

OIJUL

SANCHEZ

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TRANCE RENOVATION PROPOSAL GOLDEN BEACH, FL 33160

NOVEMBER 30, 2016



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 FIRST & SECOND FLOOR PLANS & ELEVATIONS
 ELEVATIONS

STRUCTURAL

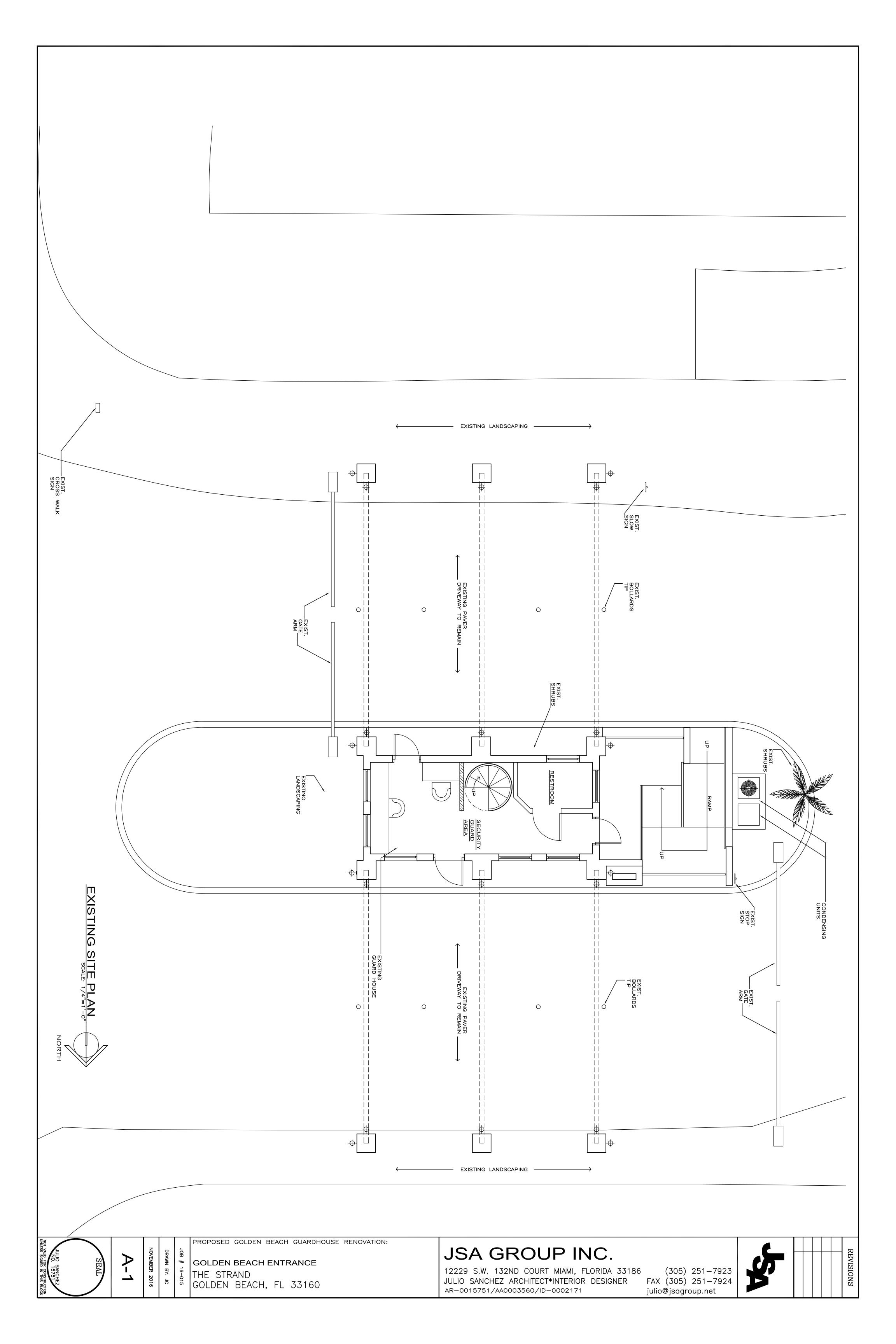
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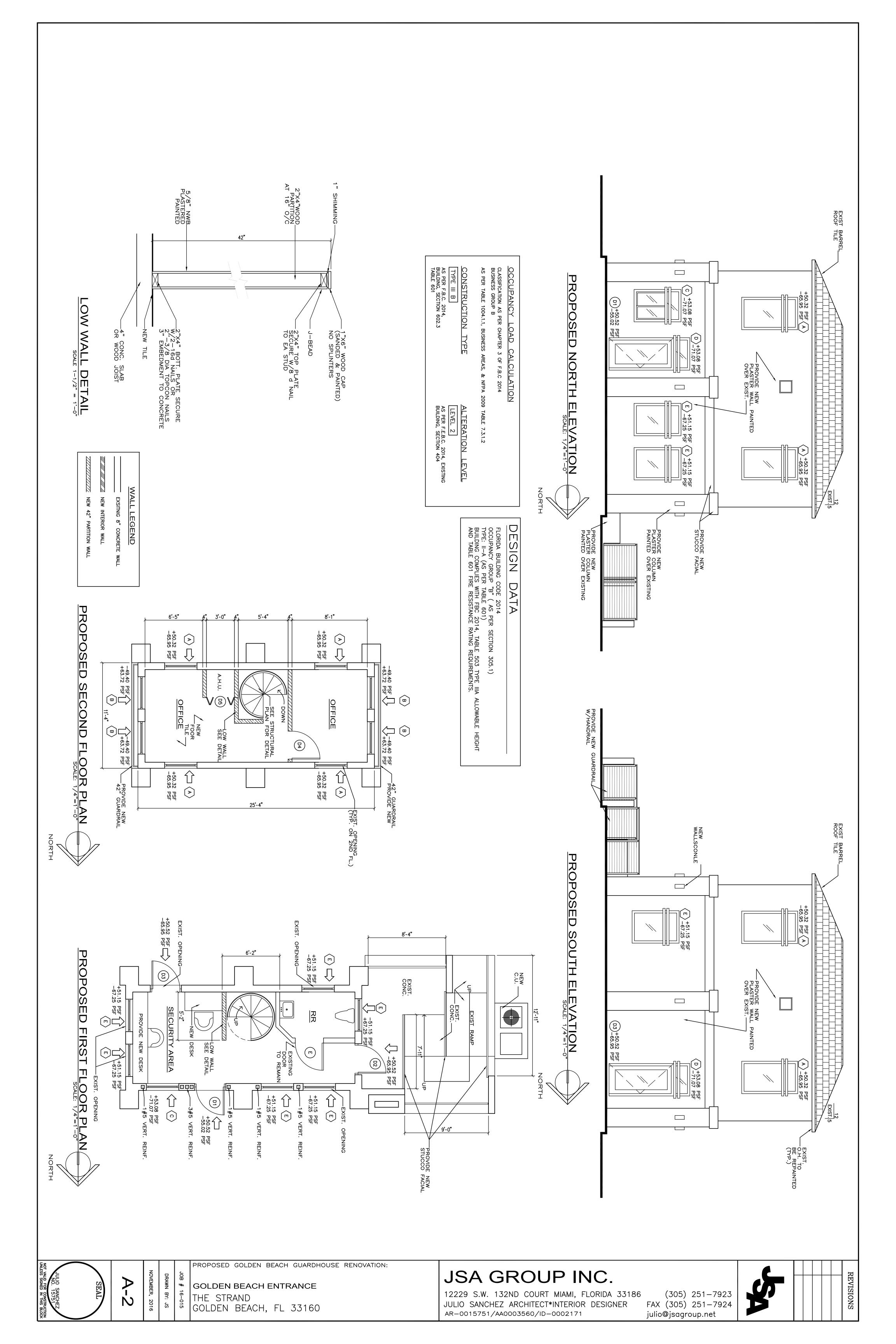
ELECTRICAL

