSIONS IN THE DRAWINGS, SPECIFICATIONS AND CONDITIONS OF CONTRACT.
 - IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO FIVE SUCH AN ADVANCED NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS ON THE COST OF RECTIFYING THE SAME.
 - THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS, AND SPECIFICATIONS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER TRADE DRAWINGS AND SHOP DRAWINGS, TO LOCATE DEEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, BOLT SETTING, STEELERS, DIMENSIONS, ETC. NOTIFY ARCHITECT/ENGINEER, IN WRITING, OF ANY OMISSIONS, DIMENSIONS, ETC. BEFORE PROCEEDING WITH THE WORK.
- STRUCTURAL OBSERVATIONS:**
- DADE COUNTY REQUIRES THAT THE ENGINEER-OF-RECORD SUBMIT A STATEMENT, AT THE COMPLETION OF THE CONSTRUCTION WORK, REGARDING THE COMPLIANCE OF THE WORK WITH THE APPROVED PERMIT PLANS.
 - IN ORDER TO COMPLY WITH THE ABOVE A/E MUST BE RETAINED AS THE STRUCTURAL INSPECTOR, AND NOTIFIED AT LEAST 24 HOURS PRIOR TO ANY CONCRETE POURING OR OTHER OPERATIONS THAT WILL AFFECT STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE A/E TO BE NOTIFIED BY THE A/E. THE A/E WILL NOT ISSUE THE REQUIRED "STATEMENT OF INSPECTION".
 - IT IS UNDERSTOOD THAT A/E WILL NOT BE HELD RESPONSIBLE PROPERLY INSPECTED EITHER THE ONE FOR ANY REASON, APPROVED BY OTHER INSPECTING ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE A/E TO BE NOTIFIED BY THE A/E. THE A/E WILL NOT ISSUE THE REQUIRED "STATEMENT OF INSPECTION".

STRUCTURAL DESIGN CRITERIA:

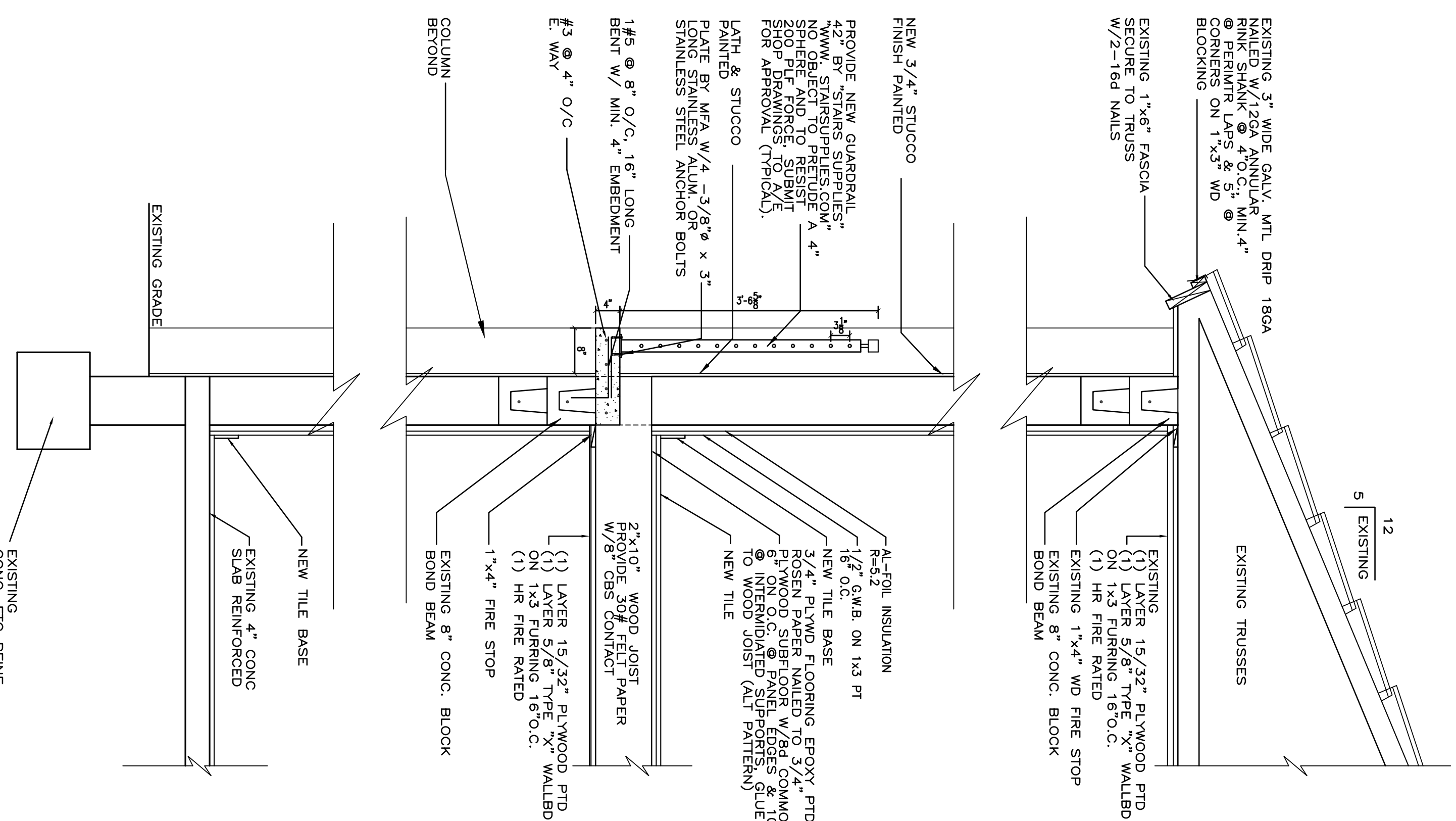
- THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE - (2014 EDITION)
- WIND LOAD CRITERIA:
 BASED ON ANSI/ASCE 7-10. BASIC WIND VELOCITY 175 MPH ULTIMATE OCCUPANCY CATEGORY II (URBAN, SUBURBAN, URBAN AREAS), EXPOSURE "C".
 Kd = 1.0
- ROOF DESIGN LOADS:
 LIVE LOADS: 25 PSF
 DEAD LOADS: 20 PSF
- FLOOR LOADS:
 LIVE LOADS: 25 PSF
 DEAD LOADS: 50 PSF

