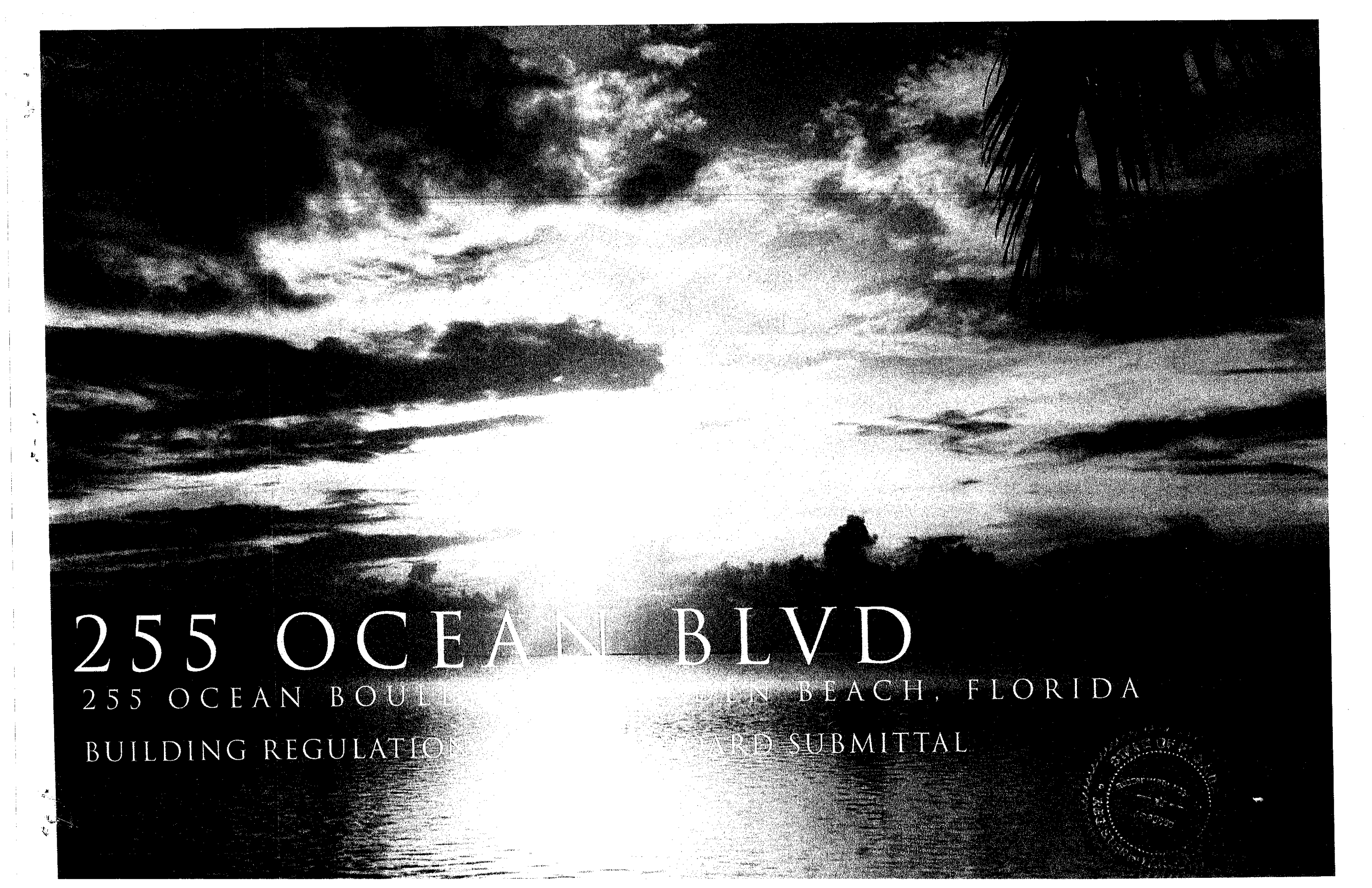




255 OCEAN BLVD

255 OCEAN BOULEVARD, SEASIDE BEACH, FLORIDA

BUILDING REGULATION DEPARTMENT BOARD SUBMITTAL



NEW SINGLE FAMILY RESIDENCE

BUILDING REGULATION ADVISORY BOARD

255 OCEAN BOULEVARD

GOLDEN BEACH, FLORIDA

CLIENT

ARCHITECT

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

420 LINCOLN ROAD
SUITE 606
MIAMI BEACH, FLORIDA 33139
O: 305.674.8031
F: 305.328.9006
WWW.DOMODESIGNSTUDIO.COM

CONSULTANTS

LANDSCAPE

SCOPE OF WORK

-NEW SINGLE FAMILY RESIDENCE, DRIVEWAY, POOL TERRACE, LANDSCAPE AND POOL.
-VARIANCE FOR FINISH GRADE ELEVATIONS + GROUND FLOOR ELEVATION

INDEX OF DRAWINGS

CV-0.0 COVER SHEET

EX-1.0 SURVEY
EX-1.1 LOCATION PLAN
EX-1.2 NEIGHBORHOOD PLAN
EX-1.3 DEMOLITION PLAN

A-1.0 PROPOSED BUILDING - SITE PLAN
A-1.1 PROPOSED BUILDING - GROUND FLOOR PLAN
A-1.1A PROPOSED BUILDING - GROUND FLOOR PLAN
A-1.1B PROPOSED BUILDING - GROUND FLOOR PLAN
A-1.2 PROPOSED BUILDING - FIRST FLOOR PLAN
A-1.2A PROPOSED BUILDING - FIRST FLOOR PLAN
A-1.2B PROPOSED BUILDING - FIRST FLOOR PLAN
A-1.3 PROPOSED BUILDING - SECOND FLOOR PLAN
A-1.3A PROPOSED BUILDING - SECOND FLOOR PLAN
A-1.3B PROPOSED BUILDING - SECOND FLOOR PLAN
A-1.4 PROPOSED BUILDING - ROOF PLAN
A-1.4A PROPOSED BUILDING - ROOF PLAN
A-1.4B PROPOSED BUILDING - ROOF PLAN

A-2.0 TRANSVERSE SECTION
A-2.1 LONGITUDINAL SECTION
A-2.1A LONGITUDINAL SECTION
A-2.1B LONGITUDINAL SECTION

A-3.0 MATERIAL KEY

A-4.0 CARRIAGE HOUSE WEST ELEVATION
A-4.1 CARRIAGE HOUSE EAST ELEVATION
A-4.2 MAIN HOUSE WEST ELEVATION
A-4.3 MAIN HOUSE EAST ELEVATION
A-4.4 ELEVATION - NORTH
A-4.4A ELEVATION - NORTH
A-4.4B ELEVATION - NORTH
A-4.5 ELEVATIONS- SOUTH
A-4.5A ELEVATIONS- SOUTH
A-4.5B ELEVATIONS- SOUTH

A-5.0 WALL SECTION

A-6.0 GRADING & DRAINAGE NOTES
A-6.1 GRADING & DRAINAGE PLAN
A-6.2 WATER PLAN
A-6.3 SEWER PLAN
A-6.4 EROSION CONTROL PLAN
A-6.5 EROSION CONTROL NOTES
A-6.6 AREA DIAGRAM
A-6.7 PARKING CONSTRUCTION DIAGRAM

A-7.0 RENDERING
A-7.1 RENDERING



Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 18 2016

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

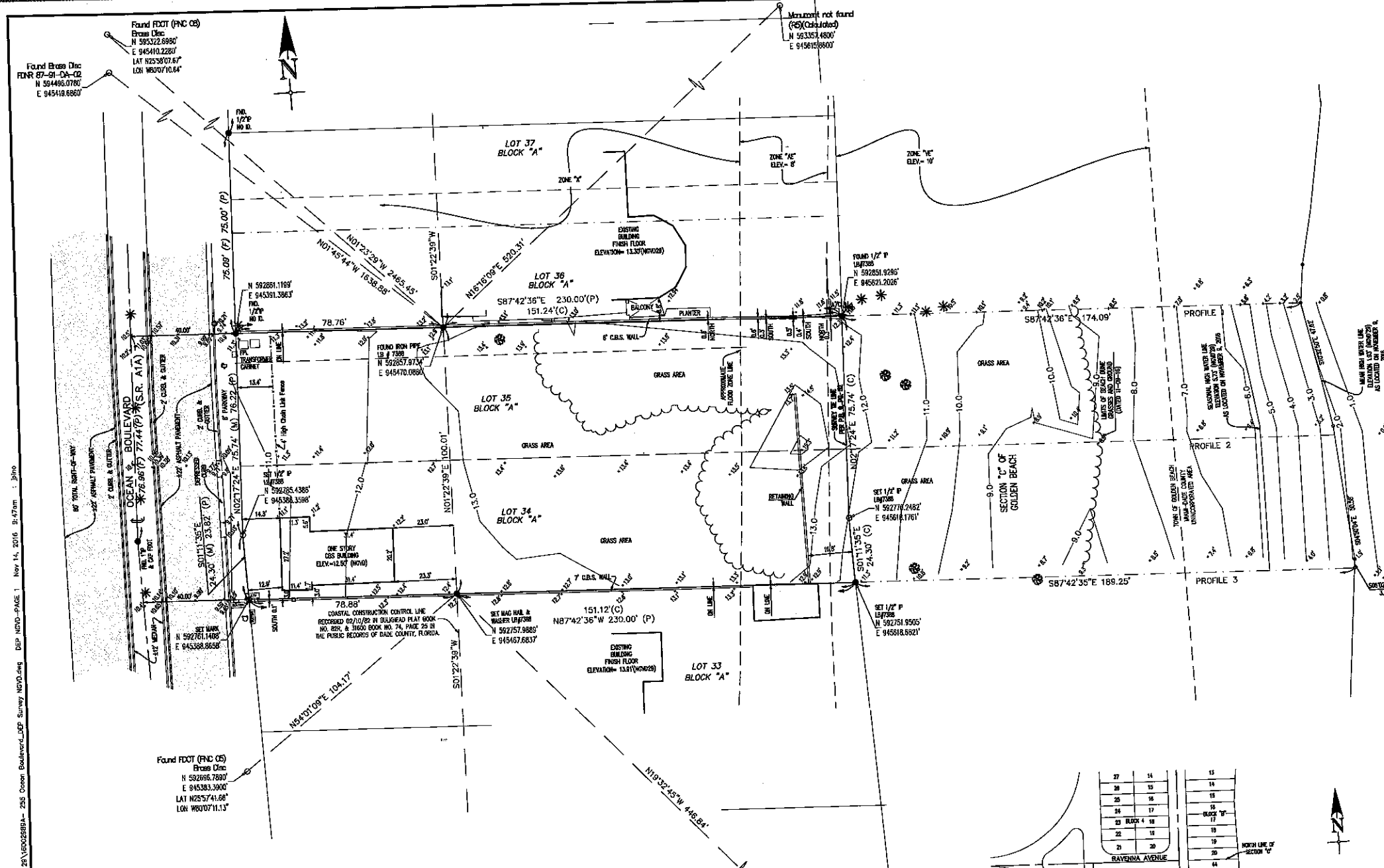
[Signature]
11/14/16

CV-0.0

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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A26002383

SURVEY



LEGAL DESCRIPTION:
Lots 34 and 35, Block "A" of GOLDEN BEACH SUBDIVISION SECTION "C", according to the Plat thereof, as recorded in Plat Book 9, at Page 52, of the Public Records of Miami-Dade County, Florida.

Folio No.: 19-1235-009-0250

SURVEYOR'S NOTES:

- No underground findings were located.
- The client provided the legal description to this surveyor.
- Ownership is subject to opinion of title.
- No encroachments were noted by this survey, except as shown hereon.
- Right of Way as shown is based on the recorded Plat and the record description. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than as shown on the underlying record plat or as stated in the legal description or as noted in the recorded documents provided to the Surveyor.
- The "Survey Tie Line" as shown hereon represents the Platted Line as shown on the recorded plat.
- A comparison between Field measured (F), and plat (P) dimensions are delineated hereon. Dimensions indicated as (F) are based on a field traverse, direct and indirect measurement of recovered monumentation, the Historic Baseline of Survey of State Road AIA from 160° Street to Massini Avenue under FDOT Design Survey Financial Project No. 429523-1-02-01 prepared by this office and the occupation along North and South Property Lines. Note the Property Boundaries were determined by comparing Platted, Recorded information, recovered monumentation and occupation.
- The ownership of the fences and/or walls as shown hereon was not determined.
- Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting this property.
- The location of the Mean High Water Line and the Seasonal High Water Line were established on the subject property from Miami-Dade County Bench Mark R-202 Elevation 9.34 (National Geodetic Vertical Datum of 1929) and using Vector NT 94 to convert the orthometric height to NAVD83 and are based on information obtained from the Florida Department of Environmental Protection Request for Tidal Elevations dated 08/28/2016.
- Elevations are referred to the National Geodetic Vertical Datum 1929 (NGVD 29). Elevations are based on Miami-Dade County Benchmark E-202, Elevation 9.24 feet (NGVD 1929).
- All measurements are in US Survey foot.
- A portion of the Subject Property lies within a Special Flood Hazard Area (SFHA) as shown on the National Flood Insurance Program's Flood Insurance Rate Map for Community No. 120542, bearing an effective date of September 11, 2009. Said map delineates a portion of the East side of the herein described land to be situated within Zone AE, base flood elevation 8 feet and Zone VE, base flood elevation 10. The map delineates a portion of the West side of the herein described land to be situated within Zone X. See Survey for Flood Zone Limits.
- This sketch shown hereon in its graphic form, is the record depiction of the surveyed lands described herein and will in no circumstances be substituted in authority by any other graphic or digital form of this Survey. This map is intended to be displayed at a scale of 1"=20' or smaller. At the maximum intended displayed scale the survey and sketch's positional accuracy value occupies 1/20" on the display.
- This survey map is intended to be displayed at the graphic and stated scales in English units of measurement. Attention is directed to the fact that said survey map may be altered in scale by reproduction. This must be considered when obtaining scaled data.
- This Mean High Water Line survey complies with chapter 177, Part II, Florida Statutes.
- Horizontal coordinates as shown hereon are based on the State Plane Coordinate system, Florida East Zone, NAD 83 (1980), as shown on Project Network Control (PNC) State Road AIA from 160° Street to Massini Avenue (Miami-Dade/Broward County Line) Financial Project ID 429523-1-02-01 Sheet CTL-1. Project control monument and Project control monument FDOT Brass Disc Stamped 8711/PN05, Northing 595996.789, Easting 945533.3300; FDOT Brass Disc Stamped 8711/PN08, Northing 595322.7476, Easting 945410.2760. Coordinate values were determined in real-time based on GPS measurements utilizing a Real Time Kinematic (RTK) Network.
- The network design for this project meets the Geodetic Accuracy Standards and specifications for using GPS related positioning as set forth by the Federal Geodetic Control Subcommittee for positional tolerance of 1 in 10,000 feet.
- Vector NT software was used for baseline and/or real-time processing and adjustment.

ABBREVIATIONS:

FDOT = Florida Department of Transportation
(F) = Field Measurement
(M) = Measured
(P) = Plotted Dimension
A/C = Air conditioner
BLDG = Building
C/B = Catch Basin
C.B.S. = Concrete Block and Stucco
CL = Clear
CONC = Concrete
CBW = Concrete Block Wall
N.T.S. = Not to scale
ID. = Identification
S.R. = State Road
F.P.L. = Florida Power and Light
Elev. = Elevation
FF EL = Finish Floor Elevation
IP = 1/2" Iron Pipe
FND = Found
MH. = Manhole
NGVD = National Geodetic Vertical Datum 1929
NAVD = North American Vertical Datum 1988
LB = Licensed Business
ORB, PG = Official Records Book and Page
OR/H = Overhead
PS, PG = Plat Book and Page
R/W = Right of Way
SEC = Section
SQ FT = Square Feet
WV = Water Valve
Encr. = Encroachment
FNR = Florida Department of Natural Resources
PNC = Project Network Control

LEGEND:

Centerline
Catch basin
Clean out
Concrete light pole
Concrete power pole
Fire hydrant
Guy anchor
Street light pole
Light pole in concrete base
Light pole
Water valve

Certified to:
Lorena Zuccolotto TRS

SURVEYOR'S CERTIFICATE:
This is to certify to the herein named firm and persons that the "BOUNDARY SURVEY AND MEAN HIGH WATER LINE" of the herein described property is true and correct to the best of our knowledge and belief as surveyed and plotted under our direction on November 9th, 2016. I further certify that this survey meets the Standards of practice as set forth in Rule 5J-17.051 AND 5J-17.052 as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to Chapter 472.027 and Chapter 177, Part II, Florida Statutes.

Masser Consulting, P.A.

John Liptak
Professional Surveyor and Mapper #5664
State of Florida
Not valid without the signature and original raised seal of a licensed Florida Surveyor and Mapper.

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:
John Liptak
2016.11.14 09:50:54
-05'00'

APPROVED
DISAPPROVED
VARIANCE DEPT.