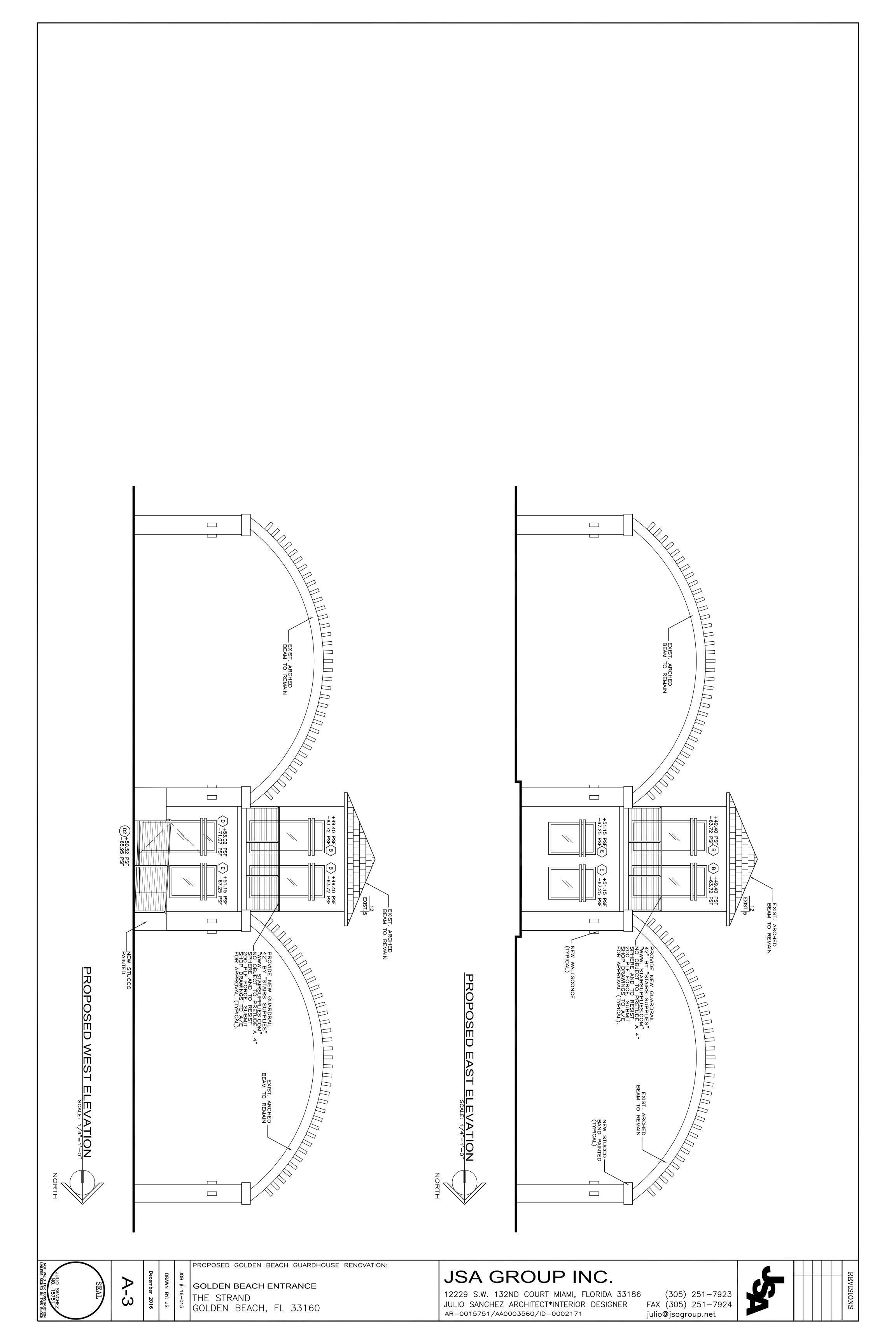
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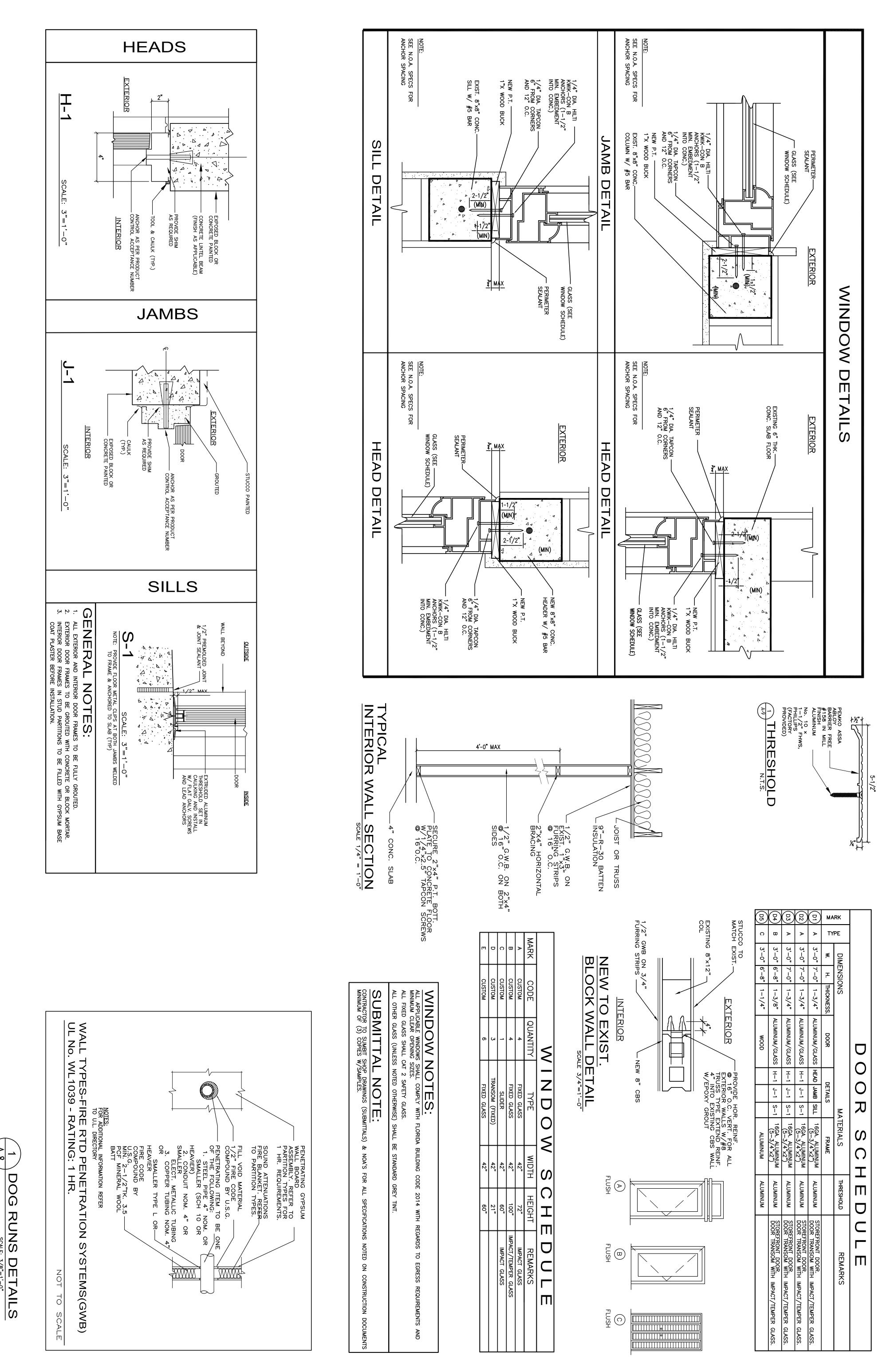
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NO. 15751
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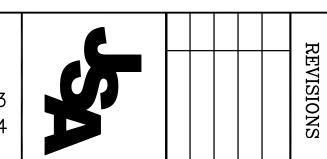
GOLDEN BEACH ENTRANCE
THE STRAND
GOLDEN BEACH, FL 33160

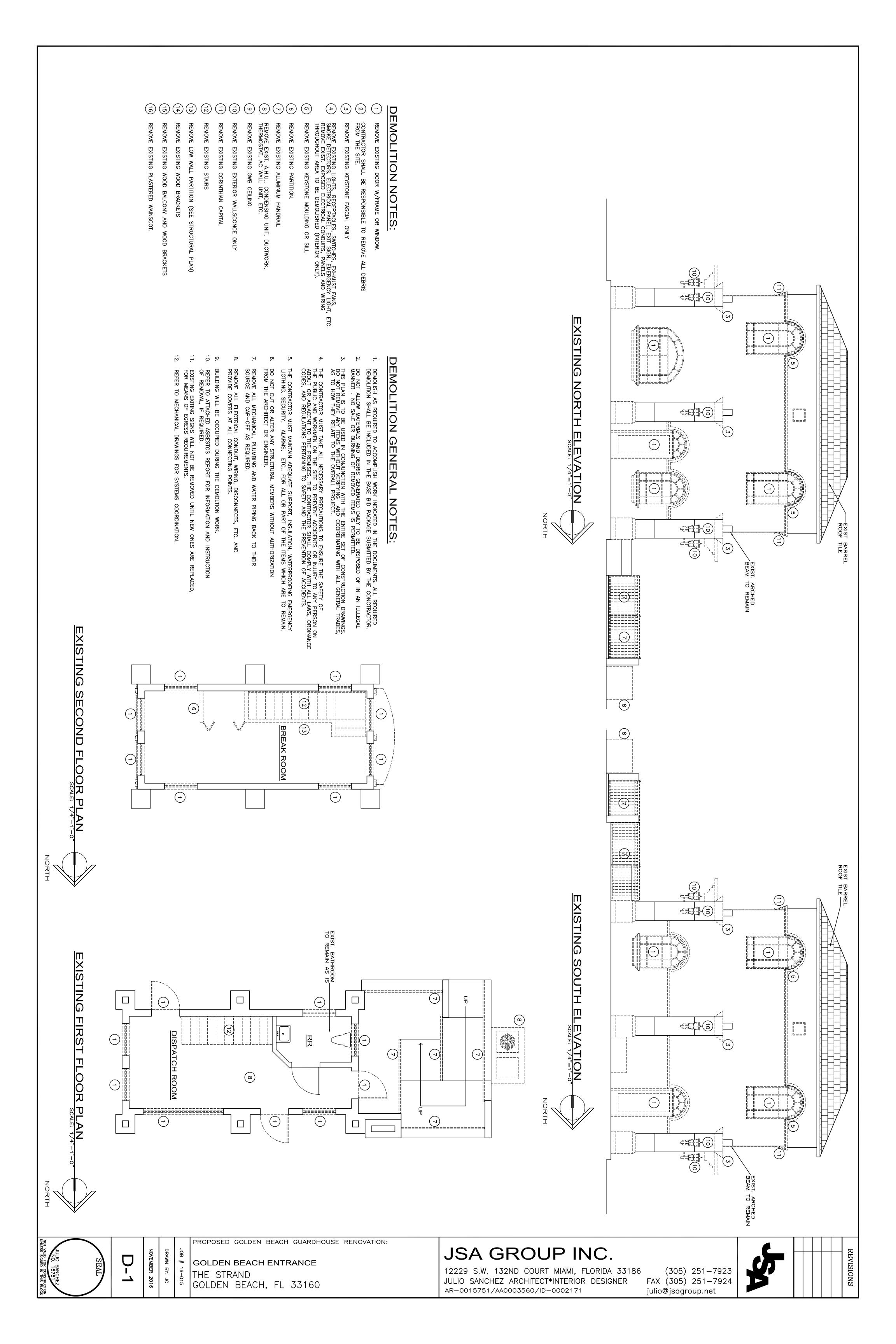
PROPOSED GOLDEN BEACH GUARDHOUSE RENOVATION:

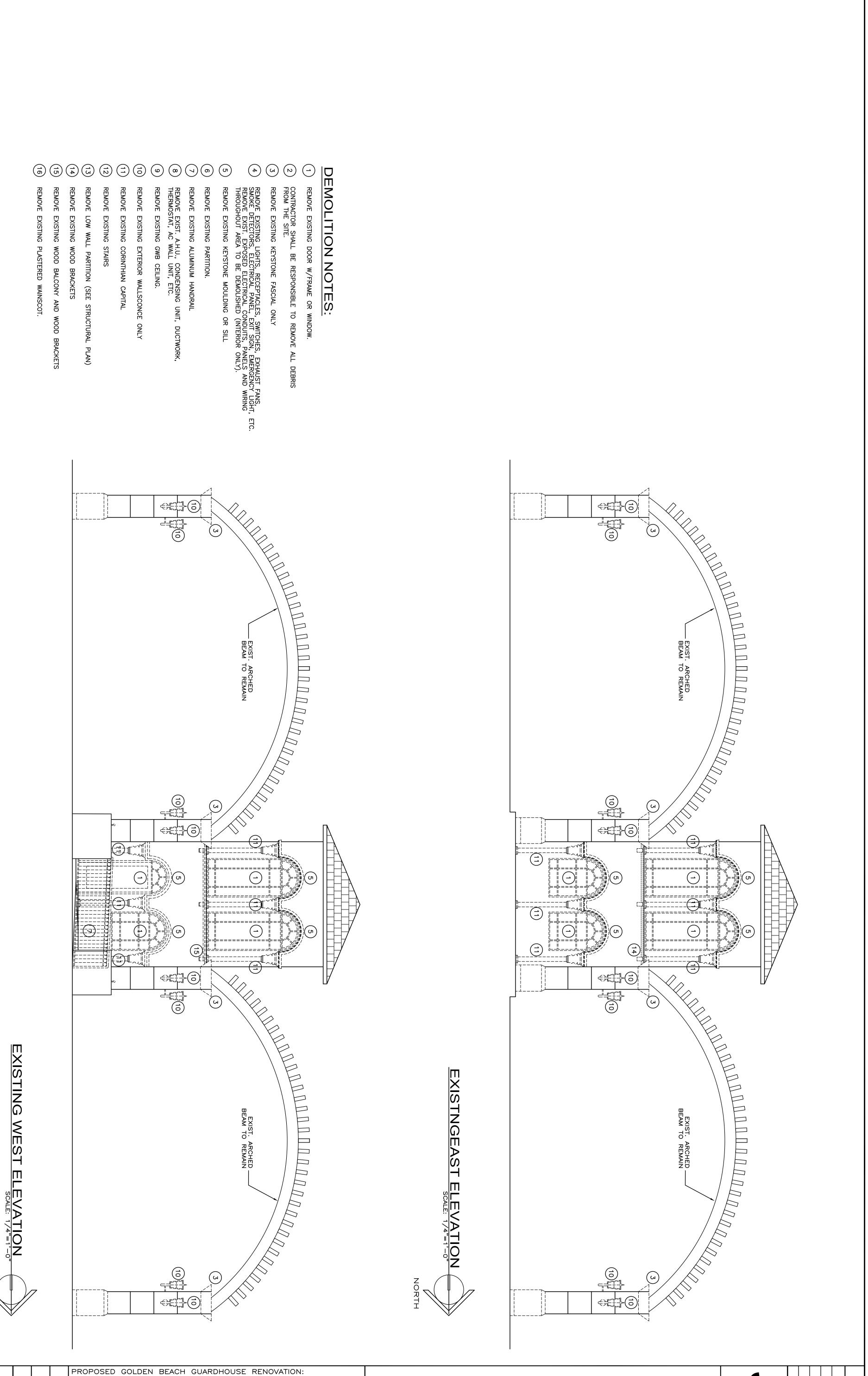
JSA GROUP INC.