MASONRY WALLS:

- ALL REINFORCED MASONRY WALLS SHALL BE PROVIDED WITH #9 DUB-O-WALL, LADDER TYPE HORIZONTAL REINFORCEMENT AT 1'-4" VERTICALLY LAPPED 7-1/2" AND EXTENDED 4" INTO CONCRETE COLUMNS. PROVIDE SPECIAL HORIZONTAL REINFORCING AT L AND INTERSECTION. PROVIDE SPECIAL HORIZONTAL REINFORCING AT L AND INTERSECTION. PROVIDE ADJACENT TO ALREADY IN PLACE COLUMNS.
- CONCRETE MASONRY UNITS: ASTM C90, GRADE N-1, MODULAR, MINIMUM NET COMPRESSIVE STRENGTH AT 28 DAYS = 1500 PSI.
- MORTAR: ASTM C270, TYPE S, MORTAR ALL FACE SHELLS, AND CROSS SHELLS AROUND ALL GROUT FILLED CELLS WITH A MINIMUM STRENGTH 2000 PSI (USE PORTLAND TYPE CEMENT).
- DENOTES BEARING CONC. BLOCK WALL. INSTALL BLOCK BEFORE ADJACENT COLUMNS AND BEAMS.
- JOINT REINFORCING LADDER TYPE: 9 GAGE LONGITUDINAL WIRE, 9 GAGE CROSS WIRE, "DUB-O-WALL" OR EQUAL AT 16" C/C.
- GROUT: ASTM C476, COARSE GROUT, SLUM, 8" MINIMUM, 11" MAXIMUM COMPRESSIVE STRENGTH AT 28 DAYS = 3000 PSI. SUBMIT DESIGN MIX FOR REVIEW.
- DESIGN F'M = 1500 PSI.
- ANY MASONRY OPENINGS BETWEEN 3 AND 8 FT. IN WIDTH SHALL HAVE VERTICAL BARS IN CONCRETE FILLED CELLS ON EACH SIDE OF OPENING AS INDICATED IN THE FOUNDATION PLAN AND ANY OTHER FLOOR IF APPLICABLE. BARS SHALL BE LAPPED AT THE FOUNDATION AND AT THE BOND BEAM, AND LAPPED 48 BAR DIAMETER MINIMUM.
- PLACE ALL MASONRY UNITS IN RUNNING BOND.
- PROVIDE KNOCK-OUTS AT BASE OF ALL CELLS CONTAINING REINFORCING.
- MAXIMUM POUR LIFT = 4'-0"
- INTERSECTING WALLS:
 BOND AT LOCATIONS WHERE THEY MEET OR INTERSECT BY THE FOLLOWING METHOD: PERCENT OF THE UNITS AT THE INTERSECTION SHALL BE LAID IN AN OVERLAPPING FIFTY PERCENT OF THE UNITS AT THE INTERSECTIO THAN 3 INCHES ON THE UNIT BELOW.
- VERTICAL REINFORCEMENT SHALL BE SPLICED 48 BAR DIAMETER MINIMUM.
- PROVIDE VERTICAL REINFORCEMENT AS INDICATED ON FOUNDATION PLAN AT EACH SIDE OF WALL OPENING AND @ INTERSECTING WALLS.
- SPECIAL INSPECTION IS REQUIRED.

NOTES:

- EXPANSION II BOLTS TO BE HILLI KWIK III BOLTS
- ALL METAL STRUCTURAL INCLUDING BOLTS SHALL GALVANIZED



D WALL SECTION
 SCALE 3/4"=1'-0"

S-3



SLOW



St. Johns Ave