Date: 11-11-18
Scale: 1"=20'
F.B.: 383-59
Sheet: 1 of 4
Ref:

Project: 2771
Checked by: ALR
Drawn by: JP
Sketch: 2296-2

BOUNDARY AND MEAN HIGH WATER LINE SURVEY

**255 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160**

**Golden Beach
History Advisory Board
Meeting Date**

EX-1.0

LOCATION PLAN



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
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APPROVED _____
DISAPPROVED _____
VARIANCE REQ. _____

Platt
11/14/10

EX-1.0

NEIGHBORHOOD PLAN



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

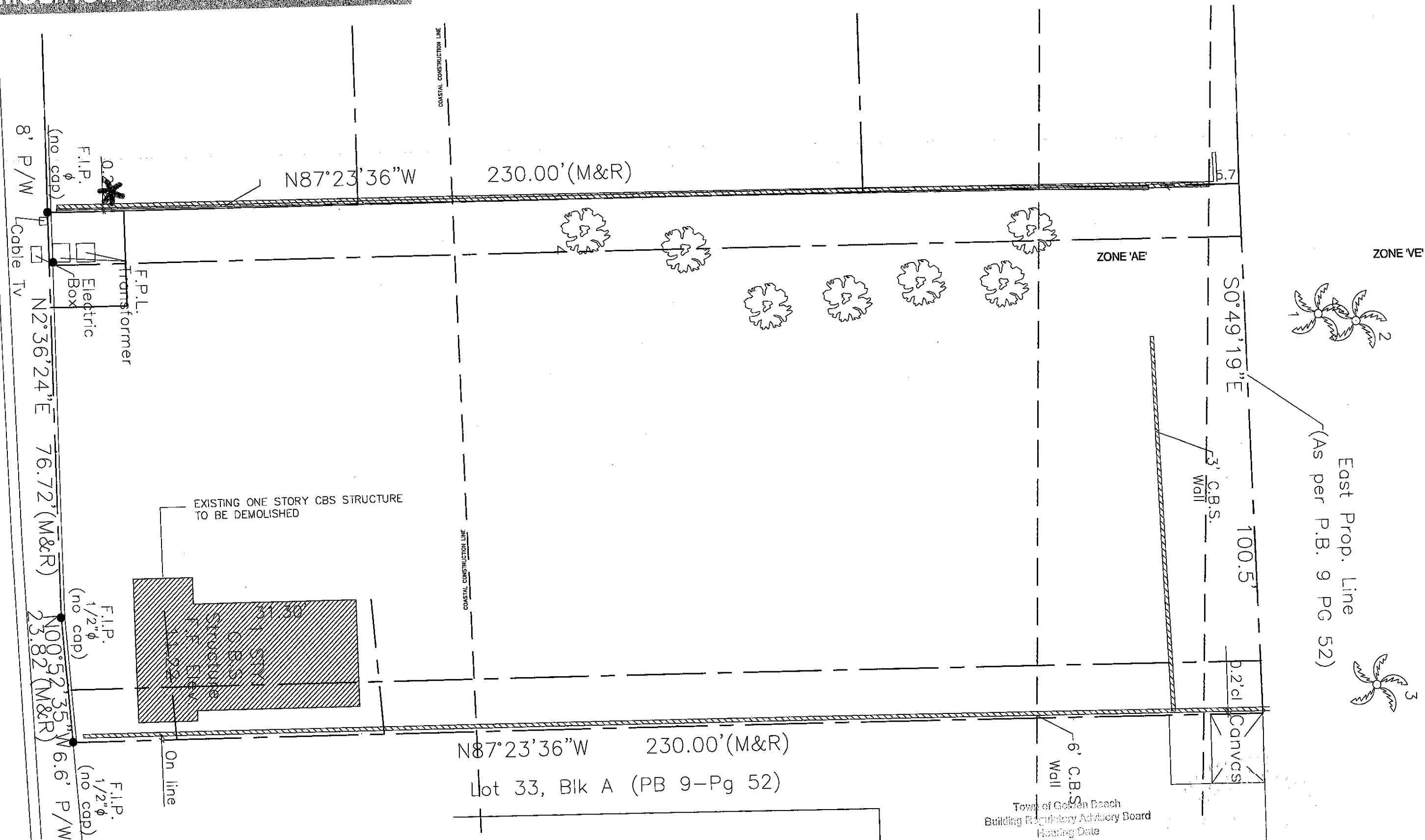
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DISAPPROVED _____
VARIANCE REQ: _____

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11/14/16

EX-12

OCEAN BOULEVARD (S.R. A1A)

BEACHSIDE
LAWN



NORTH

255 OCEAN BOULEVARD
SCALE: $\frac{1}{8}'' = 1'-0''$

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

~~DEC 1 0 30 AM~~

APPROVED _____
 DISAPPROVED _____
 VARIANCE REQ: _____

11/14/16

EX-1

PROPOSED BUILDING - SITE PLAN

OCEAN BOULEVARD (S.R. A1A)

COASTAL CONSTRUCTION LINE

N87°23'36"W 230.00'(M&R)

CABANABANA

LANDSCAPE

5.7

8' P/W
(no cap)
F.I.P.
0.2

Cable TV
Electric Box
F.P.L.
Transformer

EL +28.00 NGVD

ADDTL. SIDE SETBACK @ SECOND FLR
PER GOLDEN BEACH CODE SEC 66-69 (3):
30'-0"-18'-0" ADDTL. SETBACK

TERRACE
BELOW
EL +44.67 NGVD

EL +58.00 NGVD

EL +58.50 NGVD

NEW SINGLE FAMILY
RESIDENCE

EL +44.67 NGVD

BEACHFRONT
LAWN
+13.00'

POOL

SUNKEN
CHILL OUT
+11.50'

WATER
PLINTH

JACUZZI

WATER
PLINTH

ZONE 'AE'

ZONE 'VE'

S0 49°19'E

East Prop. Line
(As per P.B. 9 PG 52)

12

100.5'

3' C.B.S.
Wall

6' C.B.S.
Wall

CANVAS

N87°23'36"W 230.00'(M&R)

Lot 33, Blk A (PB 9-Pg 52)



SITE PLAN

255 OCEAN BOULEVARD

SCALE: 1/8"=1'-0"

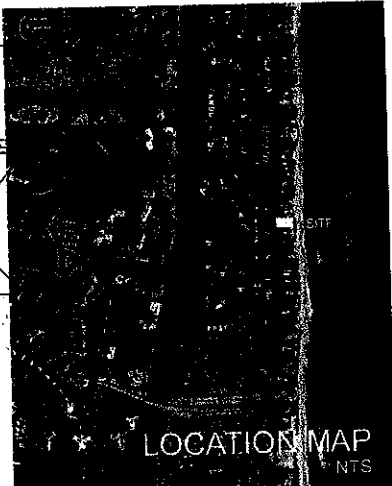
255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 2016

APPROVED
DIRECTOR OF
VARIANCE REVIEW



A-10

PROPOSED BUILDING - GROUND FLOOR PLAN

OCEAN BOULEVARD (S.R. A1A)

75.00' (P) 75.00'

8' P/W

Cable TV

N23.6°24'E 76.72' (M&R)

N98.5°25'W 23.82' (M&R)

6.6' P/W



GROUND FLOOR PLAN

255 OCEAN BOULEVARD
SCALE: 1/8"=1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

COASTAL CONSTRUCTION LINE

COASTAL CONSTRUCTION LINE

N87°23'36"W

230.00' (M&R)

N87°23'36"W

230.00' (M&R)

Lot 33, Blk A (PB 9-Pg 52)

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 8 2016

APPROVED
DISAPPROVED
VARIANCE REQ.

Handwritten signature and date
11/14/16

A-1.1

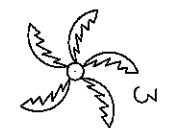
ZONE 'AE'

ZONE 'VE'

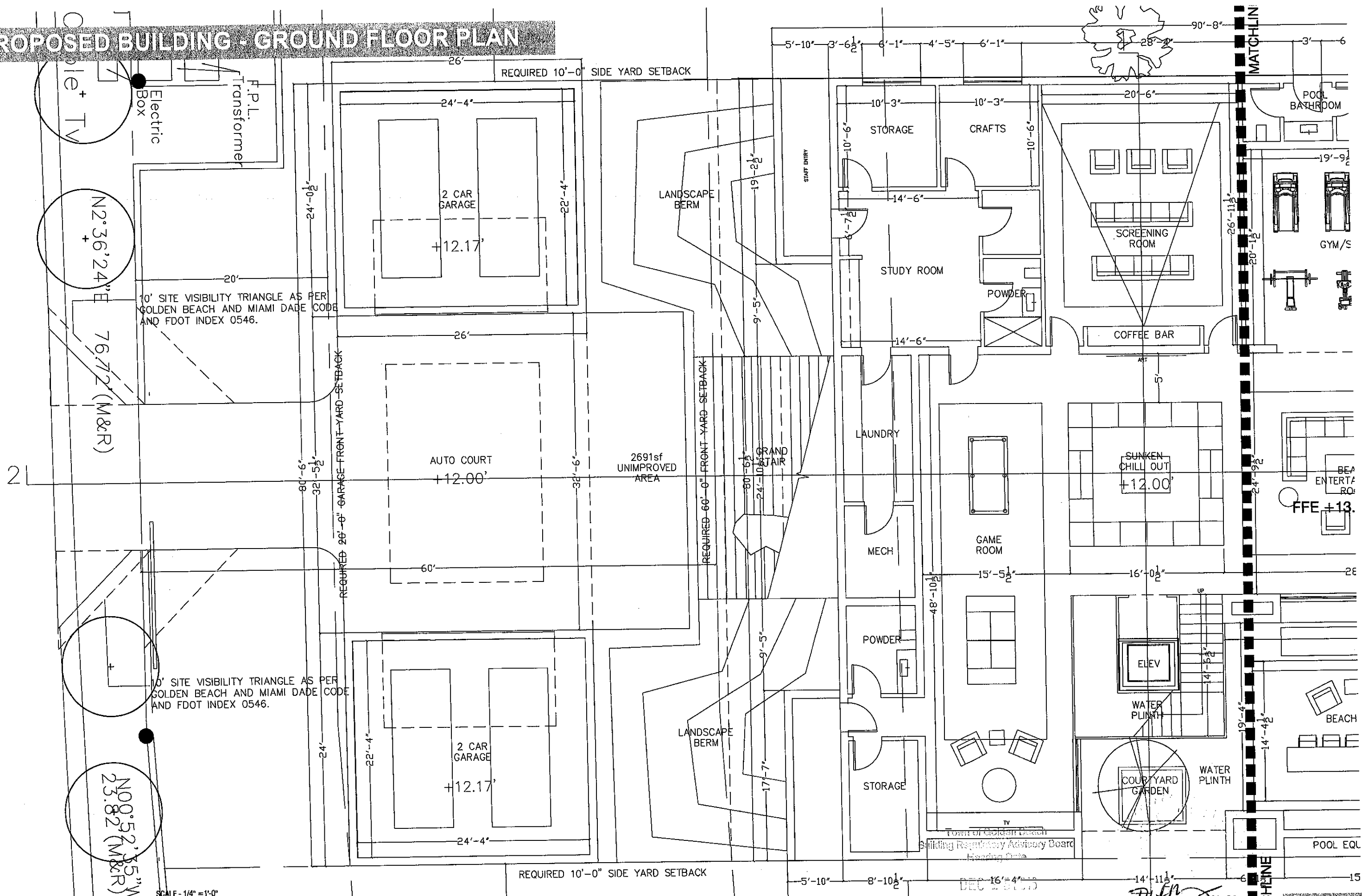
East Prop. Line
(As per P.B. 9 Pg 52)

S0°49'19"E

100.5'

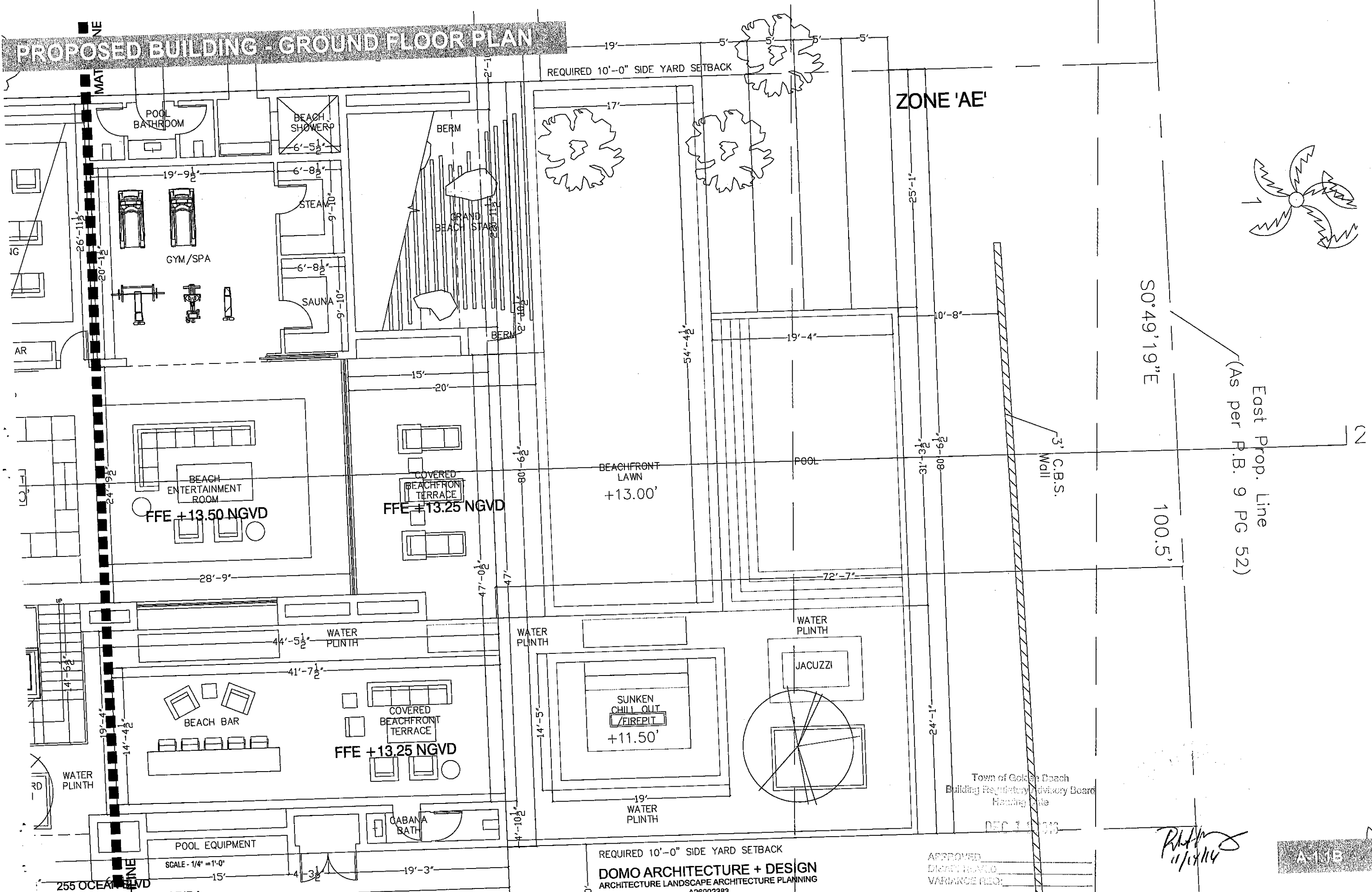


PROPOSED BUILDING - GROUND FLOOR PLAN



NE

PROPOSED BUILDING - GROUND FLOOR PLAN



East Prop. Line
-(As per P.B. 9 PG 52)

SO^o49'19"E

100.5

ZONE 'AE'

Town of Golden Beach
Building Regulatory Advisory Board
Meeting Date

151

APPROVED _____
 DRAFT REVIEW _____
 VARIANCE REQ: _____

REQUIRED 10'-0" SIDE YARD SETBACK

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

SCALE - 1/4" = 1'-0"

11/14/14

A-11B

PROPOSED BUILDING - FIRST FLOOR PLAN

OCEAN BOULEVARD (S.R. A1A)

8' P/W
(no cap)
Cable Tv
N2°36'24"E
76.72'(M&R)
N00°52'35"W
23.82'(M&R)
6.6' P/W



FIRST FLOOR PLAN

255 OCEAN BOULEVARD

SCALE: 1/8" = 1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

COASTAL CONSTRUCTION LINE

N87°23'36"W

230.00'(M&R)

N87°23'36"W

230.00'(M&R)

Lot 33, Blk A (PB 9-Pg 52)

COASTAL CONSTRUCTION LINE

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

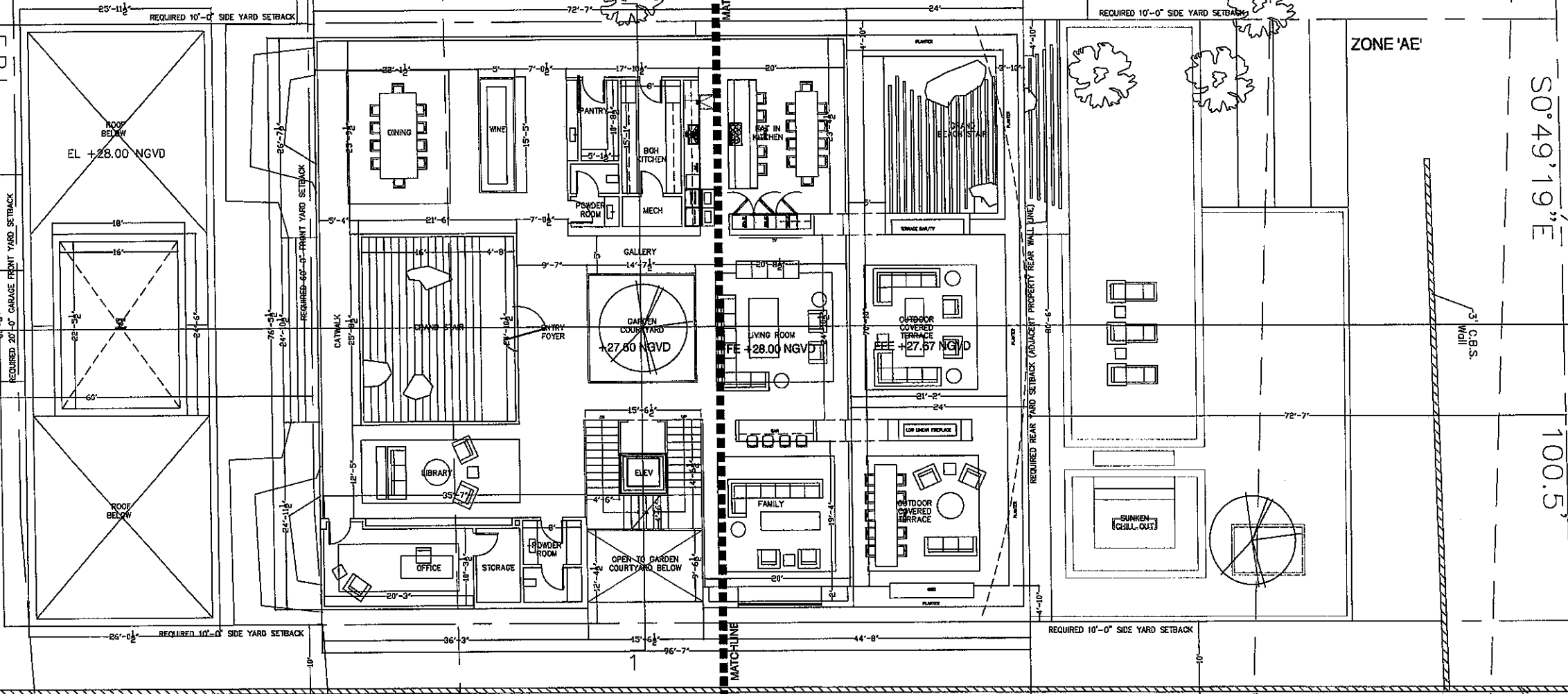
Town of Golden Beach
Building Regulatory Advisory Board
Meeting Date

DEC 1 8 2015

APPROVED
CITY TOWN D
VARIANCE REQ.