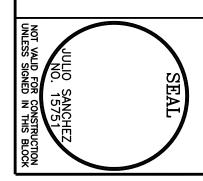
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9- INTERNALLY ILLUMINATED EXIST SIGN SHALL NOT EXCEED 5 WATTS PER SIDE AS PER <u>FBC EC 505.4</u>

10- RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARIES SHALL BE ic-RATED AND LABELED AS MEETING ASTM E 283 (AIR TIGHT) AS PER <u>FBC EC 502.3.8.</u>

8- ADDITIONAL EXIT AND EMERGENCY LIGHTS MAY BE REQUIRED BY THE FIELD FIRE INSPECTOR AT THE TIME OF THE FIRE FINAL.

7- WIRE AHEAD OF ANY LOCAL SWITCHING FOR ALL EMERGENCY AND EXIT LIGHTS.

6- CONTRACTOR TO VERIFY WITH OWNER ARCHITECT LIGHTING FIXTURE TYPE AND SPECIFICATIONS BEFORE INSTALLATION.

5— CIRCUITS FOR INTERIOR LIGHTING FIXTURES (INSIDE BUILDINGS 5,000 SQ-FOR LARGER) TO BE DISCONNECTED AT NOT WORKING HOURS BY TIME CLOCK OR OTHER AUTOMATIC CONTROL DEVICE AS PER FBC 13-415.1.ABC.1.1

ALL EXPOSED CONDUIT, WIRES, OUTLETS, ETC. NOT TO BE REUSED IN THE NEW REMODELED LAYOUT, SHALL BE REMOVED.

BOXES, CABINETS, PANELBOARDS, ETC., WHERE CONDUIT OUSLY EXISTED, SHALL BE PLUGGED OR BLANKED OUT S, IF THE OPENING IS TO REMAIN.

ISTING CONDUIT RUNS, STUBBING UP THRU FLOORS IN AREAS WHERE WALLS TO BE REMOVED, SHALL HAVE THEIR CONDUCTORS DE- ENERGIZED AND MOVED, CONDUIT CUT-OFF GROUND FLUSH WITH FLOOR AND PLUGGED WITH MENT MORTAR OR ANY OTHER APPROVED MATERIAL. THE SAME APPLIES WITH ISTING CONDUITS THAT ARE STUBBING OUT OF WALLS AND FLOORS.

HERE PRACTICAL, EXISTING CONDUCTORS AND WIRES THAT ARE IN GOOD SUDITION, MAY BE REUSED IN PLACE AND INCORPORATED IN THE NEW SMODELED LAYOUT PROVIDED, IT IS OF PROPER SIZE, TYPE OF CONDUCTOR ID WITH THE APPROVAL OF THE OWNER.

٥ BRANCH CKT HOME RUN.

——DENOTE NUM. OF UNGROUNDED S

——DENOTE NEUTRAL WIRE DISCONNECT SWITCH. "a"=PHASE, "b"= AMP FRAME, "c"= AMP. FUSE "F"=FUSIBLE. C=0 NOT FUSED DISCONNECT SWITCH. "a"=PHASE, "b"= AMP FRAME, "c"= AMP. FUSE "F"=FUSIBLE. C=0 NOT FUSED NEMA 3R FAN MOTOR MOTOR CONNECTION. ELECTRICAL PANEL ELECTRICAL GROUND CONNECTION ELECTRICAL ABBREVATIONS, LEGEND & NOTES SCALE: NTS METER

18 — ALL SMOKE OR CARBON MONOXIDE DETECTORS TO BE LOCATED 3' APART MIN. FROM A/C OUTLETS AND INTERCONNECTED FOR SIGNALING PURPOSE. CARBON MONOXIDE DETECTORS TO BE LOCATED 10' MAXIMUM FROM ANY SLEEPING AREA.

17 — OUTLETS IN OPPOSITE SIDES ON FIRE AND FIRE PROTECTED.

RATED WALLS

TO BE 24" HORZ. APART (MIN).

110.24(A)

16- SERVICE EQUIPMENT IN OTHER THAN DWELLING UNITS SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. THE FIELD MARKING(S) SHALL INCLUDE THE DATE THE FAULT CURRENT CALCULATION WAS PERFORMED AND BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED. (AS PER NEC 110.24)

15- CONTRACTOR TO PROVIDE SIGNS ON ELECTRICAL PANELS AND DISCONNECTS: "ELECTRICAL EQUIPMENT WITH POTENTIAL ELECTRIC ARC FLASH HAZARDS". (AS PER NEC 110.16)

20— BOXES, CONDUIT BODIES, AND FITTINGS INSTALLED IN WET LOCATIONS SHALL LISTED FOR USE IN WET LOCATIONS AS PER NEC 314.15(A)

DESCRIPTION

WIRE & COND. SIZE

(V.A.)

EXISTING FLUSH

ELECTRICAL

PANEL

SCHEDULE

* \

BUS RATING VOLTAGE

100 AMP 120/240V-1PHASE

(V.A.)

WIRE & COND. SIZE

DESCRIPTION

EXISTING

EXISTING

3,000

5,000

#8-1/2"

(NON COINC.LOAD)

EXISTING LOAD
EXISTING LOAD
EXISTING LOAD
EXISTING LOAD
EXISTING LOAD

5,500

#8-1/2"

19- NON-LOCKING RECEPTACLES IN DAMP AND WET LOCATIONS SHALL BE LISTED WEATHER RESISTANT TYPE WITH A WEATHER PROOF ENCLOSURE AS PER NEC 406.8 (A) & (B).

GEN 1. I colo at 2. colo colo colo colo colo colo 14— THE BRANCH CIRCUIT FEEDING THE EMERGENCY AND EXIT LIGHTS SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF ANY LOCAL SWITCHES. THE BRANCH CIRCUIT THAT FEEDS EMERGENCY AND EXIT LIGHTS SHALL BE CLEARLY IDENTIFIED AT THE DISTRIBUTION PANEL (NEC 700.12(F))

COMEND CONDUCTOR COLOR CODE
ASE 120/240V 120/208V 277/480V DELTA
BLACK BLACK YELLOW ORANGE(High Leg) RED ORANGE BLUE BLUE BROWN OTRAL WHITE WHITE GREY OUND GREEN GREEN
NERAL: lor coded at all locations where conductors shall be each conductor termination.
Conductors #6 and smaller shall be color coded with larged insulation.
Conductors #4 and larger where not available in lors, shall be color coded with
lored pressure sensitive tape at all termination and in notion and pull boxes.

	LIC	LIGHTING FIXTURE SCHEDULE				
DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	# _AMPS	/W JAKL	≶≒
LITHONIA LIGHTING 2-LIGHT WHITE FLUORESCENT TROFFER	LITHONIA	2SP8 G 2 U316 A12 120 GESB	120	2	T-8	
Outdoor Bronze High Pressure Sodium Wall Pack	LITHONIA	TWS 50s 120 Pe LPI M6 806012 120	120	1		
Recessed Baffle Kit Matte White LITHONIA	LITHONIA	LK5BMW 5—inch	120	1		
LED Emergency Exit Sign	LITHONIA	186HU7-Quantum - 19	120/277		LED	
LED Emergency lighting	LITHONIA	219 VN3	120/277		LED	
LED Exit lighting	LITHONIA	388073 Quantum-11	120/277		LED	

•

———— DENOTES E	EXISTING GROUND SYSTEM————————————————————————————————————	EXISTING METER METER The property of the pr	
DENOTES EXISTING EQUIPMENT/DEVICE/ OR CONDUIT DENOTES NEW EQUIPMENT/DEVICE/ OR CONDUIT	WIRING LEGEND (1) EXISTING $3-\#3$ THWN CU. FIELD VERIFY.	OFFICE EXISTING PANEL 'A' 100A M.L.O. 1PH,3W	

ELECTRICAL PANEL SCHEDULE SCALE: NTS

CONTINUOUS LOAD AT 125% = 22,860 VA
CONTINUOUS LOAD AT 125% = 3,000 X 1.25
NON CONTINUOUS LOAD AT 100% = 19,860 V
TOTAL DEMANDED LOAD = 23,610 VA
TOTAL DEMAND AMPS = 98 AMPS PER PHASE

ELECTRICAL PANEL SCHEDULE SCALE: NTS

CONTROLLED

В

TIME

CLOCK

PROPOSED RENOVATIONS: **GOLDEN BEACH ENTRANCE**

JSA GROUP INC.

13- STORAGE BATTERY. STORAGE BATTERIES USED AS A SOURCE OF POWER FOR EMERGENCY SYSTEMS SHALL BE OF SUITABLE RATING AND CAPACITY TO SUPPLY AND MAINTAIN THE TOTAL LOAD FOR A MINIMUM PERIOD OF 1½ HOURS, WITHOUT THE VOLTAGE APPLIED TO THE LOAD FALLING BELOW 87½ PERCENT OF NORMAL. (NEC 700.12(A))

15— A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH—EFFICACY LAMPS. (FBC 404.1).

12- EGRESS ILLUMINATION SHALL BE AT LEAST 1 FOOTCANDLE MEASURED THE FLOOR. <u>F.B.C. EC 1006.</u>

13- LIGHTING SYSTEM CONTROLS SHALL BE COMPLY WITH FBC EC

14- LUMINARIES SHALL NO BE USED AS RACEWAY FOR CIRCUIT CONDUCTOR UNLESS LISTED AND MARKED FOR USE AS A RACEWAY.

11— LIGHTING CONTROLS SHALL BE IN ACCORDANCE WITH FBC 13—415 GUIDELINES. (AUTOMATIC SHUT OFF FOR LIGHTING VIA OCCUPANCY SENSORS TO BE IMPLEMENTED).

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NOTED.)

4- CONTRACTOR TO VERIFY FLUORESCENT LUMINARIES W/DOUBLE ENDED LAMPITO BE PROVIDED W/INTERNAL DISCONNECTING MEANS TO DISCONNECT SIMULTANEOUSLY AL CONDUCTORS OF THE BALLAST, INCLUDING THE GROUNDED CONDUCTOR AS PER NEC 410.130 (G)

3 COORDINATE FINAL PLACEMENT OF LIGHT FIXTURES IN ALL MECHANICAL SPACES WITH THE FINAL INSTALLED LOCATIONS OF ALL MECHANICAL DUCTWORK AND PIPING.