Phyllis
11/14/14

A-12



ZONE 'AE'

ZONE 'VE'

S0°49'19"E

East Prop. Line
(as per P.B. 9 PG 52)

100.5'

PROPOSED BUILDING - FIRST FLOOR PLAN

REQUIRED 10'-0" SIDE YARD SETBACK

~~ROOF
BELOW
EL +28.00 NGVD~~

REQUIRED 20'-0" GARAGE FRONT YARD SETBACK

~~REQUIRED 60' 0" FRONT YARD SETBACK~~

CATWALK

DINING

WIN

PAN-

BOH
KITCHEN

MECH

GALLERY

GARDEN
COURTYARD

LIVING ROOM

FFE +28.00 NGV

FAMILY

OPEN TO GARDEN:
COURTYARD BELOW

OFFICE

STORAGE

+ POWD

15' 16' 17' 18' 19' 20' 21' 22' 23' 24' 25' 26' 27' 28' 29' 30' 31' 32' 33' 34' 35' 36' 37' 38' 39' 40' 41' 42' 43' 44' 45' 46' 47' 48' 49' 50' 51' 52' 53' 54' 55' 56' 57' 58' 59' 60' 61' 62' 63' 64' 65' 66' 67' 68' 69' 70' 71' 72' 73' 74' 75' 76' 77' 78' 79' 80' 81' 82' 83' 84' 85' 86' 87' 88' 89' 90' 91' 92' 93' 94' 95' 96' 97' 98' 99' 100' 101' 102' 103' 104' 105' 106' 107' 108' 109' 110' 111' 112' 113' 114' 115' 116' 117' 118' 119' 120' 121' 122' 123' 124' 125' 126' 127' 128' 129' 130' 131' 132' 133' 134' 135' 136' 137' 138' 139' 140' 141' 142' 143' 144' 145' 146' 147' 148' 149' 150' 151' 152' 153' 154' 155' 156' 157' 158' 159' 160' 161' 162' 163' 164' 165' 166' 167' 168' 169' 170' 171' 172' 173' 174' 175' 176' 177' 178' 179' 180' 181' 182' 183' 184' 185' 186' 187' 188' 189' 190' 191' 192' 193' 194' 195' 196' 197' 198' 199' 200' 201' 202' 203' 204' 205' 206' 207' 208' 209' 210' 211' 212' 213' 214' 215' 216' 217' 218' 219' 220' 221' 222' 223' 224' 225' 226' 227' 228' 229' 230' 231' 232' 233' 234' 235' 236' 237' 238' 239' 240' 241' 242' 243' 244' 245' 246' 247' 248' 249' 250' 251' 252' 253' 254' 255' 256' 257' 258' 259' 260' 261' 262' 263' 264' 265' 266' 267' 268' 269' 270' 271' 272' 273' 274' 275' 276' 277' 278' 279' 280' 281' 282' 283' 284' 285' 286' 287' 288' 289' 290' 291' 292' 293' 294' 295' 296' 297' 298' 299' 300' 301' 302' 303' 304' 305' 306' 307' 308' 309' 310' 311' 312' 313' 314' 315' 316' 317' 318' 319' 320' 321' 322' 323' 324' 325' 326' 327' 328' 329' 330' 331' 332' 333' 334' 335' 336' 337' 338' 339' 340' 341' 342' 343' 344' 345' 346' 347' 348' 349' 350' 351' 352' 353' 354' 355' 356' 357' 358' 359' 360' 361' 362' 363' 364' 365' 366' 367' 368' 369' 370' 371' 372' 373' 374' 375' 376' 377' 378' 379' 380' 381' 382' 383' 384' 385' 386' 387' 388' 389' 390' 391' 392' 393' 394' 395' 396' 397' 398' 399' 400' 401' 402' 403' 404' 405' 406' 407' 408' 409' 410' 411' 412' 413' 414' 415' 416' 417' 418' 419' 420' 421' 422' 423' 424' 425' 426' 427' 428' 429' 430' 431' 432' 433' 434' 435' 436' 437' 438' 439' 440' 441' 442' 443' 444' 445' 446' 447' 448' 449' 450' 451' 452' 453' 454' 455' 456' 457' 458' 459' 460' 461' 462' 463' 464' 465' 466' 467' 468' 469' 470' 471' 472' 473' 474' 475' 476' 477' 478' 479' 480' 481' 482' 483' 484' 485' 486' 487' 488' 489' 490' 491' 492' 493' 494' 495' 496' 497' 498' 499' 500' 501' 502' 503' 504' 505' 506' 507' 508' 509' 510' 511' 512' 513' 514' 515' 516' 517' 518' 519' 520' 521' 522' 523' 524' 525' 526' 527' 528' 529' 530' 531' 532' 533' 534' 535' 536' 537' 538' 539' 540' 541' 542' 543' 544' 545' 546' 547' 548' 549' 550' 551' 552' 553' 554' 555' 556' 557' 558' 559' 560' 561' 562' 563' 564' 565' 566' 567' 568' 569' 570' 571' 572' 573' 574' 575' 576' 577' 578' 579' 580' 581' 582' 583' 584' 585' 586' 587' 588' 589' 590' 591' 592' 593' 594' 595' 596' 597' 598' 599' 600' 601' 602' 603' 604' 605' 606' 607' 608' 609' 610' 611' 612' 613' 614' 615' 616' 617' 618' 619' 620' 621' 622' 623' 624' 625' 626' 627' 628' 629' 630' 631' 632' 633' 634' 635' 636' 637' 638' 639' 640' 641' 642' 643' 644' 645' 646' 647' 648' 649' 650' 651' 652' 653' 654' 655' 656' 657' 658' 659' 660' 661' 662' 663' 664' 665' 666' 667' 668' 669' 670' 671' 672' 673' 674' 675' 676' 677' 678' 679' 680' 681' 682' 683' 684' 685' 686' 687' 688' 689' 690' 691' 692' 693' 694' 695' 696' 697' 698' 699' 700' 701' 702' 703' 704' 705' 706' 707' 708' 709' 710' 711' 712' 713' 714' 715' 716' 717' 718' 719' 720' 721' 722' 723' 724' 725' 726' 727' 728' 729' 730' 731' 732' 733' 734' 735' 736' 737' 738' 739' 740' 741' 742' 743' 744' 745' 746' 747' 748' 749' 750' 751' 752' 753' 754' 755' 756' 757' 758' 759' 760' 761' 762' 763' 764' 765' 766' 767' 768' 769' 770' 771' 772' 773' 774' 775' 776' 777' 778' 779' 780' 781' 782' 783' 784' 785' 786' 787' 788' 789' 790' 791' 792' 793' 794' 795' 796' 797' 798' 799' 800' 801' 802' 803' 804' 805' 806' 807' 808' 809' 810' 811' 812' 813' 814' 815' 816' 817' 818' 819' 820' 821' 822' 823' 824' 825' 826' 827' 828' 829' 830' 831' 832' 833' 834' 835' 836' 837' 838' 839' 840' 841' 842' 843' 844' 845' 846' 847' 848' 849' 850'

ITCHLINE

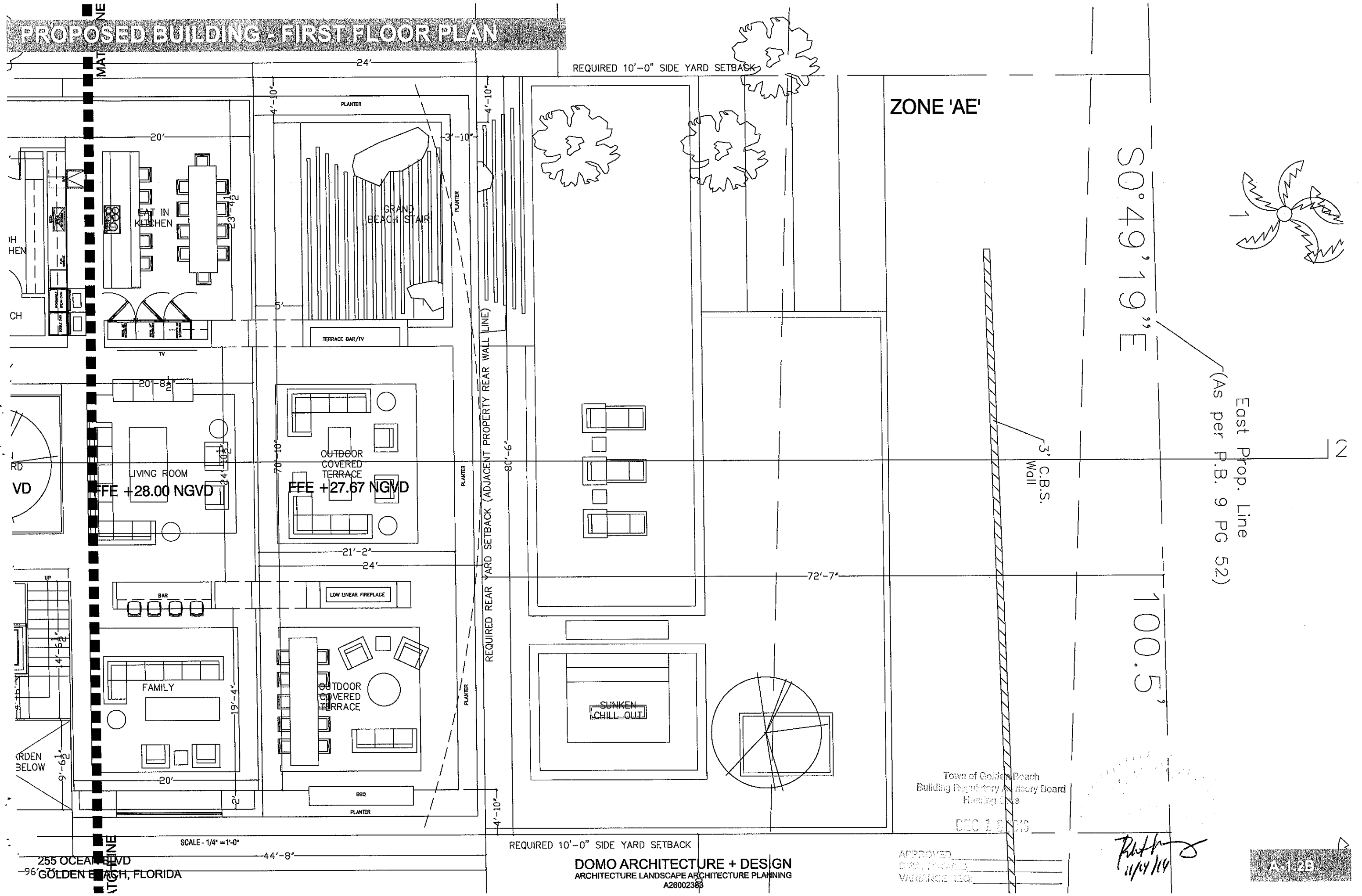
A12A

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383-

3 APPROVED _____
DISAPPROVED _____
VANDERKLE RES _____

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

Architectural floor plan of the first floor of a building. The plan shows a large central hall with a staircase labeled "UP" and "DOWN". To the left is a "GARDEN BELOW" area. To the right is a "GARDEN" area. The plan includes various rooms, corridors, and a large "PROPOSED" area at the top. Dimensions are provided for several areas, including "4'-6" and "9'-6". The plan is oriented with "N" (North) at the top.



255 OCEAN BLVD
-96' 7" GOLDEN EAGLE AVE

—44'-8"

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

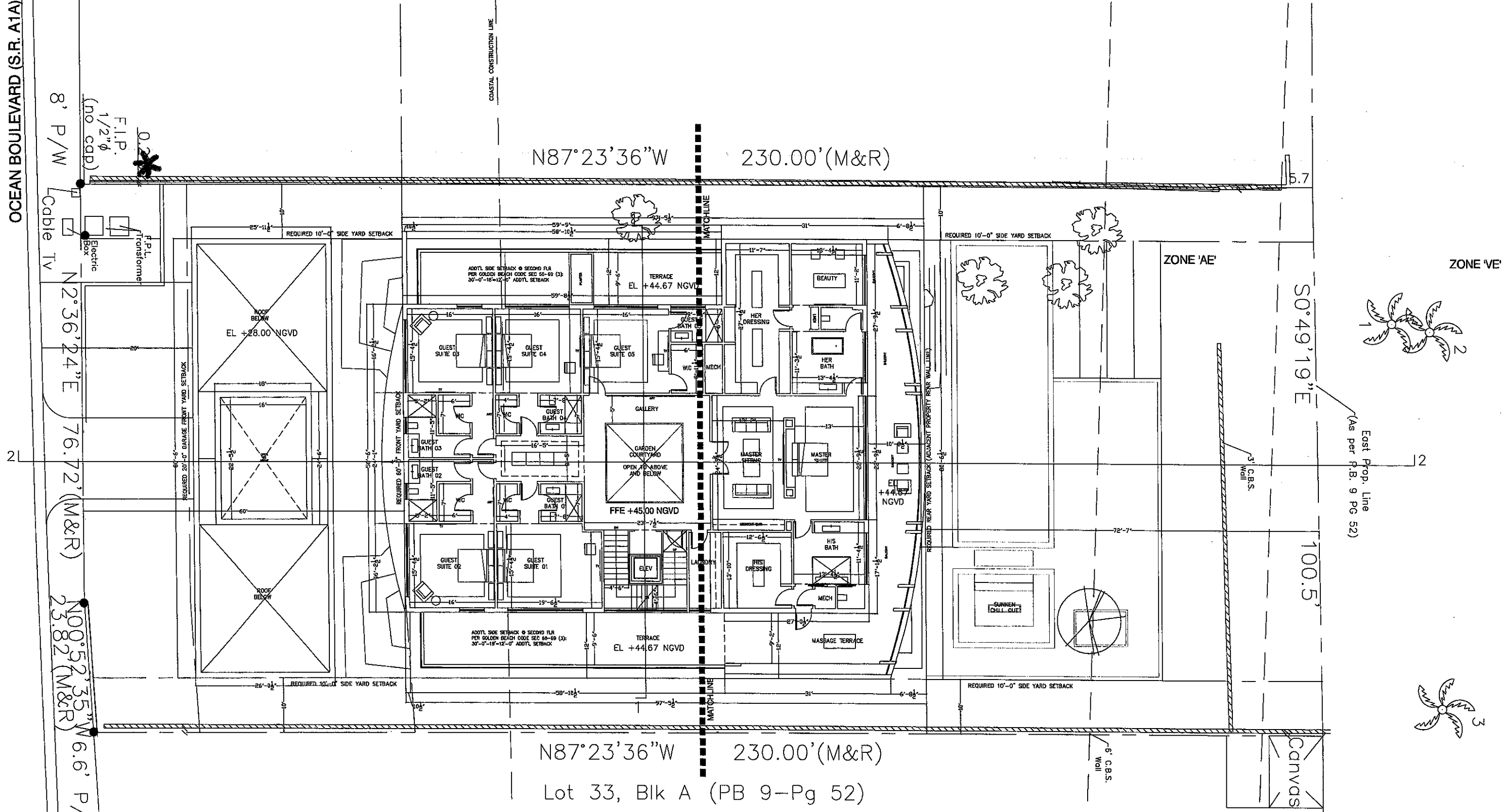
DEC 1 8 00 AM '63

Town of Golden Beach
Building Regulatory Advisory Board
Meeting Date

21/04/14

A-1.2B

PROPOSED BUILDING - SECOND FLOOR PLAN



SECOND FLOOR PLAN

255 OCEAN BOULEVARD

SCALE: 1/8"=1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

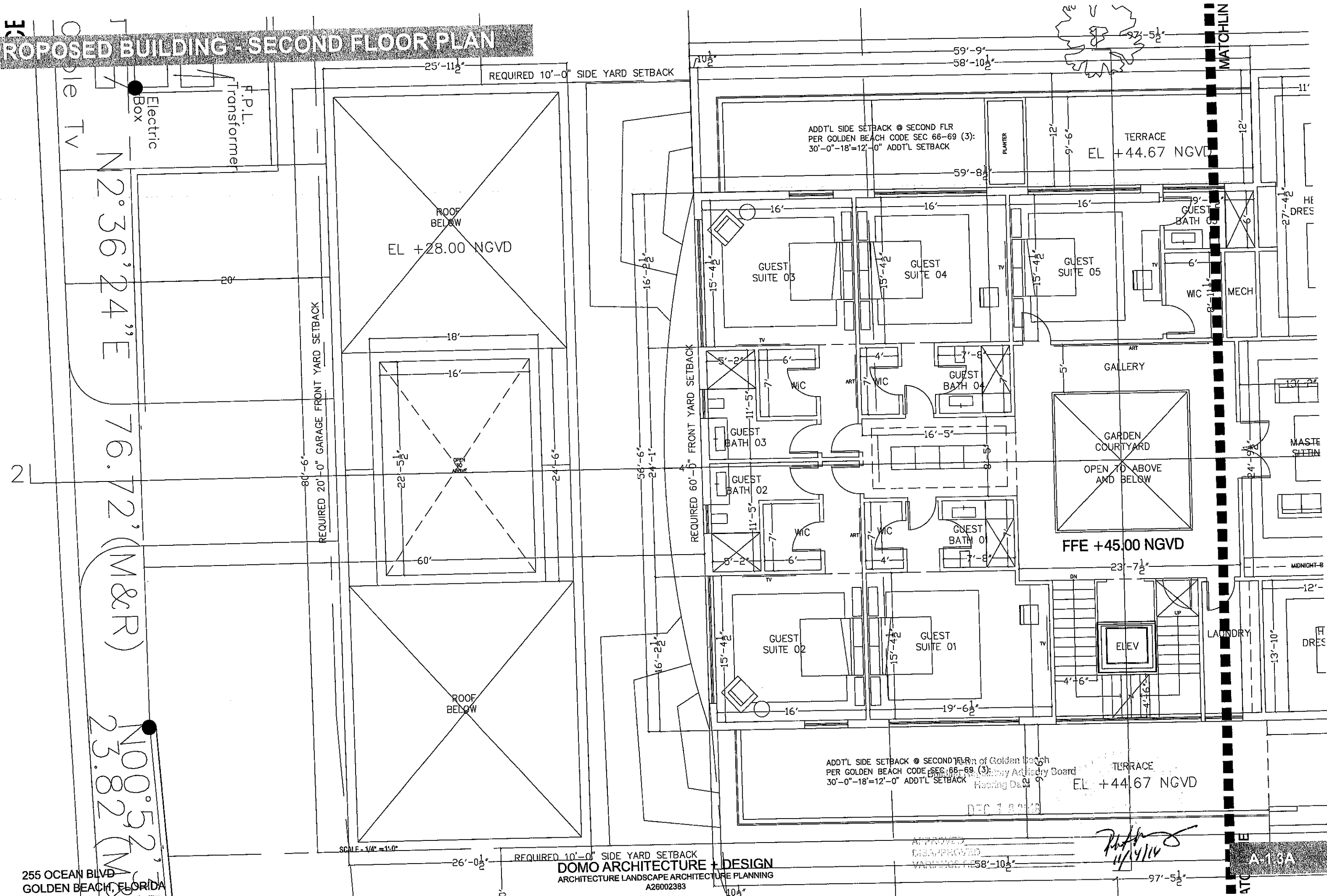
Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 2014

APPROVED: _____
DRAWN BY: _____
VARIANCE REC: _____

Handwritten signature and date: 11/14/14

PROPOSED BUILDING - SECOND FLOOR PLAN



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

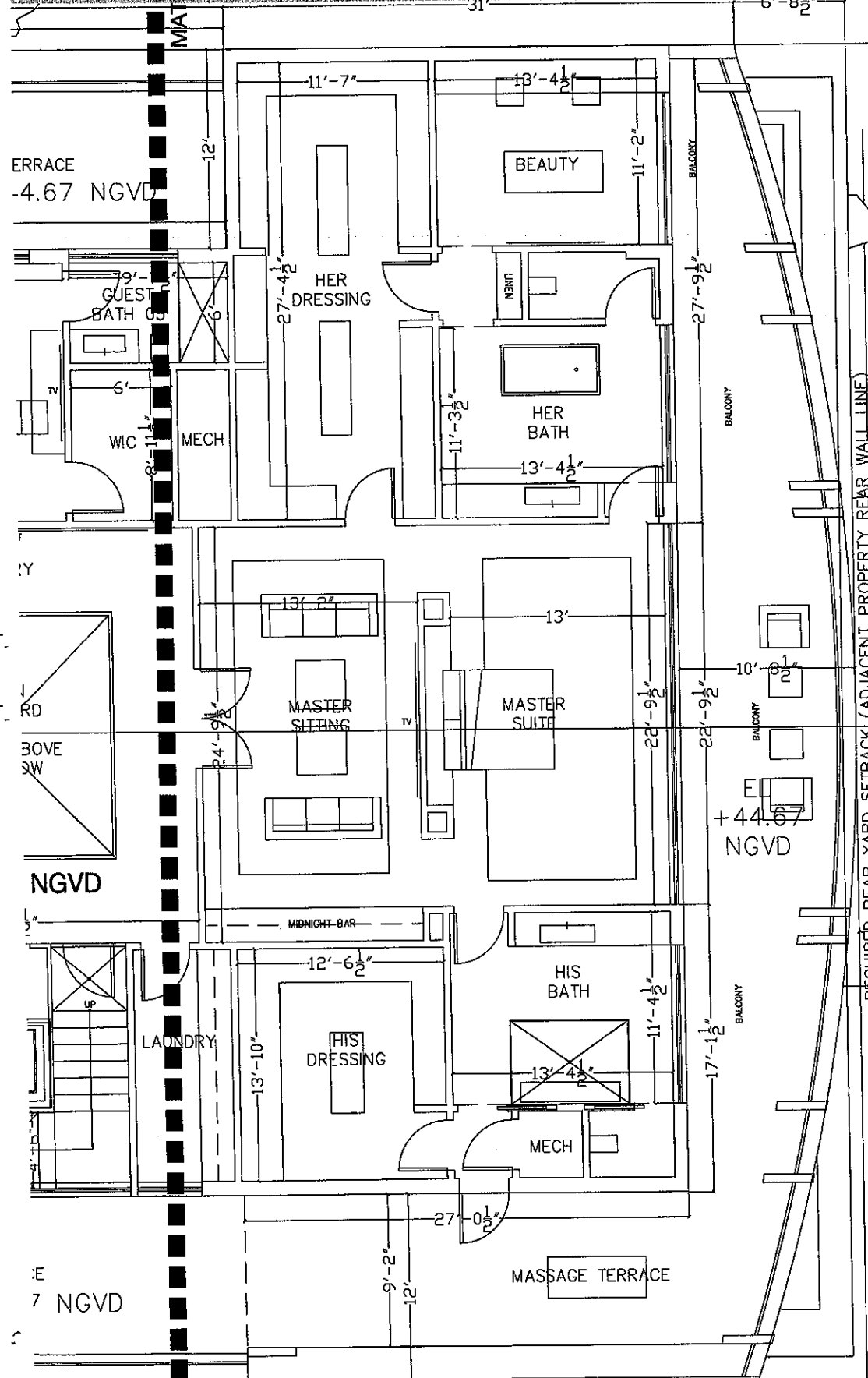
DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

APPROVED _____
DISAPPROVED _____
VARIANCE FILE 58'-10 1/2"

11/14/14

A-1.3A

PROPOSED BUILDING - SECOND FLOOR PLAN



REQUIRED 10'-0" SIDE YARD SETBACK

ZONE 'AE'

S0°49'19"E

East Prop. Line
(As per P.B. 9 Pg 52)

100.5'

3' C.B.S. Wall

72'-7"

SUNKEN CHILL-OUT

Town of Golden Beach
Building Regulatory Advisory Board
Meeting Date

DEC 8 2016

APPROVED
DEVELOPER
VARIANCE REQ.

Handwritten signature and date: 11/14/16

A-13B

REQUIRED 10'-0" SIDE YARD SETBACK

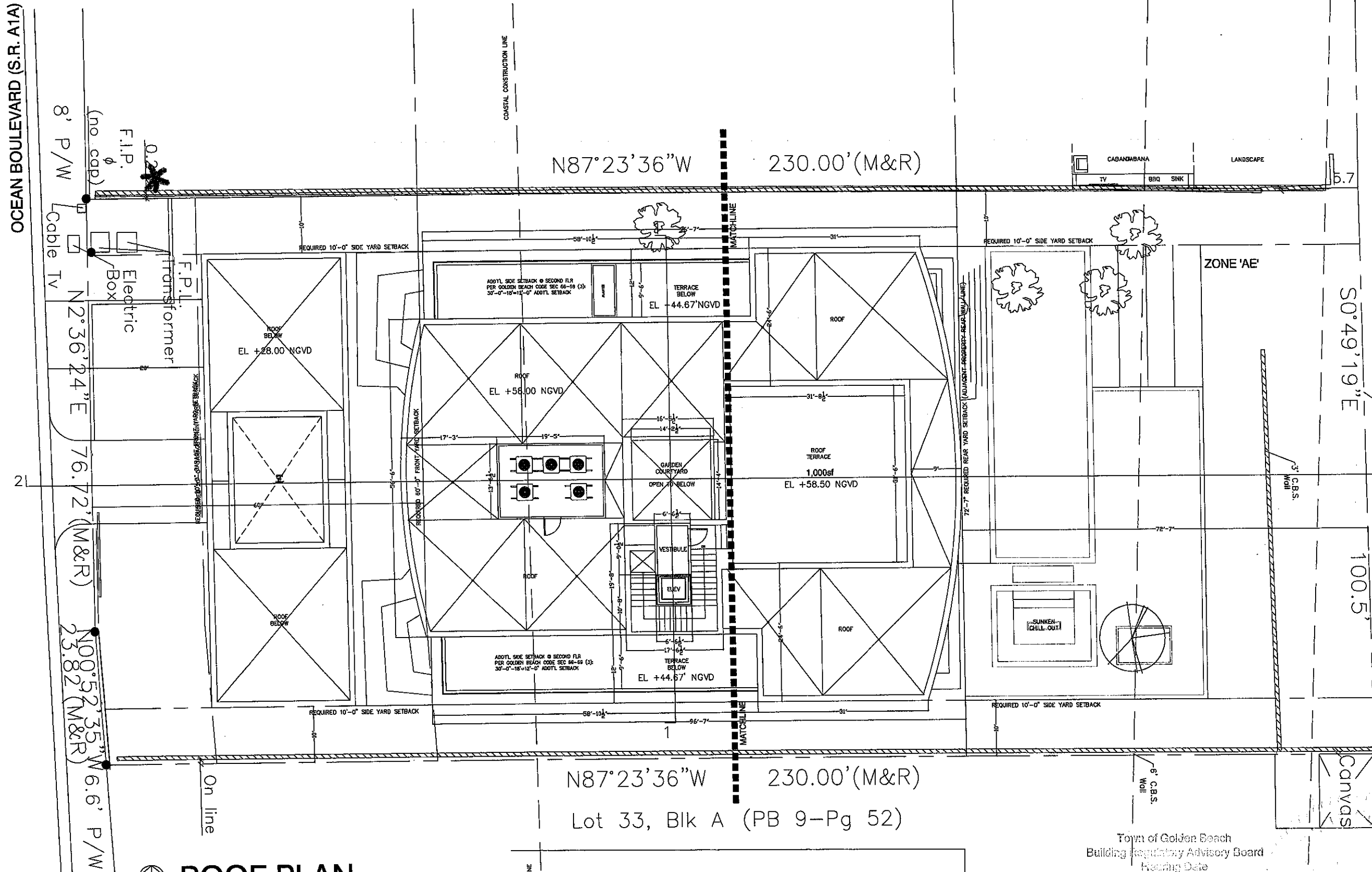
DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

SCALE - 1/4" = 1'-0"

PROPOSED BUILDING - ROOF PLAN

OCEAN BOULEVARD (S.R. A1A)



21

2

3



ROOF PLAN

255 OCEAN BOULEVARD

SCALE: 1/8" = 1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

N87°23'36"W 230.00' (M&R)

Lot 33, Blk A (PB 9-Pg 52)

COASTAL CONSTRUCTION LINE

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Meeting Date

DEC 1 8 2019

APPROVED
DRAWN
VARIANCE REQ.

Handwritten signature and date
11/14/19

A-14

PROPOSED BUILDING - ROOF PLAN

REQUIRED 10'-0" SIDE YARD SETBACK

EL +28.00 NGVD

ADD'L SIDE SETBACK @ SECOND FLR
PER GOLDEN BEACH CODE SEC 66-69 (3):
30'-0"-18'=12'-0" ADD'L SETBACK

TERRACE
BELOW
EL +44.67' NGVD

ROOF
EL +58.00 NGVD

GARDEN
COURTYARD
OPEN TO BELOW

VESTIBULE

ELEV

TERRACE
BELOW
EL +44.67' NGVD

ADD'L SIDE SETBACK @ SECOND FLR
PER GOLDEN BEACH CODE SEC 66-69 (3):
30'-0"-18'=12'-0" ADD'L SETBACK

Heating Date

1/1/2013

APPROVED

58'-10 1/2"

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

Signature
11/18/16

A-14A

MATCHLINE

TO SHEET

SCALE - 1/4" = 1'-0"

REQUIRED 10'-0" SIDE YARD SETBACK

255 OCEAN BLVD

21

Coile Tv

Electric
Box

Transformer

F.P.L.

N 2° 36' 24" E

76.72' (M&R)

N 00° 52' 23.82" (N)

28'

60'

56'-6"

17'-3"

19'-5"

16'-5 1/2"
14'-2 1/2"

14'-4"

9'-0 1/2"

19'-8"

10'-8"

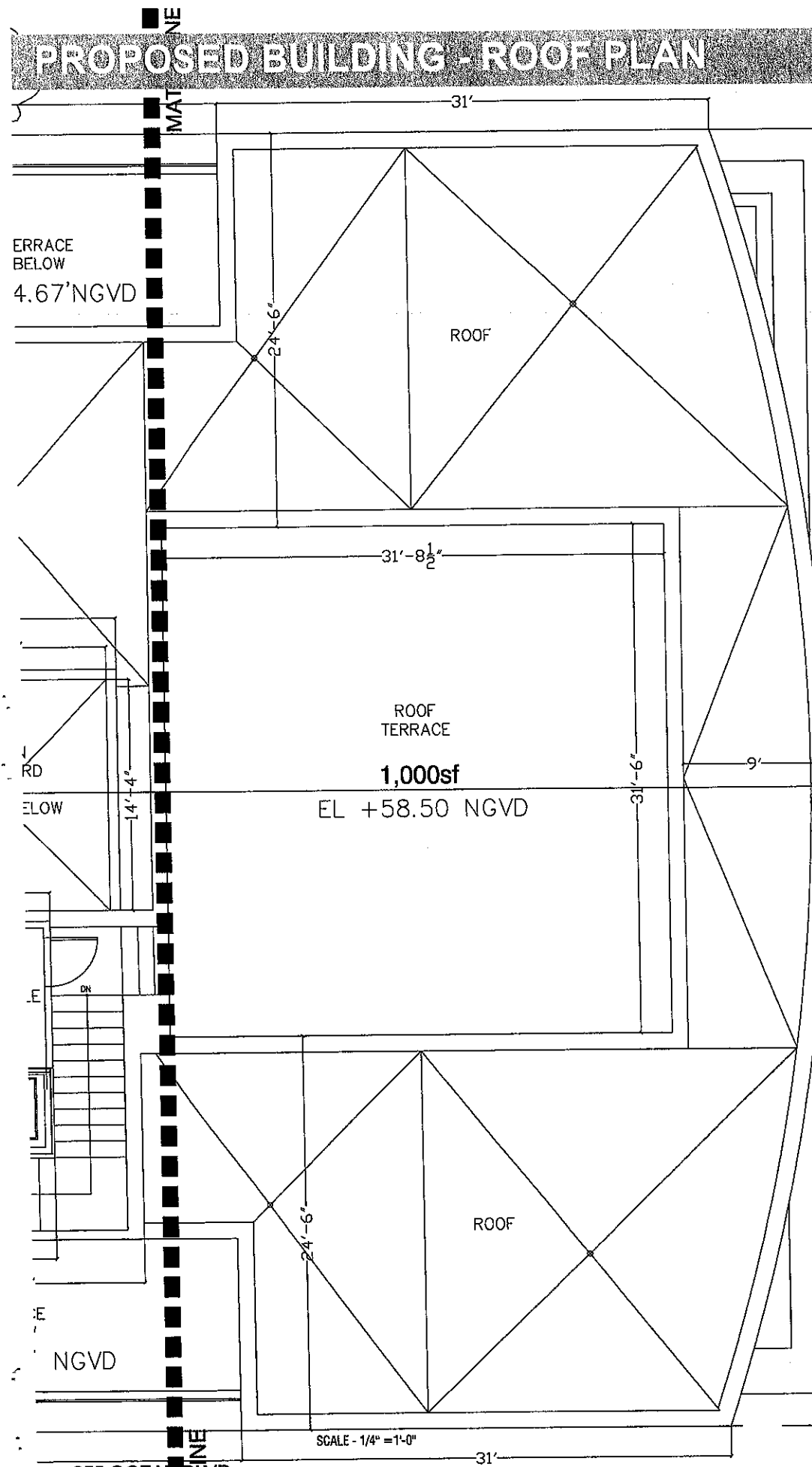
9'-6"