2- REFER TO ARCHITECTURAL ELEVATIONS FOR FINAL MOUNTING HEIGHTS OF ALL WALL MOUNTED LIGHT FIXTURES. UNLESS NOTED OTHERWISE, ARCHITECTURAL ELEVATIONS SHALL DICTATE MOUNTING HEIGHTS OF ALL FIXTURES.

1- REFER TO ARCHITECTURAL FIXTURES.

CEILING PLAN FOR EXACT LOCATION OF ALL LIGHT

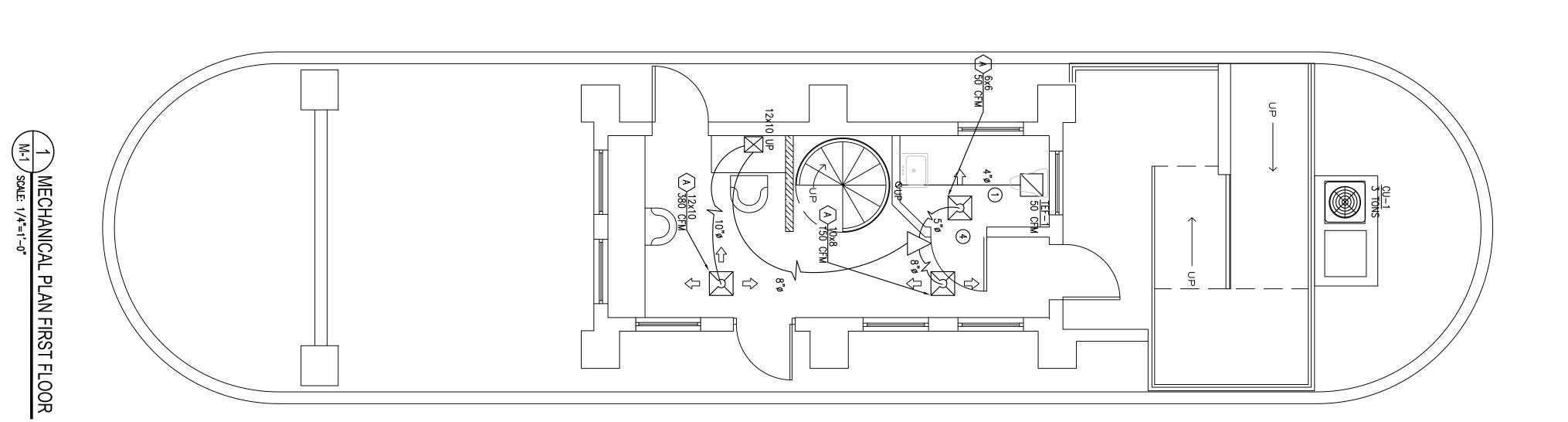
LIGHTING NOTES

NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK

THE STRAND
GOLDEN BEACH, FL 33160

REVISIONS

DRAWN BY: AL July 2016 SEAL



HVAC KEY NOTES

(1) 4** TOILET EXHAUST DUCT UP TO ROOF JACK WITH B.D.D. AND CORROSION RESISTANT W.M.S.

(2) AHU INSIDE A/C CLOSET, R/A PLENUM AND ACCESS DOOR SHALL BE NON COMBUSTIBLE. RE-CONNECT NEW 1-1/4* A/C CONDENSATE TO EXISTING.

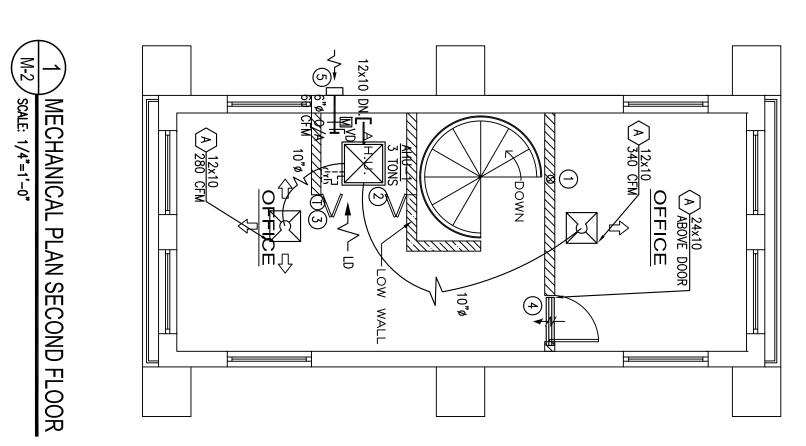
(3) PROGRAMMABLE THERMOSTAT

(4) 1** UNDERCUT DOOR. (TYP.)

(5) 6** 0/A DUCT TO X-VENT WITH W.M.S. PROWIDE MOTORIZED DAMPER INTERLOCKED TO OPERATE TO FULLY OPEN POSITION WHEN UNIT IS ON.

TERMINATE 0/A DUCT AT RETURN AIR UNIT BOTTOM INLET OPENING.

(6) METAL LOUVERED DOOR. MIN. 45F FREE AREA.



PROPOSED RENOVATIONS:

STATE OF 2

PROPOSED RENOVATIONS:

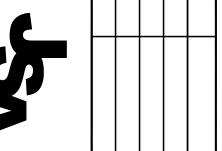
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7. SU THE AR(INSTALL) 6. PROVIDE EQUIPMENT MAINTENANCE AND INSTRUCTION MANUALS. SUBMITTED TO ARCHITECT/ENGINEER FOR ACCEPTANCE. 2. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, TAXES, INSPECTIONS, TESTS, PERFORMANCE BONDS, FINES AND OTHER ITEMS AS REQUIRED FOR THE INSTALLATION OF THE COMPLETE MECHANICAL SYSTEMS, AND SHALL BE RESPONSIBLE FOR OBTAINING HIS OWN PERMIT. 5. PROVIDE ALL NECESSARY INSTRUCTIONS TO THE OWNER IN THE MECHANICAL SYSTEMS BEFORE FINAL ACCEPTANCE. 4. EXCEPT WHERE LONGER WARRANTIES ARE SPECIFIED FOR SPECIFIC EQUIPMENT, CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL WRITTEN ACCEPTANCE OF THE PROJECT BY THE OWNER. 1. ALL WORK SHALL CONFORM WITH THE FLORIDA BUILDING CODE 2014, NFPA, NEC, ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES. 3. CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. MANUALS TO BE OPERATION OF THE

SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND EQUIPMENT FOR ACCEPTANCE OF RCHITECT/ENGINEER BEFORE PROCEEDING WITH THE PURCHASE OR LATION OF ANY EQUIPMENT AND MATERIALS. LABEL AND IDENTIFY ALL EQUIPMENT, MOTOR STARTERS, CONTROLS, PIPING AND S. SUBMIT IDENTIFICATION SCHEME TO THE ARCHITECT/ENGINEER FOR YALL.	
LABEL AND IDENTIFY ALL EQUIPMENT, MOTOR STARTERS, CONTROLS, PIPING AND S. SUBMIT IDENTIFICATION SCHEME TO THE ARCHITECT/ENGINEER FOR)VAL.	
ALL CONTROL WIRING SHALL BE THE RESPONSIBILITY OF THE MECHANICAL SUB- CACTOR. WIRING SHALL BE AS PER THE ELECTRICAL SPECIFICATIONS. ANICAL SUB-CONTRACTOR TO FURNISH ALL MOTORS AND STARTERS, RELAYS, MOSTATS, ETC.	

GLASS FABRIC AND
AND MASTIC (GFM)
CLOSURE OVER POCKET LOCK
AND DUCT BOARD.

AREA DESIGNATION OFFICE SPACE

PERSONS/

/ TOTAL CFM / CFM / PERSONS PERSON FT2

OUTDOOR AIR CALCULATIONS

COLOR AND FINISH AS SELECTED BY ARCHITECT.
ALL AIR DISTRIBUTION DEVICES SHALL BE EXTRUDED
ALUMINUM CONSTRUCTION AND CONCEALED MOUNTING FRAME
FOR ACOUSTICAL OR PLASTER CEILING INSTALLATION.

RETURN AIR

TITUS 250-AA

TITUS 350 FL

AIR

DISTRIBUTION

SCHEDULE

& MODEL NO. | ACCE

EXHAUST

FAN

SCHEDULE

10. PRODUCTS AND MATERIALS SPECIFIED BY TRADE NAME AND/OR MODEL ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY, APPEARANCE, PERFORMANCE AND
DIMENSIONS. CONTRACTOR SHALL BASE HIS BID ON THOSE ITEMS, WHICH SHALL BE CONSIDERED TO ESTABLISH A STANDARD BASIS OF BIDDING. REQUESTS FOR
SUBSTITUTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT/ENGINEER
DESIGN, CONSTRUCTION STANDARDS, QUALITY AND WARRANTIES ARE EQUAL OR
BETTER THAN THE PRODUCT SPECIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ANY CHANGE IN THE WORK REQUIRED BY OTHER TRADES AND SHALL PAY FOR ANY
EXPENSES INCURRED DUE TO THE CONTRACTOR'S REQUEST FOR REVISIONS OR SUBSTITUTIONS.
11. PROVIDE ALL NEW MATERIALS OF AMERICAN MANUFACTURE, BEARING THE U.L. LABEL AS APPLICABLE. PROVIDE SUPPLEMENTAL MATERIALS NOT SPECIFICALLY NOTED HEREIN, BUT REQUIRED TO COMPLETE THE INSTALLATION IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DRAWINGS, AT NO ADDITIONAL COST TO THE OWNER.
12. FURNISH ALL NECESSARY ACCESS PANELS TO DAMPERS, ETC., TO THE GENERAL TRADES.
13. BALANCE ALL SYSTEMS TO PROVIDE AIR QUANTITIES AND CAPACITIES INDICATED ON DRAWINGS. SUBMIT FINAL TEST AND BALANCE REPORT TO ARCHITECT/ENGINEER FOR ACCEPTANCE.

AHU N.T.S.

DUCT

CONNECTION

SHEET METAL LOCK 1"X1"X1"

10 X 1-1/4" SHEET METAL SCREWS 2" MAX. O.C. MIN. 2 PER SIDE.

- FAN COIL UNIT SURFACE.

RUCTURAL DRAWINGS FOR DIMENSIONS.
5. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR
ND THE ELECTRICAL CONTRACTOR TO MAKE SURE THAT NO ELECTRICAL CONDUITS
RE INSTALLED PRIOR TO THE DUCTS BEING HUNG, OFFSET DUCTWORK WHERE THE EXIST.
ONDUITS MAY INTERFERE WITH THE REQUIRED DUCT CLEARANCES IN THE CEILING SPACES.
JCTWORK MAY BE RUN IN JOIST SPACE WHERE NEEDED, PROVIDED SMOOTH
CANSITIONS ARE MADE AT ALL TURNS.
. ALL SIZES SHOWN FOR DUCTS ARE CLEAR INSIDE DUCT DIMENSIONS.

19. EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS — METAL AND FLEXIBLE . ALL DUCT JOINTS SHALL BE SEALED AND TAPED.	18. SUPPLY AND RETURN AIR DUCTWORK SHALL BE CLASS 1 FIBERGLASS DUCT BOARD CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST SMACNA FIBROUS DUCT CONSTRUCTION STANDARDS, DUCTWORK SHALL BE 1.5" THICK MINIMUM AND R=6.0 IN ACCORDANCE WITH THE STATE OF FLORIDA E.C.
18. SUPPLY AND RETURN AIR DUCTWORK SHALL BE CLASS 1 FIBERGLASS DUCT BOARD CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST SMACNA FIBROUS DUCT CONSTRUCTION STANDARDS, DUCTWORK SHALL BE 1.5" THICK MINIMUM AND R=6.0 IN ACCORDANCE WITH THE STATE OF FLORIDA E.C.	

A/C

UNIT HOUSING AND ROOF

 \leq

DUNTING CERTIFICATION

21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6), SUPPORTED AND INSTALLED TO AVOID SAGS AND KINKS. ALL FLEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH TO AVOID DISSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS — METAL AND FLEXIBLE. SEAL ALL FLEXIBLE DUCTS TO SUPPLY DUCTS AND DIFFUSERS WITH DUCT TAPE AND MASTIC.	FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.
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WITH DUCT TAPE AND MASTIC.
22. UNLESS NOTED OTHERWISE, FLEXIBLE DUCTS SHALL BE SAME SIZE AS DIFFUSER NECKS.
23. REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING TYPE L HARD OR SOFT DRAWN OR ACR COPPER TUBING WITH WROUGHT COPPER SOLDER JOINT FITTINGS. SOLDER SHALL BE SILVER SOLDER, APPLIED WITH SUITABLE FLUX.
24. PROVIDE FOR EACH REFRIGERANT SYSTEM, THERMOSTATIC EXPANSION VALVES WITH EXTERNAL EQUALIZERS, LIQUID REFRIGERANT FILTER WITH ISOLATION VALVES, MOISTURE INDICATOR, PURGER AND CHARGING FITTINGS, AND SHUT OFF VALVES AT CONDENSING LINITS PROVIDE SUCTION PIPING ACCUMULATORS WHERE
RECOMMENDED BY THE AIR CONDITIONING EQUIPMENT MANUFACTURER.

WITH DOCK LATE AND MACING.
22. UNLESS NOTED OTHERWISE, FLEXIBLE DUCTS SHALL BE SAME SIZE AS DIFFUSER NECKS.
23. REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING TYPE L HARD OR SOFT DRAWN OR ACR COPPER TUBING WITH WROUGHT COPPER SOLDER JOINT FITTINGS. SOLDER SHALL BE SILVER SOLDER, APPLIED WITH SUITABLE FLUX.
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RIIN REFRICERANT DIDING FROM THE AIR HANDLING LINIT TO THE CONDENSING LINIT

RUN REFRIGERANT PIPING FROM THE AIR HANDLING UNIT TO THE CONDENSING UNIT ON THE CONCRETE PAD.	CONDENSING UNITS. PROVIDE SUCTION PIPING ACCUMULATORS WHERE RECOMMENDED BY THE AIR CONDITIONING EQUIPMENT MANUFACTURER.	WITH EXTERNAL EQUALIZERS, LIQUID REFRIGERANT FILTER WITH ISOLATION VALVES, MOISTURE INDICATOR. PURGER AND CHARGING FITTINGS, AND SHUT OFF VALVES AT	24. PROVIDE FOR EACH REFRIGERANT SYSTEM, THERMOSTATIC EXPANSION VALVES	SOLDER SHALL BE SILVER SOLDER, APPLIED WITH SUITABLE FLUX.	23. REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING TYPE L HARD OR SOFT	NECKS.

CEILING FAN: PROVIDE WITH CEILING GRILLE, AUXILIARY SWITCH, BACKDRAFT DAMPER

→ 34.29" MAX. A/C UNIT WIDTH —

FRONT SIDE

BACK SIDE

FRONT SIDE

BACK SIDE

FRONT SIDE

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CONDENSING UNITS. PROVIDE SUCTION PIPING ACCUMULATORS WHERE	
RECOMMENDED BY THE AIR CONDITIONING EQUIPMENT MANUFACTURER.	
RUN REFRIGERANT PIPING FROM THE AIR HANDLING UNIT TO THE CONDENSING UNIT	
ON THE CONCEPTE DAD	

DRAWN OR ACR COPPER TUBING WITH WROUGHT COPPER SOLDER JOINT FITTINGS. SOLDER SHALL BE SILVER SOLDER, APPLIED WITH SUITABLE FLUX.	DRAWN OR ACR COPPER TUBING WITH WROUGHT COPPER SOLDER JOINT FITTINGS. SOLDER SHALL BE SILVER SOLDER, APPLIED WITH SUITABLE FLUX. 24. PROVIDE FOR EACH REFRIGERANT SYSTEM, THERMOSTATIC EXPANSION VALVES WITH EXTERNAL EQUALIZERS, LIQUID REFRIGERANT FILTER WITH ISOLATION VALVES,
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METAL AND FLEXIBLE. SEAL ALL FLEXIBLE DUCTS TO SUPPLY DUCTS AND DIFFUSERS WITH DUCT TAPE AND MASTIC.	
22. UNLESS NOTED OTHERWISE, FLEXIBLE DUCTS SHALL BE SAME SIZE AS DIFFUSER NECKS.	
23. REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING TYPE L HARD OR SOFT DRAWN OR ACR COPPER TUBING WITH WROUGHT COPPER SOLDER JOINT FITTINGS. SOLDER SHALL BE SILVER SOLDER, APPLIED WITH SUITABLE FLUX.	
24. PROVIDE FOR EACH REFRIGERANT SYSTEM, THERMOSTATIC EXPANSION VALVES	

SAGS AND KINKS. ALL FLEXIBI	SAGS AND KINKS. ALL FLEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH TO AVOID
DISSIMILAR PRESSURE DROPS. I	DISSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND
INSTALLED IN ACCORDANCE WITH	INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS -
METAL AND FLEXIBLE. SEAL ALL	METAL AND FLEXIBLE. SEAL ALL FLEXIBLE DUCTS TO SUPPLY DUCTS AND DIFFUSERS
WITH DUCT TAPE AND MASTIC.	
22. UNLESS NOTED OTHERWIS	22. UNLESS NOTED OTHERWISE, FLEXIBLE DUCTS SHALL BE SAME SIZE AS DIFFUSER
NECKS.	
23. REFRIGERANT PIPING SHAI	23. REFRIGERANT PIPING SHALL BE SEAMLESS COPPER TUBING TYPE L HARD OR SOFT
DRAWN OR ACR COPPER TUBIN	DRAWN OR ACR COPPER TUBING WITH WROUGHT COPPER SOLDER JOINT FITTINGS.

22. UNLESS NOTED OTHERWISE, FLEXIBLE DUCTS SHALL BE SAME SIZE AS DIFFUSER NECKS.	21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6), SUPPORTED AND INSTALLED TO AVERAGE AND KINKS. ALL FLEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH TO AVOID DISSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS — METAL AND FLEXIBLE. SEAL ALL FLEXIBLE DUCTS TO SUPPLY DUCTS AND DIFFUSERS WITH DUCT TAPE AND MASTIC.	EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.
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EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS. 21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6), SUPPORTED AND INSTALLED TO A SAGS AND KINKS. ALL FLEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH TO AVOID DISSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS — METAL AND FLEXIBLE. SEAL ALL FLEXIBLE DUCTS TO SUPPLY DUCTS AND DIFFUSERS WITH DUCT TAPE AND MASTIC. 22. UNLESS NOTED OTHERWISE, FLEXIBLE DUCTS SHALL BE SAME SIZE AS DIFFUSER NECKS.
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EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.

D. PROVIDE VOLUME DAMPERS, TURNING VANES, ET OW AND BALANCE. PROVIDE VOLUME DAMPER WITH LEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWOR XTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONDUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WOOD DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WOOD DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WOOD DUCTS SHALL BE THE INSULATED TYPE ASSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL SIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL	D. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN I OW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKIN LEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROXITRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTION DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SWO DUCTS SHALL BE THE INSULATED TYPE(R-6), ACS AND KINKS. ALL FLEXIBLE DUCTS SHALL BE COUSTINE PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE COUSTINED.	D. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORI OW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADI-EXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MUXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSIVO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN OF DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN OF STEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH OF SAND KINKS. ALL FLEXIBLE DUCTS SHALL BE CONSTRUCTIVES SIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTIVE OF THE PROPERTION OF THE PROPERT OF THE PROPERTION OF THE PROPERTI	D. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR I OW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT LEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE XTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN YOU DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAW WO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAW OF LEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH TO ANSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND SIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND	20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AIR FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS. 21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6), SUPPORTED AND INSTALLED SAGS AND KINKS. ALL FLEXIBLE DUCTS SHALL BE SIMILAR IN LENGTH TO AVOID DISSIMILAR PRESSURE DROPS. FLEXIBLE DUCTS SHALL BE CONSTRUCTED AND
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A/C UNIT HEIGHT (53.86" MAX.)

-14.000"-

CONDENSATE DRAIN
N.T.S.

DETAIL

EQ.

REINFORCING PLATE
SCALE: 6" = 1'-0" SECTION

20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AIR FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS. 21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6). SUPPORTED AND INSTALLED TO A
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EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.
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21 ELEXIBLE DITCLE CHALL BE THE INCLUMENTED TABE(B_6) CLIBBORTED AND INCTALLED TO WA	20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AIR FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.	אים ואירני. אים ואירני.
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FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS. 21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6), SUPPORTED AND INSTALLED TO SACS AND KINKS. ALL FLEXIBLE DUCTS SHALL BE THE RESULATED TYPE SHAL	30 DECKINE VOLLIME DYMPERC THEMINIO WHIES ELS IN DITCHMORK EUB DEUDED VID
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21. FLEXIBLE DUCTS SH	20. PROVIDE VOLUME I FLOW AND BALANCE. PI FLEXIBLE DUCT CONNECT EXTRACTORS WITH CONTF TWO DUCT DIAMETERS TO	
21. FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6), SUPPORTED AND INSTALLED TO AV	20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AIR FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.	

21	20. FLE TWO	SEAL
21 FLEXIBLE DUCTS SHALL BE THE INSULATED TYPE(R-6) SUPPORTED AND INSTALLED	20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AI FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.	SEALED AND TAPED.

SEALED AND TAPED. 20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AII FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.
MEIAL AND FLEXIBLE . ALL DUCT JOINTS : ME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FO ME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FO PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT MECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIP NITROL RODS AT ALL OUTLETS CONNECTED CLOSER 1 S TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DIF
NO FLEXIBLE. ALL DUCT JOINIS SHIP FLEXIBLE. ALL DUCTWORK FOR THE DAMPER WITH LOCKING QUADRANT PPLY DUCTWORK. PROVIDE MULTIP ALL OUTLETS CONNECTED CLOSER 1 DUCT, AND WHERE SHOWN ON DIVINITY DUCT, AND WHERE SHOWN ON DIVINITY TYPE (P. 8) STIPPOPTED INSTITUTION.
IL DUCI JOINIS (IN DUCTWORK FO OCKING QUADRANT PROVIDE MULTIP NECTED CLOSER 1 RE SHOWN ON DI RE SHOWN ON DI

EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.
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20. PROVIDE VOLUME DAMPERS, TURNING VANES, ETC., IN DUCTWORK FOR PROPER AIR FLOW AND BALANCE. PROVIDE VOLUME DAMPER WITH LOCKING QUADRANT AT ALL FLEXIBLE DUCT CONNECTIONS WITH SUPPLY DUCTWORK. PROVIDE MULTIPLE VANE EXTRACTORS WITH CONTROL RODS AT ALL OUTLETS CONNECTED CLOSER THAN TWO DUCT DIAMETERS TO MAIN SUPPLY DUCT, AND WHERE SHOWN ON DRAWINGS.	19. EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS — METAL AND FLEXIBLE . ALL DUCT JOINTS SHALL BE SEALED AND TAPED.
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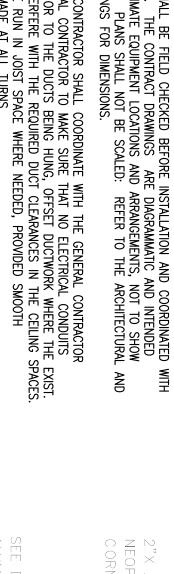
ALL SIZES SHOWN FOR DUCTS ARE CLEAR INSIDE DUCADJUST DUCT SIZES TO MATCH INLET AND OUTLET CODITIONERS, ETC. SUPPLY AND RETURN AIR DUCTWORK SHALL BE CLASSED CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE STATE OF FLORIDA E.C. EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET	16. ALL SIZES SHOWN FOR DUCTS ARE CLEAR INSIDE DUCT DIMENSIONS. 17. ADJUST DUCT SIZES TO MATCH INLET AND OUTLET CONNECTIONS OF FANS, AIR CONDITIONERS, ETC. 18. SUPPLY AND RETURN AIR DUCTWORK SHALL BE CLASS 1 FIBERGLASS DUCT BOARD CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST SMACNA FIBR DUCT CONSTRUCTION STANDARDS, DUCTWORK SHALL BE 1.5" THICK MINIMUM AND R=IN ACCORDANCE WITH THE STATE OF FLORIDA E.C.	19.	■ DUC BOA	17.	16.
OT NNI	DIMENSIONS. ECTIONS OF FANS, FIBERGLASS DUCT HE LATEST SMACNA THICK MINIMUM AN	19. EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET	18. SUPPLY AND RETURN AIR DUCTWORK SHALL BE CLASS 1 BOARD CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH TH DUCT CONSTRUCTION STANDARDS, DUCTWORK SHALL BE 1.5". IN ACCORDANCE WITH THE STATE OF FLORIDA E.C.	17. ADJUST DUCT SIZES TO MATCH INLET AND OUTLET CONNICONDITIONERS, ETC.	16. ALL SIZES SHOWN FOR DUCTS ARE CLEAR INSIDE DUCT
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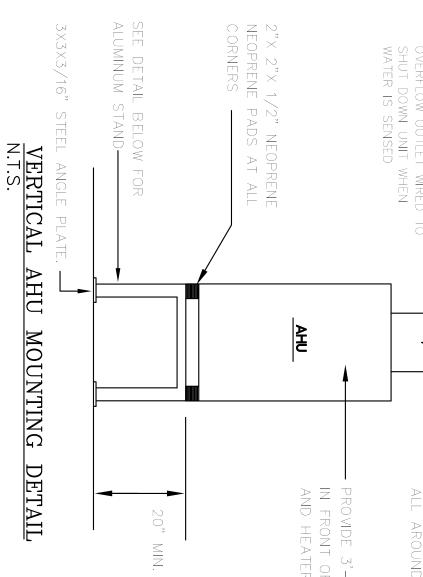
CONDUITS MAY INTERFERE WITH THE REQUIRED DUCT CLEARANCES IN THE CEILING SPACES. DUCTWORK MAY BE RUN IN JOIST SPACE WHERE NEEDED, PROVIDED SMOOTH TRANSITIONS ARE MADE AT ALL TURNS.	
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IN ACCORDANCE WITH THE STATE OF FLORIDA E.C.	

16. ALL SIZES SHOWN FOR DUCTS ARE CLEAR INSIDE DUCT DIMENSIONS.	15. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND THE ELECTRICAL CONTRACTOR TO MAKE SURE THAT NO ELECTRICAL CONDUITS ARE INSTALLED PRIOR TO THE DUCTS BEING HUNG, OFFSET DUCTWORK WHERE THE EXIST. CONDUITS MAY INTERFERE WITH THE REQUIRED DUCT CLEARANCES IN THE CEILING SPACES. DUCTWORK MAY BE RUN IN JOIST SPACE WHERE NEEDED, PROVIDED SMOOTH TRANSITIONS ARE MADE AT ALL TURNS.	14. ALL WORK SHALL BE FIELD CHECKED BEFORE INSTALLATION AND COORDINATED WITH ALL OTHER TRADES. THE CONTRACT DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO DEPICT APPROXIMATE EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW ANY MINOR DETAIL. PLANS SHALL NOT BE SCALED: REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS.	13. BALANCE ALL SYSTEMS TO PROVIDE AIR QUANTITIES AND CAPACITIES INDICATED ON DRAWINGS. SUBMIT FINAL TEST AND BALANCE REPORT TO ARCHITECT/ENGINEER FOR ACCEPTANCE.	12. FURNISH ALL NECESSARY ACCESS PANELS TO DAMPERS, ETC., TO THE GENERAL TRADES.	11. PROVIDE ALL NEW MATERIALS OF AMERICAN MANUFACTURE, BEARING THE U.L. LABEL AS APPLICABLE. PROVIDE SUPPLEMENTAL MATERIALS NOT SPECIFICALLY NOTED HEREIN, BUT REQUIRED TO COMPLETE THE INSTALLATION IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DRAWINGS, AT NO ADDITIONAL COST TO THE OWNER.
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RANSITIONS ARE MADE AT ALL TURNS.	5. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR ND THE ELECTRICAL CONTRACTOR TO MAKE SURE THAT NO ELECTRICAL CONDUITS RE INSTALLED PRIOR TO THE DUCTS BEING HUNG, OFFSET DUCTWORK WHERE THE EXIST. CONDUITS MAY INTERFERE WITH THE REQUIRED DUCT CLEARANCES IN THE CEILING SPACES. DUCTWORK MAY BE RUN IN JOIST SPACE WHERE NEEDED, PROVIDED SMOOTH	DEPICT APPROXIMATE EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW NY MINOR DETAIL. PLANS SHALL NOT BE SCALED: REFER TO THE ARCHITECTURAL AND TRUCTURAL DRAWINGS FOR DIMENSIONS.
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UCTWORK MAY BE RUN IN JOIST SPACE WHERE NEEDED, PROVIDED SMOOTH	
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ACCESSORIES	3 [1]		UNIT DESIGNATION	AHU/CU-1
O.B.D. LAY-IN			AREA SERVED	SEE PLANS
			LOCATION	SEE PLANS
			DESIGN MANUFACTURER	TRANE
			MODEL NO.	TAM7A0C36
		T	SEER	17.5
		L UNI	TOTAL AIR, CFM	1200
		I COII	EXT. STATIC PRESS., INCHES OF H2O	0.5
AS PE	PER FBC 2014	FAN	MCA/MOCP	38/40
CEM	CYCTEM		ELECTRICAL SERVICE AVAILABLE V/PH	240/1P
PROVIDED	DESIGNATION		TOTAL CAPACITY, MBH	36.0
60	AHU−1		SENSIBLE CAPACITY, MBH	27.0
			ENTERING AIR TEMP. F D8/WB	80/67
			FILTER TYPE & THICKNESS	DISPOS. 1"
			ELECTRIC HEATER KW AT 240V / 1 PH	5.8
		IIT	COMPRESSOR RLA/LRA	17/82
		G UN	FAN MOTOR FLA	0.74
×		NSIN	AMBIENT AIR TEMP. F DB	95
		NDE	MIN. CIRCUIT AMPACITY	24
		D CC	MAX. PROTECTION AMPS	35
		OOLE	REFRIG. SUCTION/LIQ. SIZE NOMINAL — IN	3/4 / 3/8
		IR CO	ELECTRICAL SERVICE AVAILABLE V/PH	240/1P
		A	MODEL NO.	4TTR7036(**)
		* 3 2 1	ALL THERMOSTATS SHALL BE PROGRAMMABLE. ALL FAN COIL UNITS SHALL BE PROVIDED WITH F SEE MANUFACTURER'S REFRIGERANT LINE SIZE CI SPLIT SYSTEM A/C MANUFACTURER COULD BE A	AMMABLE. WIDED WITH FACTORY INSTALLED LINE SIZE CHART FOR RECOMME
) N D F	DETAIL	#3	TWO STAGES COMPRESSORS.	ANI EMOINALEINI AO

HVAC DESIGN REQUIRES: YES	REQUIRES:	YES	ON
DUCT SMOKE DETECTOR			×
FIRE DAMPER(S)			×
SMOKE DAMPER(S)			×
FIRE RATED ENCLOSURE			×
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY			××
FIRE STOPPING			×
SMOKE CONTROL			×

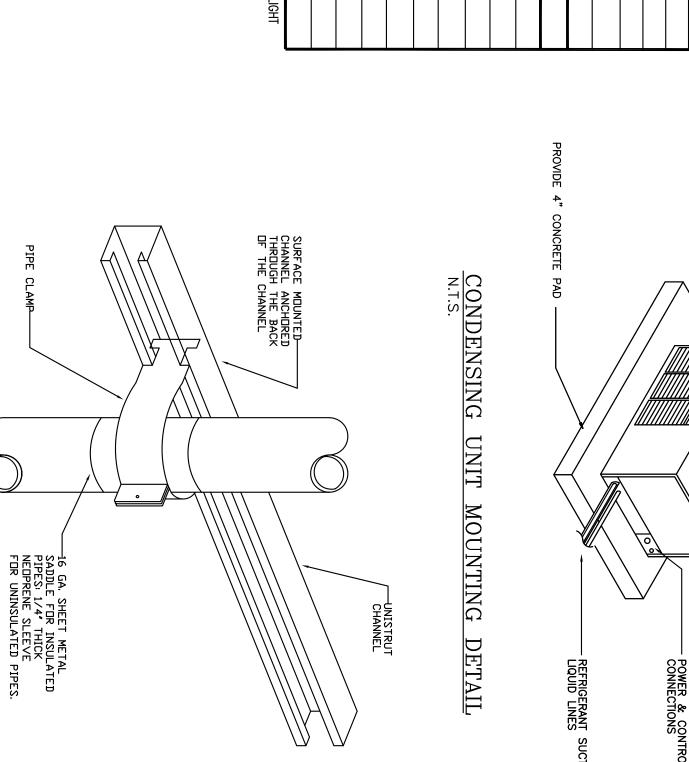
REFRIGERANT N.T.S.