24'-6"

24'-6"

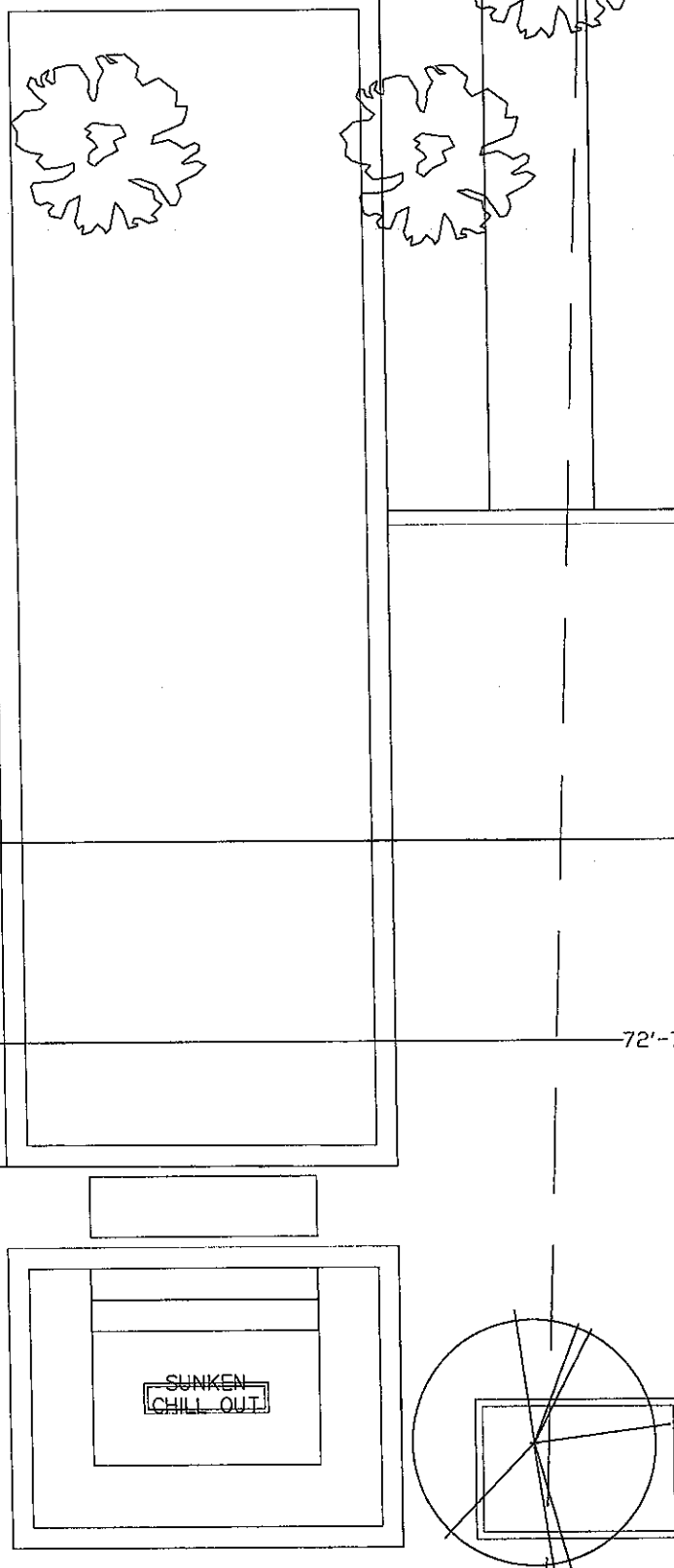
26'-7"

PROPOSED BUILDING - ROOF PLAN



REQUIRED 10'-0" SIDE YARD SETBACK

72'-7" REQUIRED REAR YARD SETBACK (ADJACENT PROPERTY REAR WALL LINE)



ZONE 'AE'

S0°49'19"E

East Prop. Line
(As per P.B. 9 Pg 52)

100.5'

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 8 2010

APPROVED
DRAWN BY
VARIANCE REQ.

Handwritten signature and date: 11/24/10

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

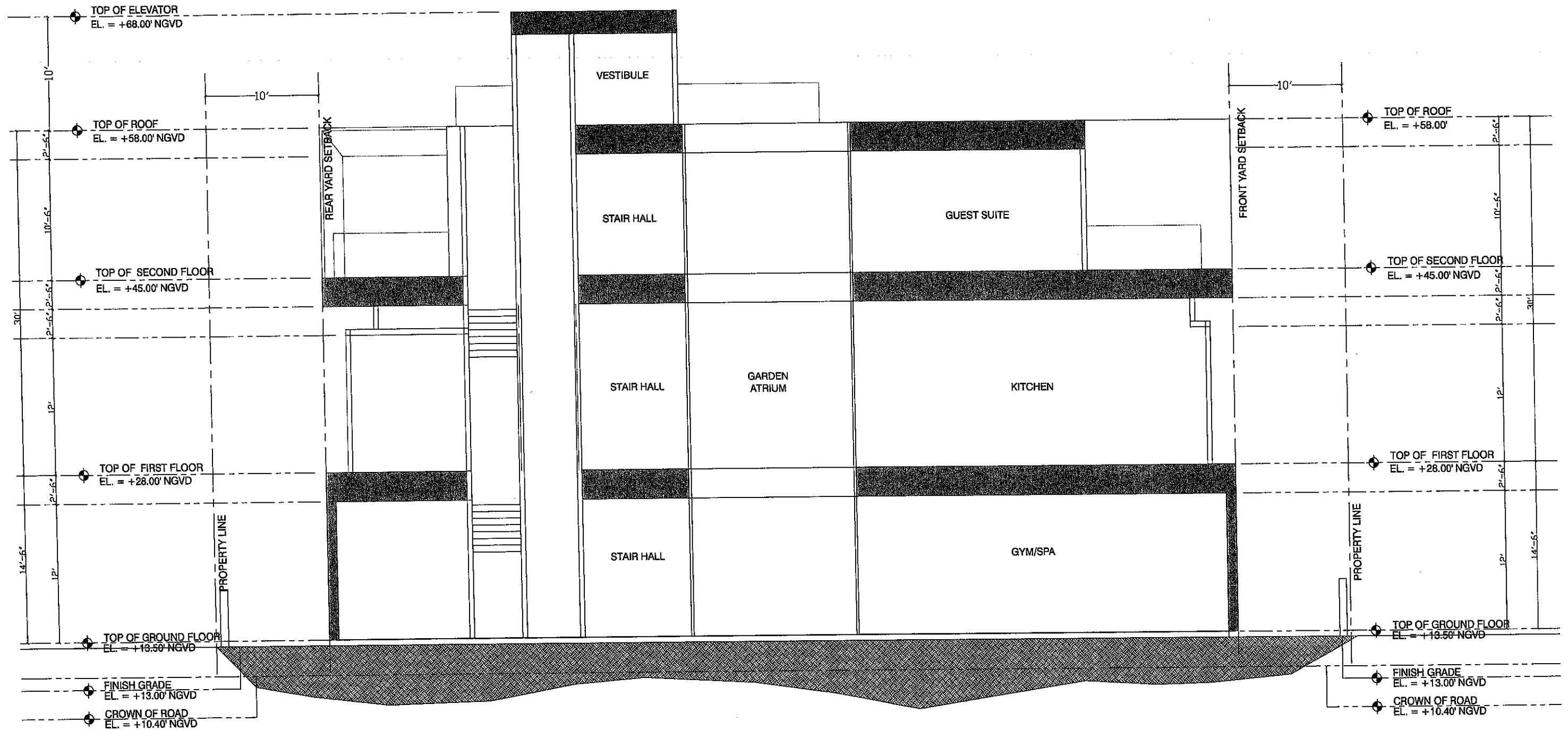
REQUIRED 10'-0" SIDE YARD SETBACK

-10'

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

A-1.4B

SECTION



TRANSVERSE SECTION

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

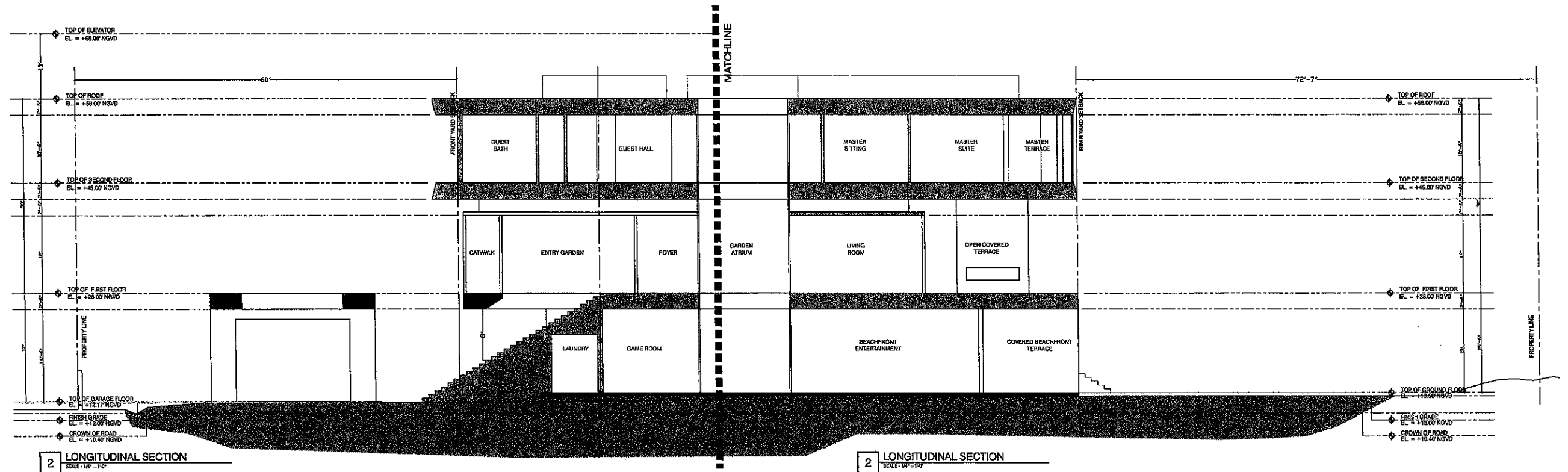
DEC 1 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ. _____

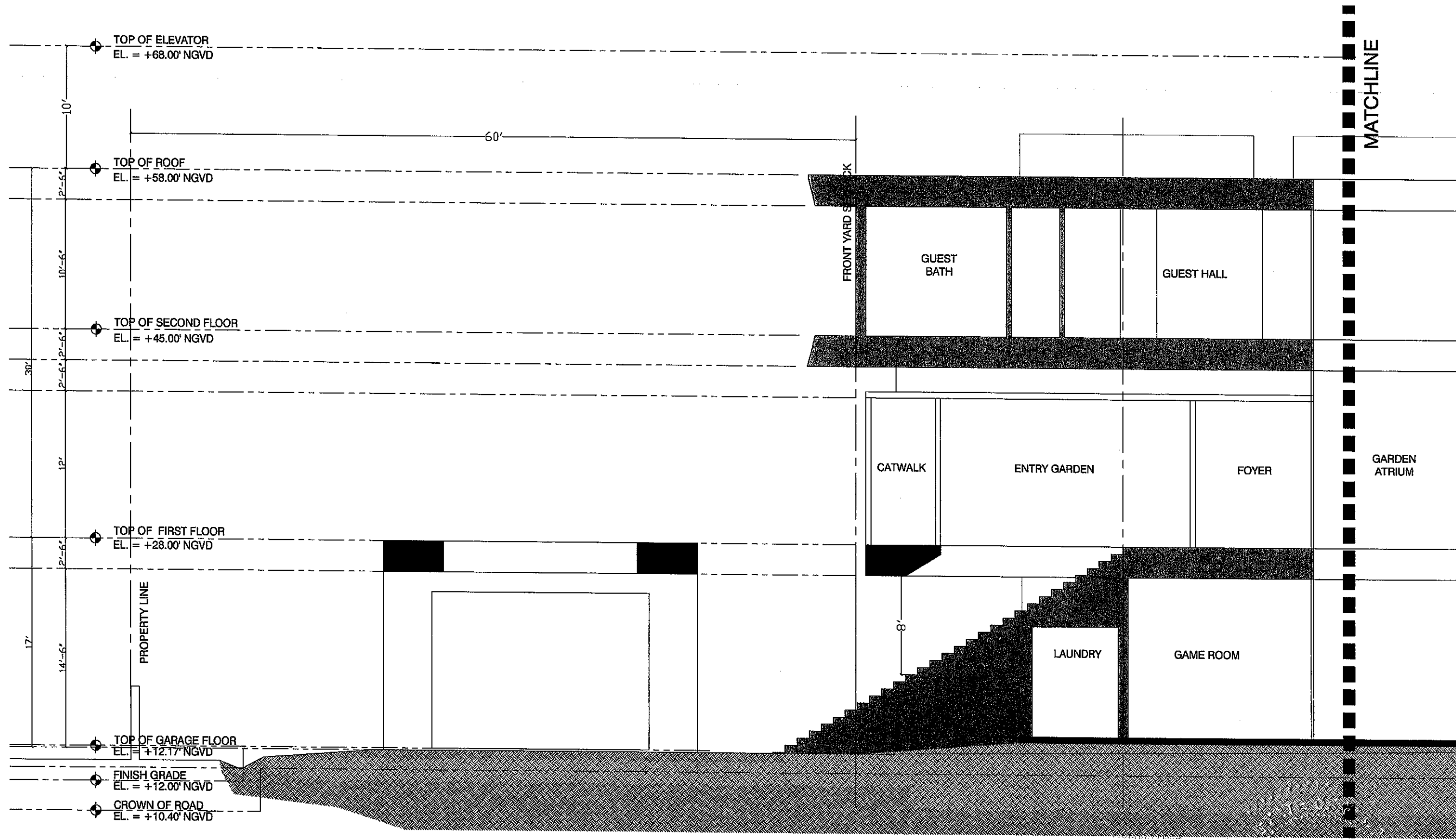
Handwritten signature
11/14/14

A-20

SECTION



SECTION



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

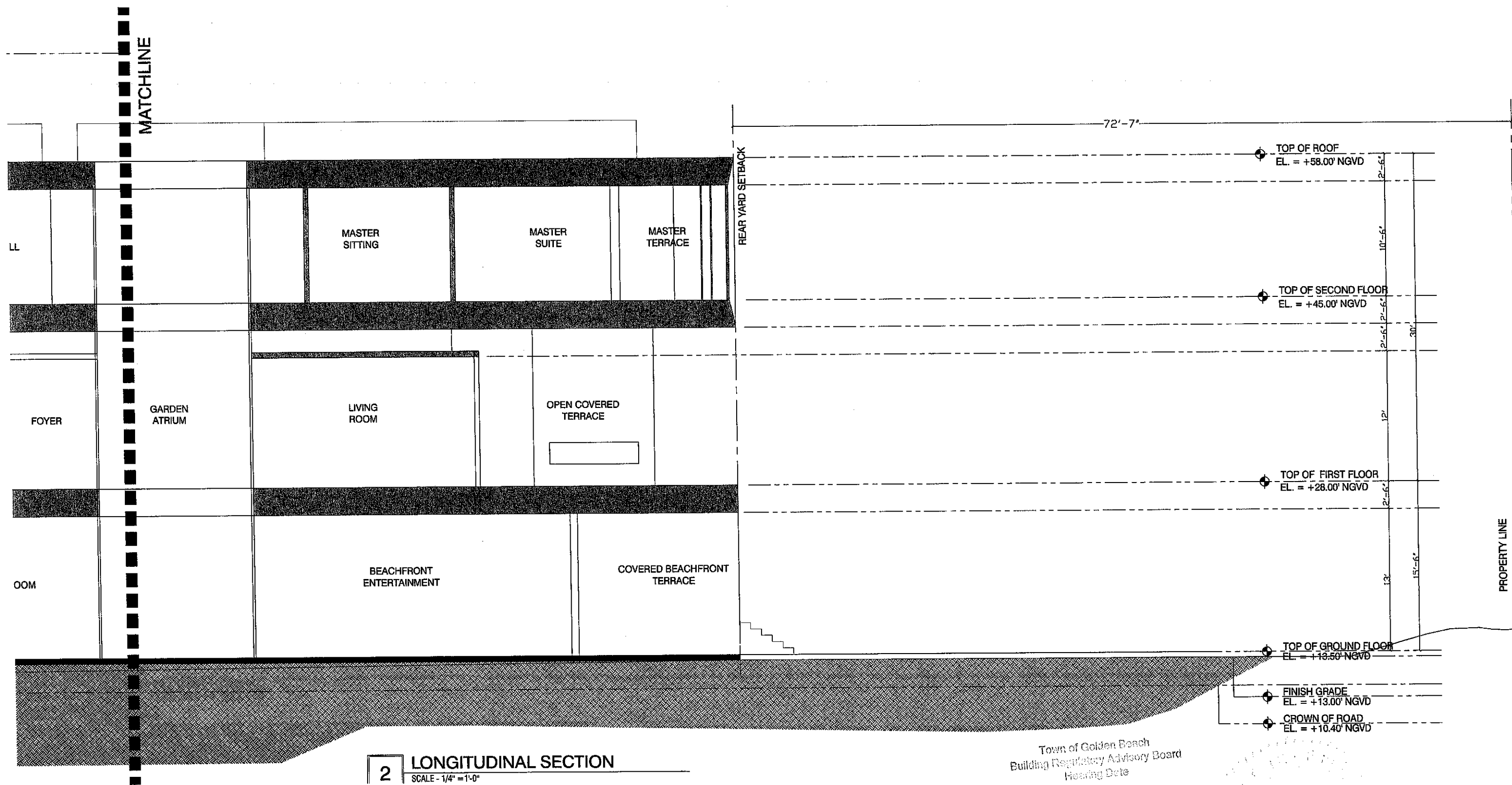
APPROVED _____
DISAPPROVED _____
VARIANCE REQ. _____