PIPE

RISER

SUPPORT

(*) EXHAUST FAN SHALL BE INTERLOCKED WITH LIGHT SWITCH	MODEL NUMBER	DESIGN MANUFACTURER	8. CONT. FROM WALL SWITCH	7. BACKDRAFT DAMPER	6. SCREEN / FAN GUARD	5. OUTLET SCREEN	4. CEILING GRILLE	3. THERMOSTAT	2. AUX. SWITCH	1. COMPAN. ROOF CURB	ACCESSORIES	AVAILABLE POWER	MOTOR - WATT	FAN SPEED - RPM	STATIC PRESS.(IN. OF WATER)	CAPACITY - CFM	DRIVE TYPE	WHEEL TYPE	FAN TYPE	LOCATION	UNIT DESIGNATION
LOCKED WITH LIGHT	SP-B70	GREENHECK	YES(*)	YES	NO	NO	NO	NO	YES	NO		115/1P	45	675	1/4	50	DIRECT	CENTRIF.	IN LINE	CEILING	TEF-1



SEAL JOINT WITH DUCT SEALER & TAPE DRAW BAND SPIN COLLAR W DAMPER AND EXTRACTOR RESIDI N.T.S.
1" WIDE HANGER 22 GA. TO STRUCTURE ABOVE AS PER SMACNA STANDARDS. LOW VELOCITY SUPPLY AIR DUCT (SEE PLAN VIEW) INSULATED FLEXIBLE DUCT. SUPPORT AT EVERY 5"-0" (MAX.) TO AVOID SAG. 1.5" WIDE STRAP SADDLE SUPPORTED TO STRUCTURE ABOVE WITH 12 GA. HANGER WIRE. AIR FLOW PLOW RESIDENTIAL FLEXIBLE DUC
AIR FLOW FLOW SPIN COL EXTRACTO OPERATION SEAL JOIN SEALER & SEALE
2"x1.5"-22 GA. CHANNEL AT 6'-0" O.C. MAX. SPIN COLLAR FITTING WITH EXTRACTOR & DAMPER W/ QUADRANT OPERATOR TO BE OUTSIDE INSULATION PROVIDE INSULATION GUARD WHERE NECESSARY. SEAL JOINT WITH DUCT SEALER & TAPE ECTION DETAIL

DRAWN BY: AL

July 2016

M-2

NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK

SEAL

5	PROPOSED	RENOVATION

GOLDEN BEACH ENTRANCE THE STRAND GOLDEN BEACH, FL 33160

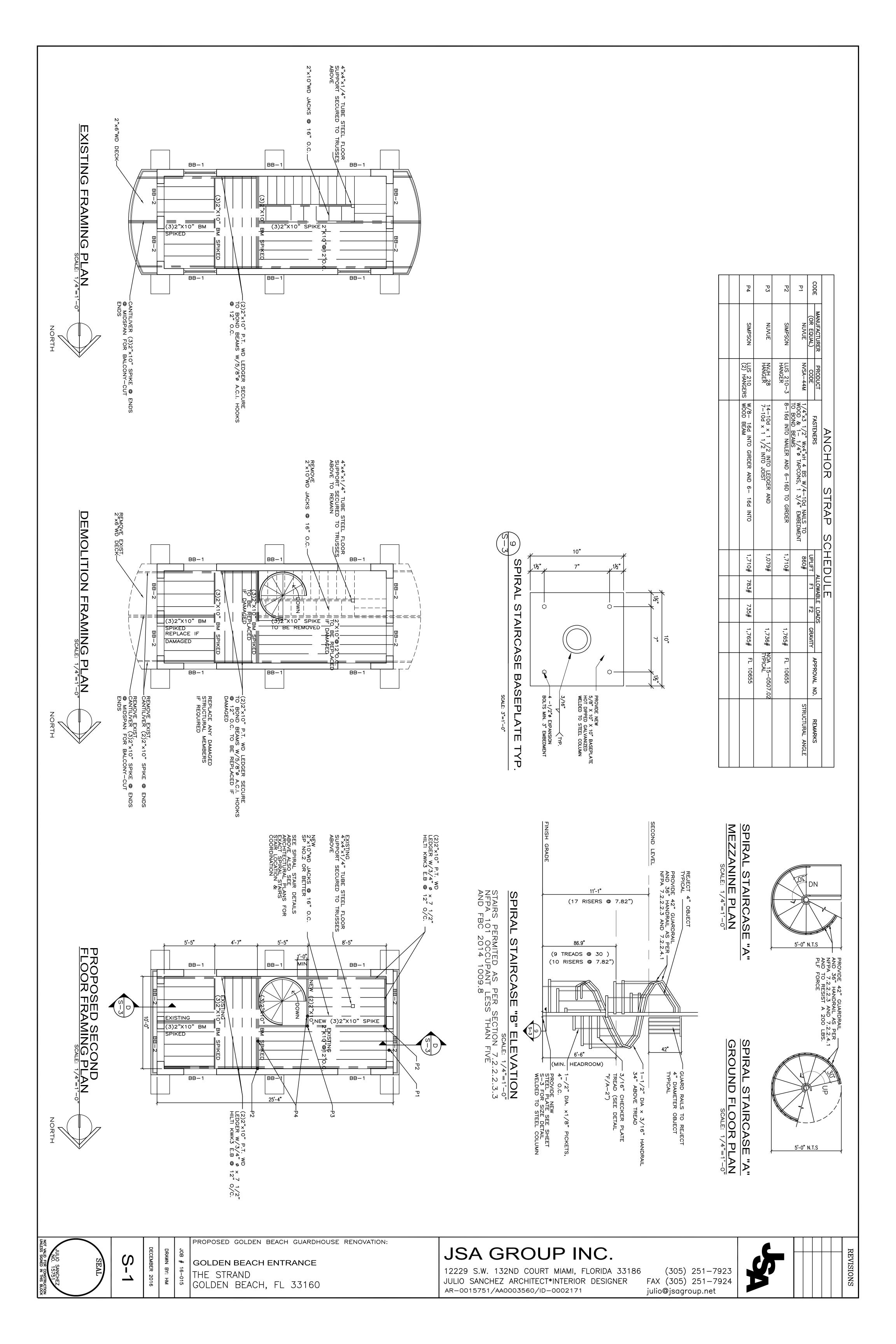
JSA GROUP INC.

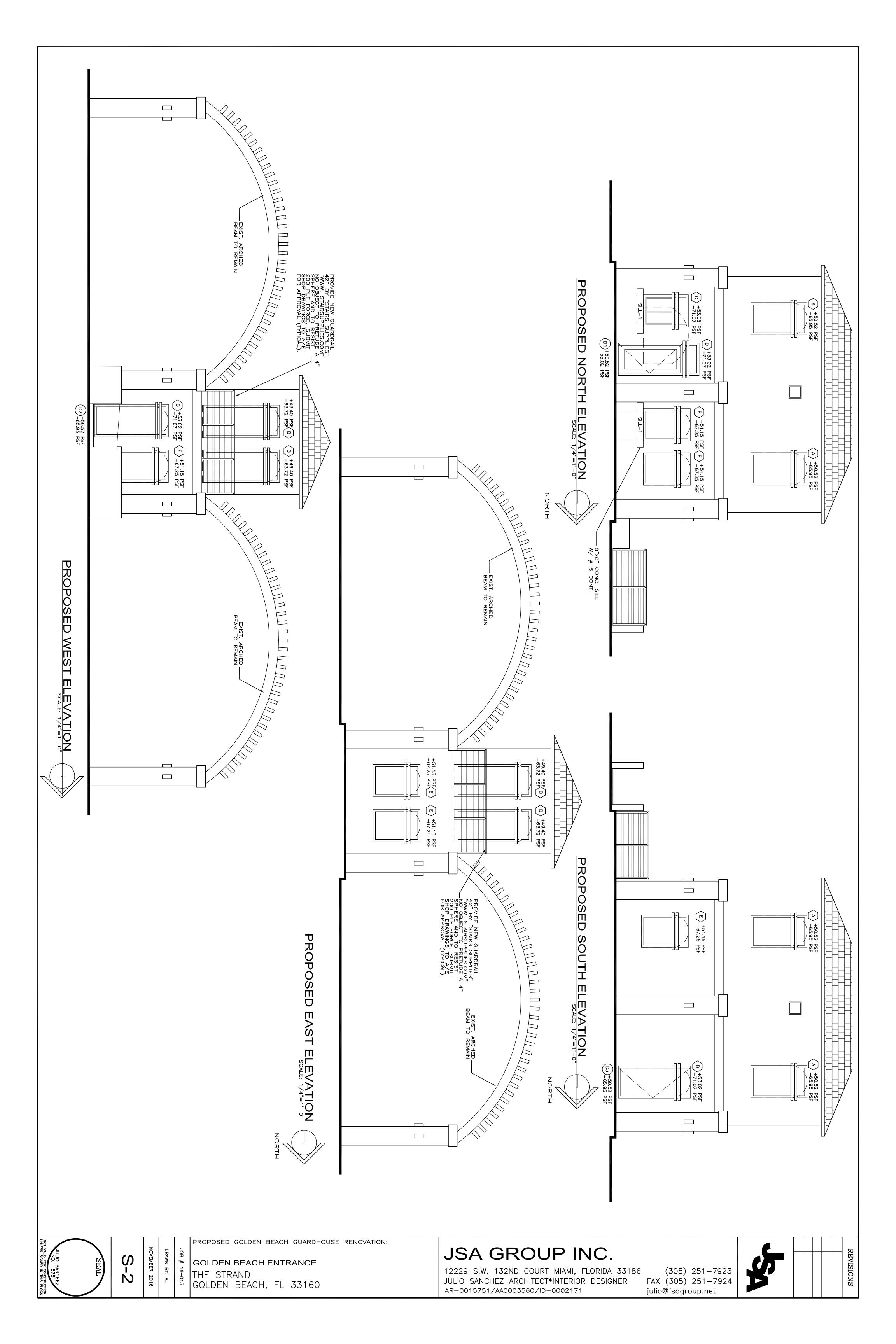
12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 (305) 251-7923 JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER FAX (305) 251-7924 julio@jsagroup.net AR-0015751/AA0003560/ID-0002171



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D			

S SG





CONCRETE AND REINFORCING:

- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318—14), 2010 AISC CODE OF STANDARD PRACTICE, 530/530.1—13 BUIDLING CODE REQUIREMENTS FOR MASONRY STRUCTURES.
- ALL CONCRETE TO BE REGULAR WEIGHT WITH AN COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP 3" MIN. TO 5" MAX. ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (A.C.I. 301 — LATEST EDITION). PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 305R — LATEST EDITION).
- ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING AS PER ASTM A-615 GRADE 60, FABRICATED IN ACCORDANCE WITH C.R.S.I. MANUAL OF STANDARD PRACTICE AND PLACED IN ACCORDANCE WITH A.C.I. 315 AND C.R.S.I. MANUAL O STANDARD PRACTICE.
- CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS: FOOTINGS: (BOTTOM)

 (TOP & SIDES)

 COLUMNS AND BEAMS:
- COLUMN REINFORCEMENT:

 DOWELS TO BE SAME SIZE AND NUMBER AS VERTICAL REBARS ABOVE. LAP
 BAR DIAMETER OR MINIMUM OF 18" U.O.N. PROVIDE RIGID TEMPLETS FOR
 DOWEL LOCATION. PROVIDE STANDARD HOOKS AT TOP OF ALL VERTICAL
 REINFORCEMENT AT NONCONTINUOUS COLUMNS (U.O.N.).
- ALL DOWELS FOR COLUMNS SHALL BE SECURED IN POSITION PRIOR TO CONCRETING. PUSHING THE DOWELS INTO POSITION IN WET CONCRETE PERMITTED. IS NOT
- ADDED REINFORCEMENT:
 PROVIDE ADDITIONAL CORNER BARS BENT 36 INCHES MINIMUM EACH WAY AT "L"
 AND "T" CORNERS IN OUTER FACES OF ALL BEAMS TO MATCH ALL HORIZONTAL
 BAR (TOP, BOTTOM AND INTERMEDIATE REBARS). BEAM REINFORCEMENT: LAPPED 36 BAR DIAMETER OR MINIMUM 18 INCHES (SEE BEAM DIAGRAM ON PLAN). BOTTOM BARS SPLICED ONLY AT SUPPORTS, TOP BARS SPLICED ONLY AT MID—SPAN. ALL TOP BARS HOOKED AT NONCONTINUOS EDGES (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE HOOKS AS REQUIRED (U.O.N.).

SEE PLAN FOR MINIMUM SIZE CONCRETE TIE BEAM REQUIREMENTS

GENERAL:

1. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTIALLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH—IN MEASUREMENTS, OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF. 2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.

4. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH AN ADVANCED NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYIN THE SAME. 3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.

5. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS AND SPECIFICATIONS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER TRADE DRAWINGS AND SHOP DRAWINGS, TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. NOTIFY ARCHITECT/ENGINEER, IN WRITING, OF AN POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.

2. IN ORDER TO COMPLY WITH THE ABOVE, A/E MUST BE RETAINED AS THE STRUCTURAL INSPECTOR, AND NOTIFIED AT LEAST 24 HOURS PRIOR TO ANY CONCRETE PLACING OR OTHER OPERATIONS THAT WILL CONCEAL STRUCTURAL ELEMENTS. UNLESS EVERY STRUCTURAL ELEMENT WAS ADEQUATELY OBSERVED BY THE A/E, THE A/E WILL NOT ISSUE THE REQUIRED "STATEMENT OF INSPECTION". 1. DADE COUNTY REQUIRES THAT THE ENGINEER—OF—RECORD SUBMIT A STATEMENT, AT THE COMPLETION OF THE CONSTRUCTION WORK, REGARDING THE COMPLIANCE OF THE WORK WITH THE APPROVED PERMIT PLANS. STRUCTURAL OBSERVATIONS:

3. IT IS UNDERSTOOD THAT A/E WILL NOT BE HELD RESPONSIBLE PROPERLY OBSERVED BY THE A/E OR FOR ANY WORK, APPROVED BY OTHER INSPECTING ENGINEER (OTHER THAT THE A/E-OF-RECORD) WHICH MODIFIES OR CHANGES THE STRUCTURAL PERMIT RECORD DOCUMENTS. DESIGN CRITERIA: NOTES:

1. EXPANSION BOLT HILTI KWIK III BO

2. ALL METAL STRUGUNCLUDING BOLTS SHALL BE HOT DE GALVANIZED

TS TO BE

STRUCTURAL

1. THE DESIGN COMPLIES CODE — (2014 EDITION)

WITH THE REQUIREMENTS

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BUILDING

WIND LOAD CRITERIA:
BASED ON ANSI/ASCE 7
OCCUPANCY CATEGORY I
EXPOSURE "C".
Kd= 1.0

7-10 BASIC WIND VELOCITY 175 MPH ULTIMATE, II (URBAN, SUBURBAN, URBAN AREAS),

F DESIGN LOADS: S.I. DEAD LOADS: LIVE LOADS: . .

LUMBER AND FRAMING NOTES:

1. FRAMING LUMBER; SHALL CONFORM WITH THE PROVISIONS OF THE 2012 NATIONAL DESIGN SPECIFICATION, FOR WOOD AND EACH PIECE SHALL BEAR THE GRADE STAMP OF AN APPROVED GRADING AGENCY.

4. STANDARD CUT WASHERS AGAINST WOOD. 3. BOLT HOLES SHALL BE 1/16" LARGER THAN THE BOLT SIZE. RE-TIGHTEN ALL NUTS PRIOR TO CLOSING IN. SHALL BE USED UNDER BOLT HEADS AND

7. 2" SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS. 6. NOTCH JOISTS, RAFTERS OR BEAMS ACCORDING TO DRAWINGS, OBTAIN ENGINEER'S OR ARCHITECT'S APPROVAL FOR ANY HOLES OR NOTCHES NOT DETAILED. HOLES THROUGH SILLS, PLATES, STUDS AND DOUBLE PLATED IN INTERIOR, BEARING AND SHERE WALLS SHALL NOT EXCEED 1/3 THE PLATE WIDTH. USE BORED HOLES LOCATED IN THE CENTER OF THE STUD OR PLATE.

MASONRY V **WALLS:**

2. CONCRETE MASONRY UNITS: ASTM C90, GRADE N-1, MODULAR, MINIMUN NET COMPRESSIVE STRENGTH AT 28 DAYS = 1900 PSI. 1. ALL REINFORCED MASONRY WALLS SHALL BE PROVIDED WITH #9 DUR-0-WALL LADDER TYPE HORIZONTAL REINFORCEMENT AT 1'-4" VERTICALLY LAPPED 7-1/2" AND EXTENDED 4" INTO CONCRETE COLUMNS. PROVIDE SPECIAL HORIZONTAL REINFORCING AT "T" AND "L" INTERSECTION. PROVIDE "DOVE—TAIL" ANCHORS AT 16" O.C. VERTICALLY FOR ALL MASONRY PLACED ADJACENT TO ALREADY IN PLACE COLUMNS.

4. DENOTES BEARING CONC. BLOCK WALL. INSTALL BLOCK BEFORE ADJACENT COLUMNS AND BEAMS. 3. MORTAR: ASTM C270, TYPE S. MORTAR ALL FACE SHELLS, AND CROSS SHELLS AROUND ALL GROUT FILLED CELLS WITH A MINIMUM STRENGTH 2000 PSI (USE PORTLAND TYPE CEMENT).

6. GROUT: ASTM C476. COARSE GROUT. SLUM 8" MINIMUN; 11" MAXIMUM COMPRESSIVE STRENGTH AT 28 DAYS = 3000 PSI. SUBMIT DESIGN MIX FOR REVIEW. 5. JOINT REINFORCING LADDER TYPE: 9 GAGE LONGITUDINAL WIRE, 9 GAGE CROSS WIRE. "DUR—O—WALL" OR EQUAL AT 16" C/C. DESIGN F'M = 1

8. ANY MASONRY OPENINGS BETWEEN 3 AND 8 FT. IN WIDTH SHALL HAVE VERTICAL BARS IN CONCRETE FILLED CELLS ON EACH SIDE OF OPENING AS INDICATED IN THE FOUNDATION PLAN (AND ANY OTHER FLOOR IF APPLICABLE). THESE REBARS SHALL BE HOOKED AT THE FOUNDATION AND AT THE TIE BEAM AND LAPPED 48 BAR DIAMETER MINIMUM. PLACE ALL MASONRY UNITS IN RUNNING BOND.

12. INTERSECTING WALLS:
BONDED AT LOCATIONS WHERE THEY MEET OR INTERSECT BY THE
FOLLOWING METHOD:
FIFTY PERCENT OF THE UNITS AT THE INTERSECTION SHALL BE LAID
IN AN OVERLAPPING FIFTY PERCENT OF THE UNITS AT THE INTERSECTIO
THAN 3 INCHES ON THE UNIT BELLOW. MAXIMUM POUR PROVIDE KNOCK-OUTS AT BASE OF ALL CELLS CONTAINING REINFORCING. LIFT = 4'-0"

14. PROVIDE VERTICAL REINFORCEMENT AS INDICATED ON FOUNDATION PLAN AT EACH SIDE OF WALL OPENING AND @ INTERSECTING WALLS. VERTICAL REINFORCEMENT SHALL BE SPLICED 48 BAR DIAMETER MINIMUN. SPECIAL INSPECTION IS REQUIRED.

 $1\#5 \otimes 8" \text{ O/C}, 16" \text{ LONG}$ BENT W/ MIN. 4" EMBEDM

2"x10" WOOD JOIST PROVIDE 30# FELT PAPER W/8" CBS CONTACT

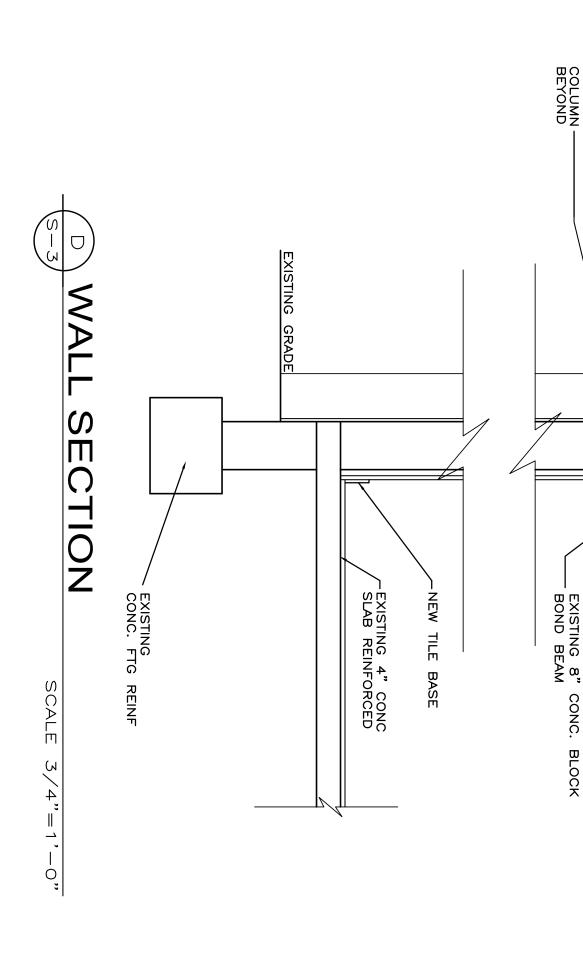
PLATE BY MFA W/4 -3/8 LONG STAINLESS ALUM. OF STAINLESS STEEL ANCHOR

15.

2. FRAMING LUMBER GRADES; THE FOLLOWING GRADES SHALL BE THE MINIMUM ACCEPTABLE GRADES, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

5. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR OTHERWISE BE PROTECTED BY AN APPROVED SEPARATING MATERIAL. BOLTS SHALL BE PLACED 9" FROM ANY NOTCH GREATER THAN 1/2 THE WIDTH OF A MEMBER.

PROVIDE NEW GUARDRAIL 42" BY "STAIRS SUPPLIES."
"WWW. STAIRSUPPLIES.COM"
NO OBJECT TO PRETUDE A SPHERE AND TO RESIST — SPHERE AND TO RESIST — SHOP DRAWINGS TO A/E FOR APPROVAL (TYPICAL). NEW 3/4" STUCCO FINISH PAINTED LATH & STUCCO PAINTED EXISTING

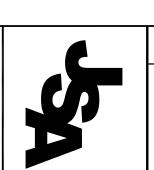


PROPOSED GOLDEN BEACH GUARDHOUSE RENOVATION:

THE STRAND GOLDEN BEACH, FL 33160

JSA GROUP INC. 12229 S.W. 132ND COURT MIAMI, FLORIDA 33186 JULIO SANCHEZ ARCHITECT*INTERIOR DESIGNER AR-0015751/AA0003560/ID-0002171

(305) 251-7923 FAX (305) 251-7924 julio@jsagroup.net



REVISIONS

DRAWN BY: AL NOVEMBER 2016 # 16-015

GOLDEN BEACH ENTRANCE