DEC 1 2013

RLH
11/14/16

A-2.1A

SECTION



2 LONGITUDINAL SECTION
SCALE - 1/4" = 1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A28002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

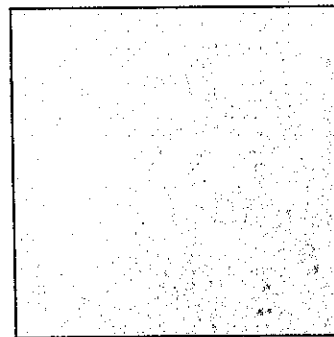
DEC 1 8 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQUEST _____

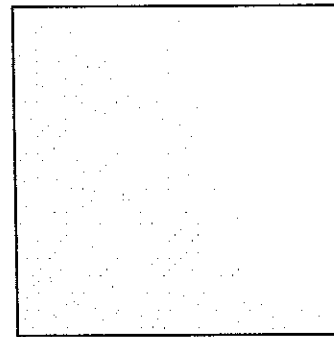
Handwritten signature and date:
11/14/14

A-2.1B

MATERIAL KEY



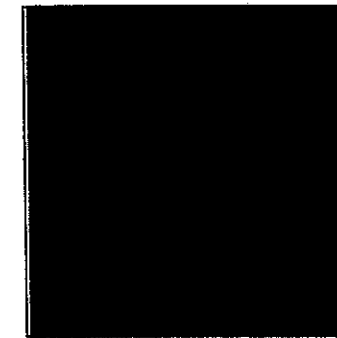
ST1 MOCCA CREME
LIMESTONE



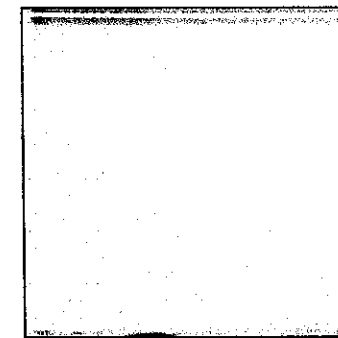
ST2 COTTON LIMESTONE-
HONED FINISH



WD1 IPE EXTERIOR
CLADDING

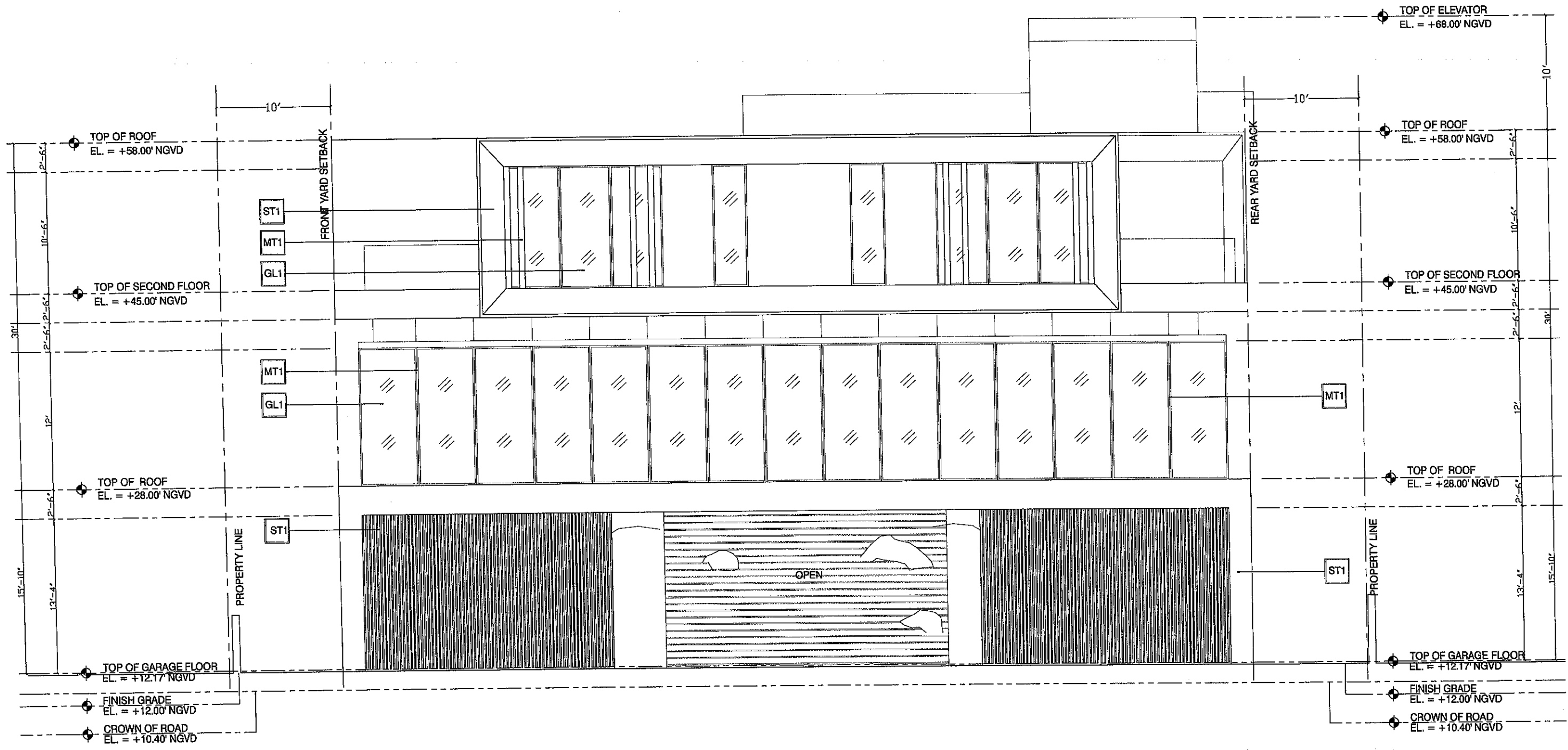


MT1 BRONZE FINISH ALUMINUM



GL1 CLEAR GLAZING

CARRIAGE HOUSE WEST ELEVATION



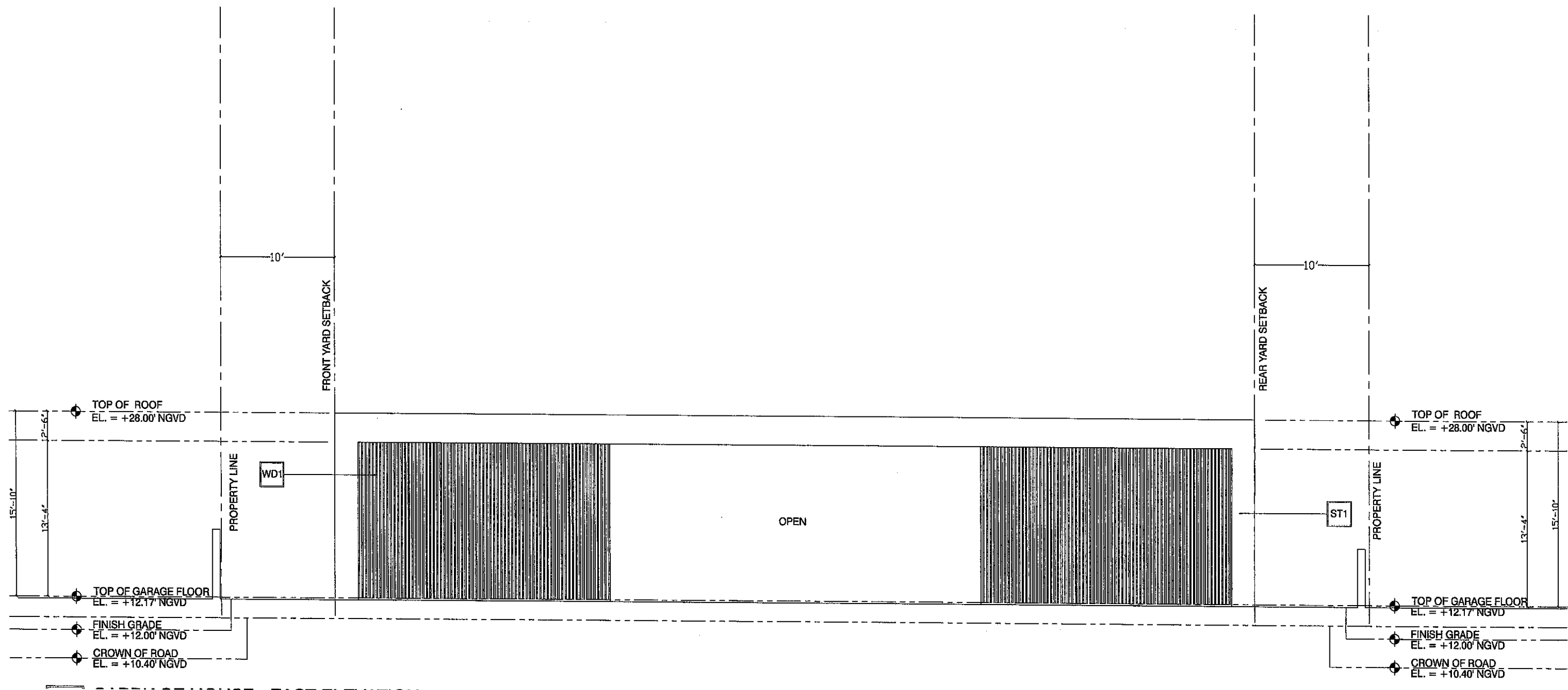
CARRIAGE HOUSE WEST ELEVATION

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date
DEC 1 8 2016

APPROVED _____
DISAPPROVED _____
VARIANCE NEEDED _____

Patricia
11/14/16

CARRIAGE HOUSE EAST ELEVATION



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

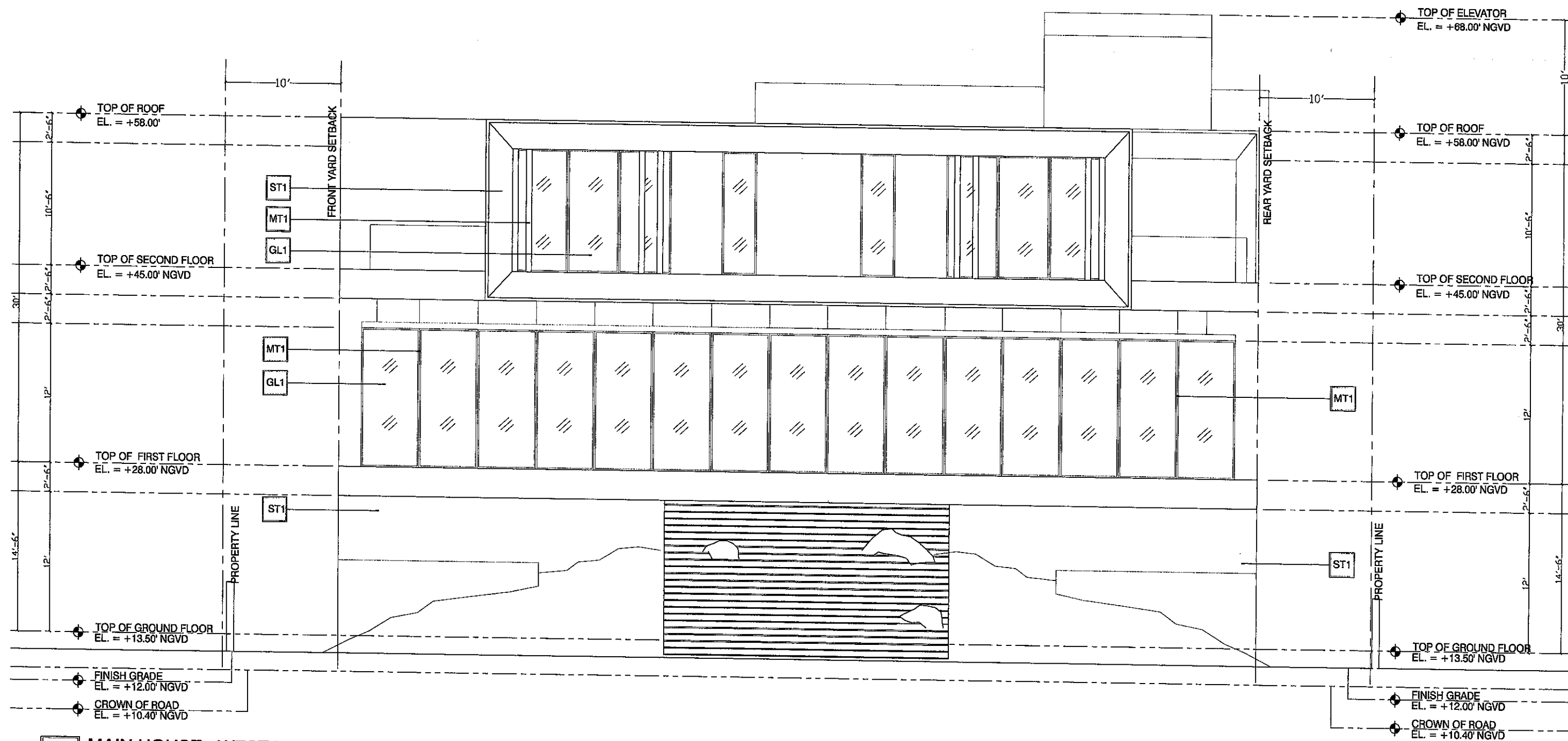
DEC 1 9 2016

APPROVED _____
DATE REVIEWED _____
VARIANCE REQ. _____

Plat
11/14/16

A 4.1

MAIN HOUSE WEST ELEVATION



MAIN HOUSE WEST ELEVATION

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 8 03 13

APPROVED _____
DISAPPROVED _____
VARIANCE FILE: _____

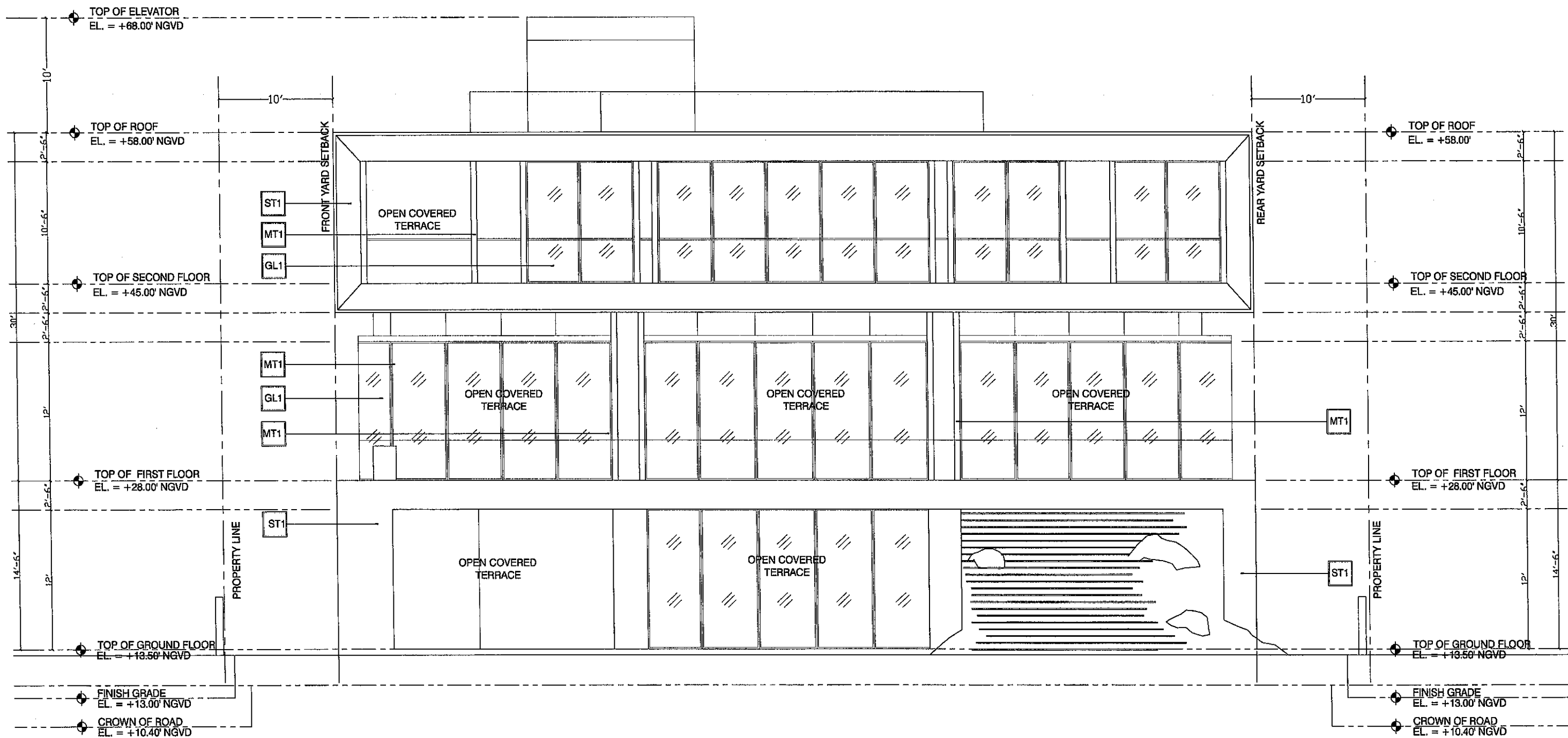
Plt
11/14/14

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

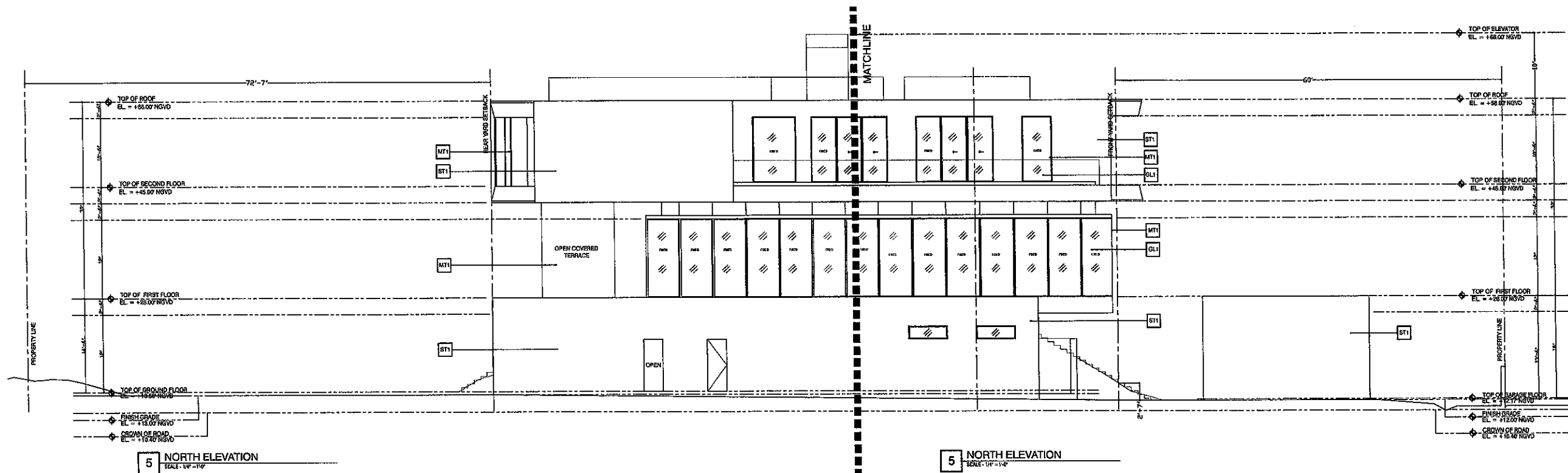
A.4.2

MAIN HOUSE EAST ELEVATION

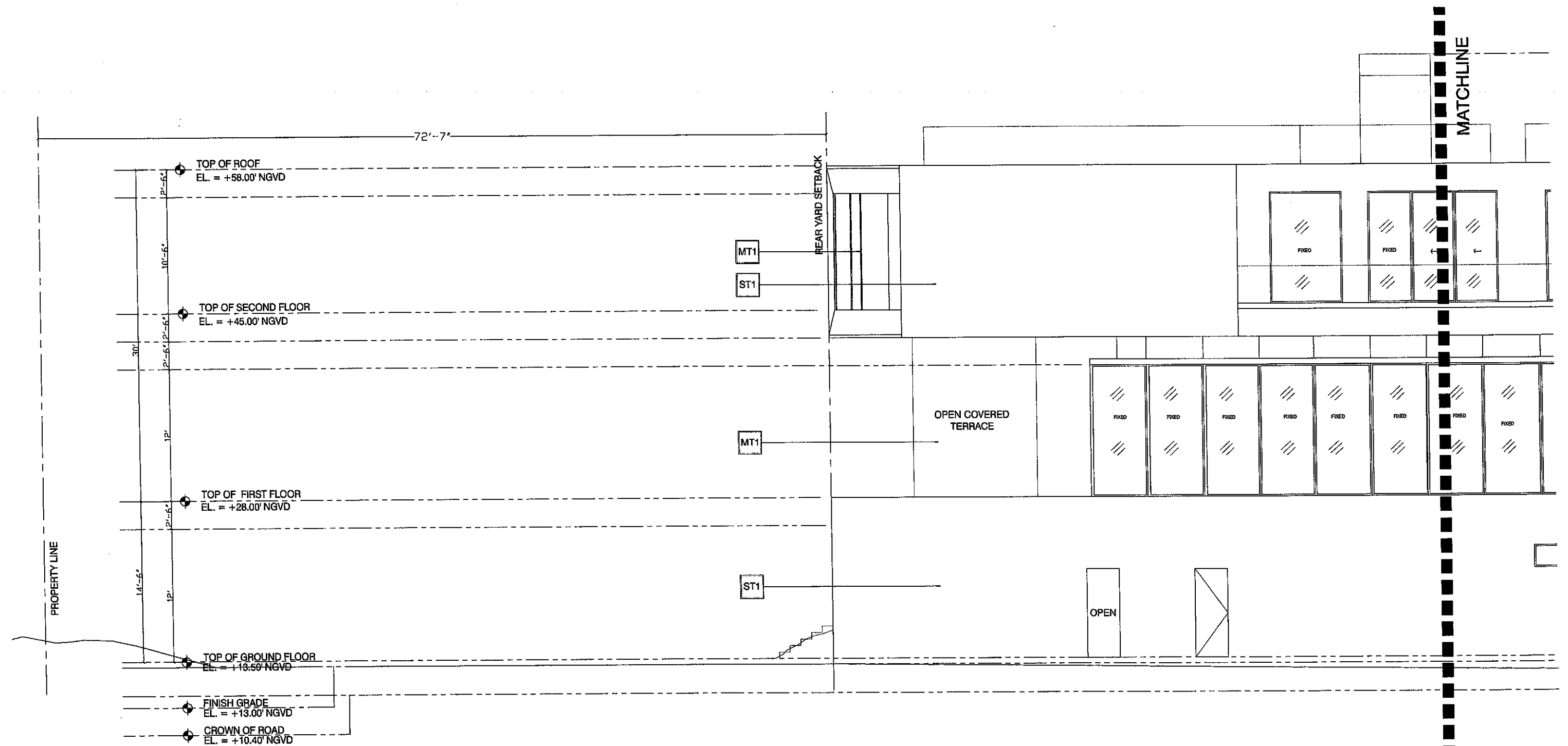


1 MAIN HOUSE - EAST ELEVATION
SCALE - 1/4" = 1'-0"

NORTH ELEVATION



NORTH ELEVATION



5 NORTH ELEVATION
SCALE - 1/4" = 1'-0"

NORTH ELEVATION



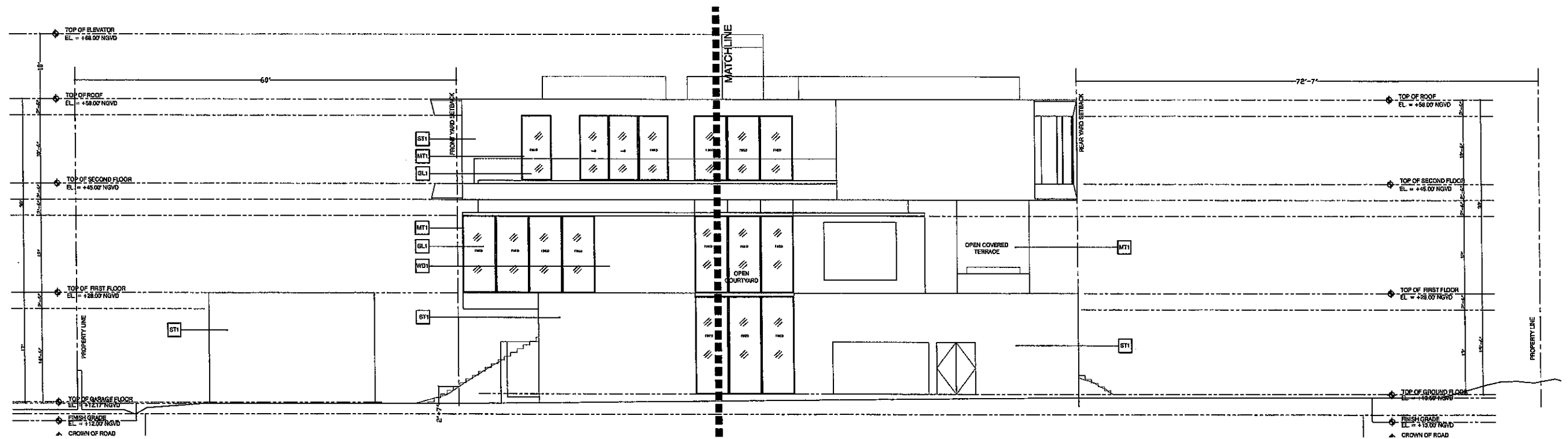
DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A28002383

APPROVED: _____
 SPECIAL AGENT: _____
 VALIDATION NO.: _____

Plotk
11/14/14

A-4.4B

SOUTH ELEVATION



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002382

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

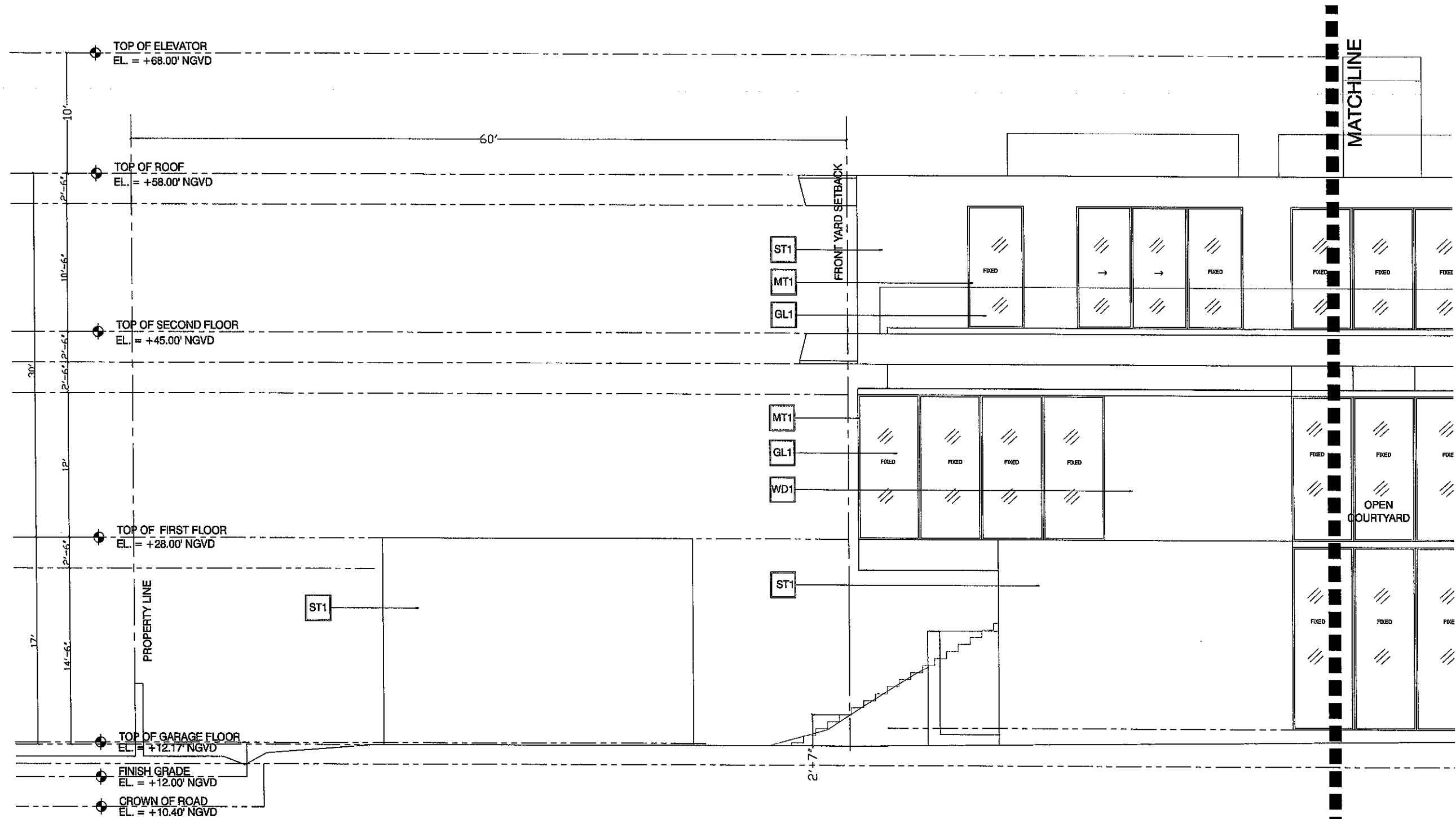
DEC 18 2013

APPROVED _____
DATE _____
VARIANCE REQ. _____

Robert H. [Signature]
11/14/14

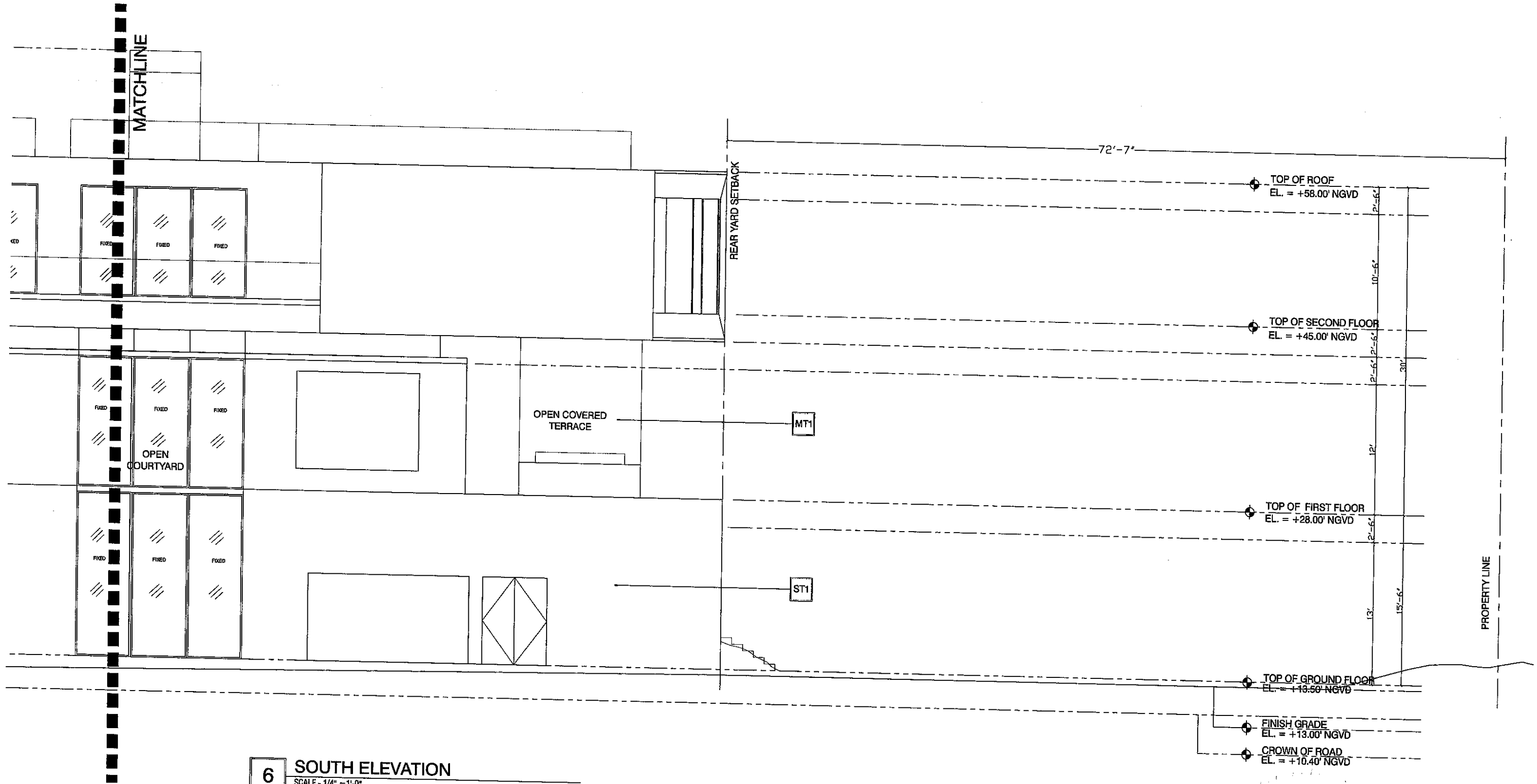
A-4.5

SOUTH ELEVATION



6 SOUTH ELEVATION
SCALE - 1/4" = 1'-0"

SOUTH ELEVATION



6 SOUTH ELEVATION
SCALE - 1/4" = 1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A28002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

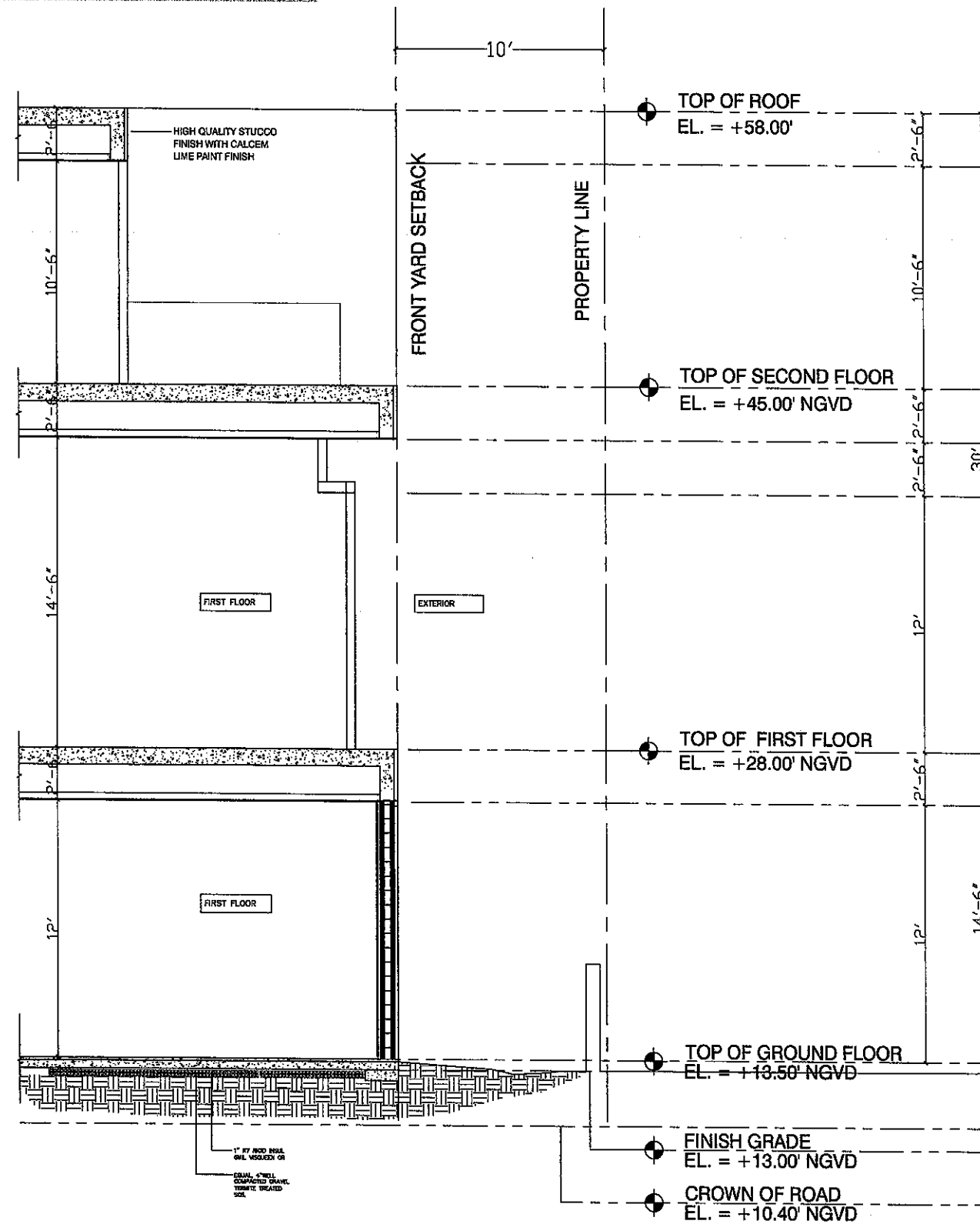
DEC 1 8 2016

APPROVED _____
UNAPPROVED _____
VARIANCE REQ: _____

Platman
11/14/16

A-4.5B

WALL SECTION



255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 18 2016

APPROVED _____
 EMPLOYEE NO. _____
 VARIANCE REQ: _____

Robert
4/14/14

A-50

PROPOSED BUILDING - GRADING & DRAINAGE NOTES

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF GOLDEN BEACH, CITY OF NORTH MIAMI BEACH AND MIAMI-DADE COUNTY STANDARDS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.
4. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
5. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
7. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
8. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
9. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.
3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT, (WITH THE EXCEPTION OF DRAINAGE AND WATER & SEWER APPROVALS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FDOT WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD.)
5. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
6. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

THE ENGINEER SHALL REQUIRE A COLOR T.V. SURVEY AND SHALL REQUIRE AN EXFILTRATION/INFILTRATION TEST PRIOR TO ACCEPTANCE. THE SURVEY AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.

INSPECTIONS:

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:

- 1.) STORM DRAINAGE
- 2.) SANITARY SEWER
- 3.) WATER SYSTEM SUBGRADE - SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
- 4.) LIMEROCK BASE - SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 5.) ASPHALTIC CONCRETE
- 6.) FINAL WALK-THROUGH INSPECTION
- 7.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: WATER/SEWER MAIN PIPING AND ASSOCIATED FITTINGS, CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES

- A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
- B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

2. TRAFFIC REGULATION

- A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND FDOT.
- B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF GOLDEN BEACH AND CITY OF NORTH MIAMI BEACH PUBLIC WORKS DEPARTMENT.

VI. PROJECT CLOSE OUT:

1. CLEANING UP

- A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
 - B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
 - C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
 - D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
 - E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
 3. PROJECT RECORD DOCUMENTS
 - A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
 - B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.
 4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

GENERAL

1. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BLANCHING OF THE FABRIC.
2. SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 4'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 4'-0" SHALL BE NON-PERFORATED PIPE.
3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

VIII. PAVING

1. GENERAL

- A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF GOLDEN BEACH AND CITY OF NORTH MIAMI BEACH STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.
- G. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

1. PAVEMENT MARKINGS

- A. INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.
- B. MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.

2. TRAFFIC SIGNS

- A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART 8, IN LOCATIONS SHOWN ON PLANS.
- B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

LED 1 5 1 7 5

APPROVED
DESIGNED BY
VARIATION BY

Walter
Lugo

Digitally signed by Walter Lugo
DN:
serialNumber=72pr64cxgspgpcn,
c=US, st=Florida, l=Miami,
o=Walter M. Lugo, cn=Walter Lugo
Date: 2016.11.14 05:11:01 -05'00'



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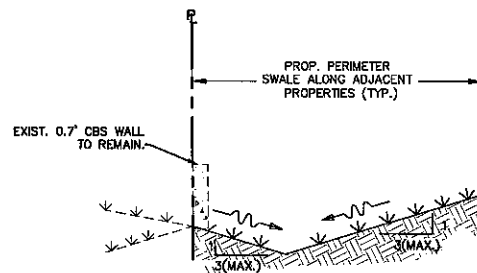
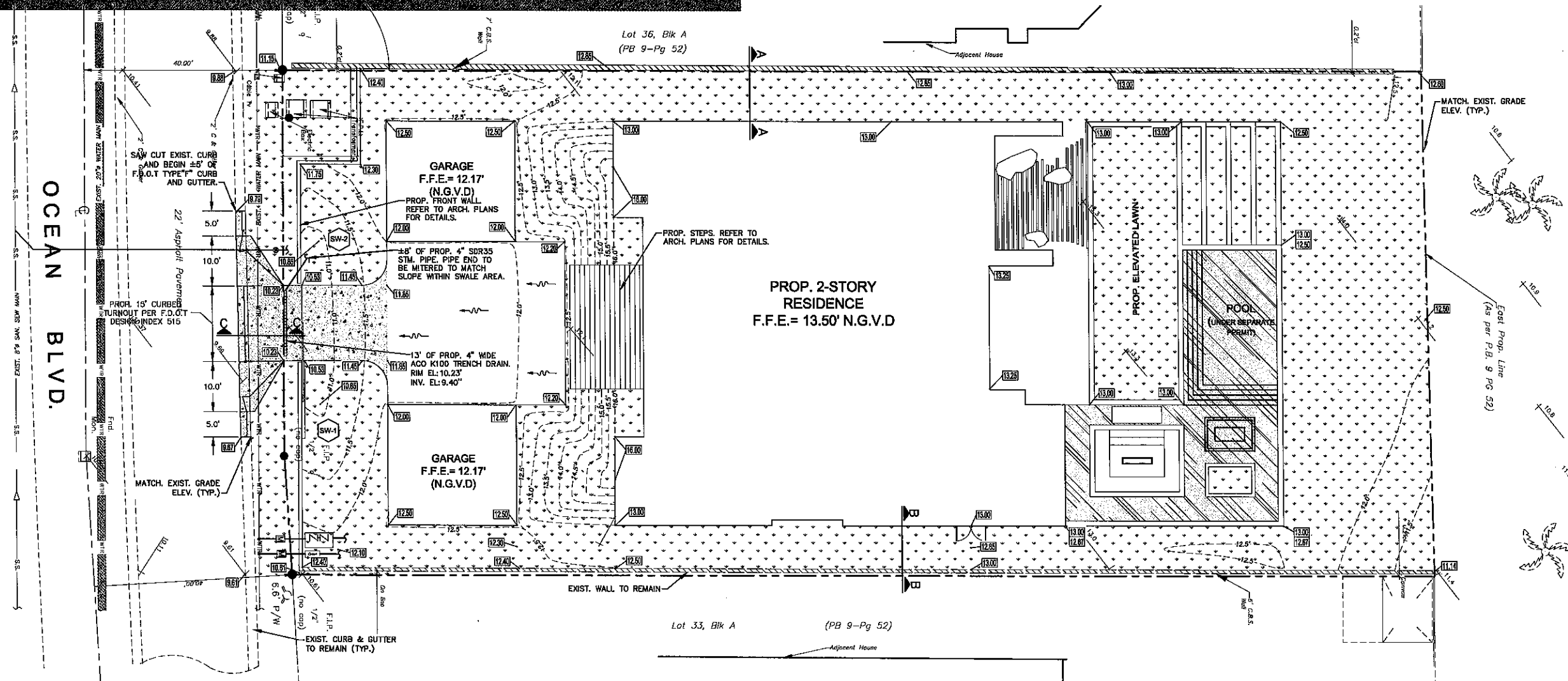
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NEW RESIDENCE
255 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160
GENERAL NOTES AND
SPECIFICATIONS

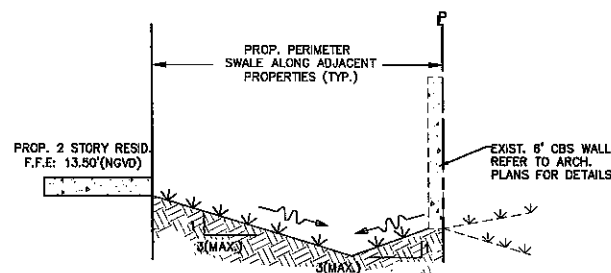


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07-18-2016
revised:

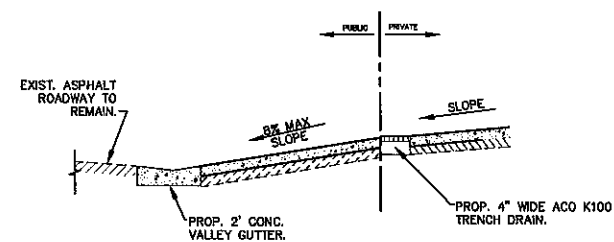
PROPOSED BUILDING - GRADING & DRAINAGE PLAN



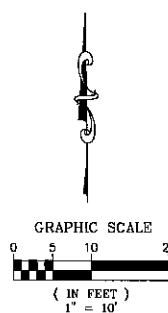
SECTION A-A
N.T.S.



SECTION B-B
N.T.S.



SECTION C-C
DRIVEWAY SECTION
N.T.S.



LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- 10.31' EXISTING ELEVATIONS (NGVD)
- DIRECTION OF SURFACE RUNOFF

- PROP. LANDSCAPE AREA, REFER TO LA PLAN FOR DETAILS.
- PROP. CONCRETE PAVING, (SEE ARCH. PLANS FOR DETAILS)
- PROP. WOOD DECK (SEE ARCH. PLANS FOR DETAILS)
- PROP. GRADE ELEVATION (NGVD)
- PROP. SWALE AREA

NOTE:

1. ALL WALKWAYS TO BE CONSTRUCTED WITH 2% TRANSVERSE SLOPE.
2. ANY PROPOSED CONSTRUCTION JOINTS ARE TO BE SAW CUT AND MATCH PROPOSED GRADE ELEVATIONS.
3. ALL PROPOSED GRADING SHALL BE SLOPED TOWARDS THE NEAREST PROPOSED SWALE AREA.
4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION MOST CURRENT DESIGN STANDARDS AND SPECIFICATIONS.

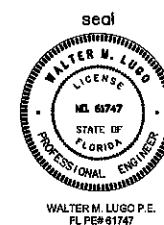
Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 9 2016

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VARIANCE REQ.

Always call 811 two full business days before you dig to have underground utilities located and marked.
Sunshine811.com

OCEAN ENGINEERING, INC.
Civil Engineering Consultants
255 Ocean Boulevard, Suite 506
Golden Beach, FL 33160
Phone: 305-674-8031
Fax: 305-674-8031
www.ocean-engineering.com



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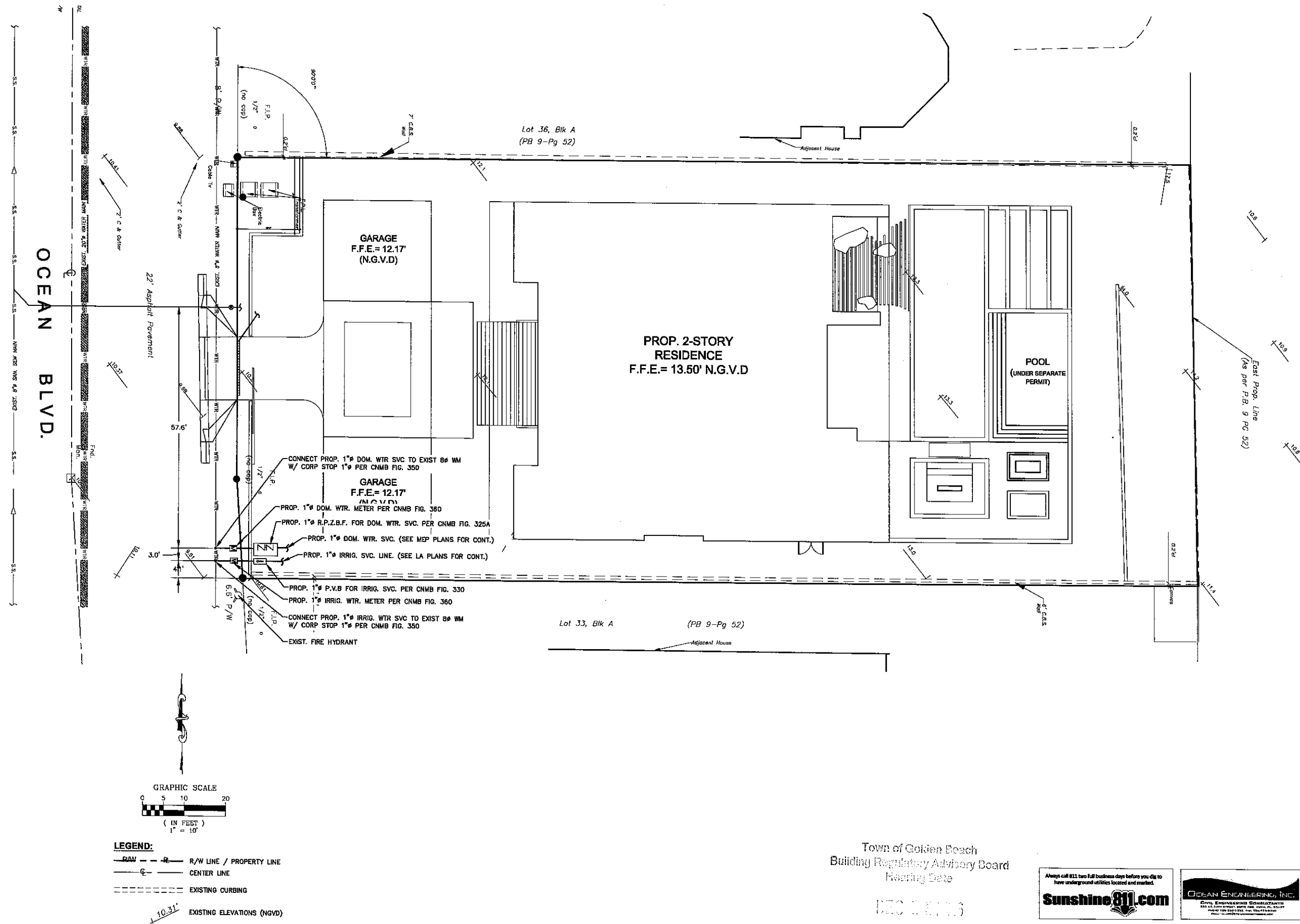
255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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305-674-8031
420 LINCOLN ROAD SUITE 506 MIAMI BEACH, FL 33139
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PAVING GRADING AND DRAINAGE PLAN

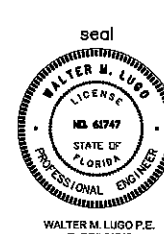
PROPOSED BUILDING - WATER PLAN



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420 LINCOLN ROAD SUITE 506 MIAMI BEACH, FL 33139
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NEW RESIDENCE
255 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160

WATER PLAN



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07-18-2016
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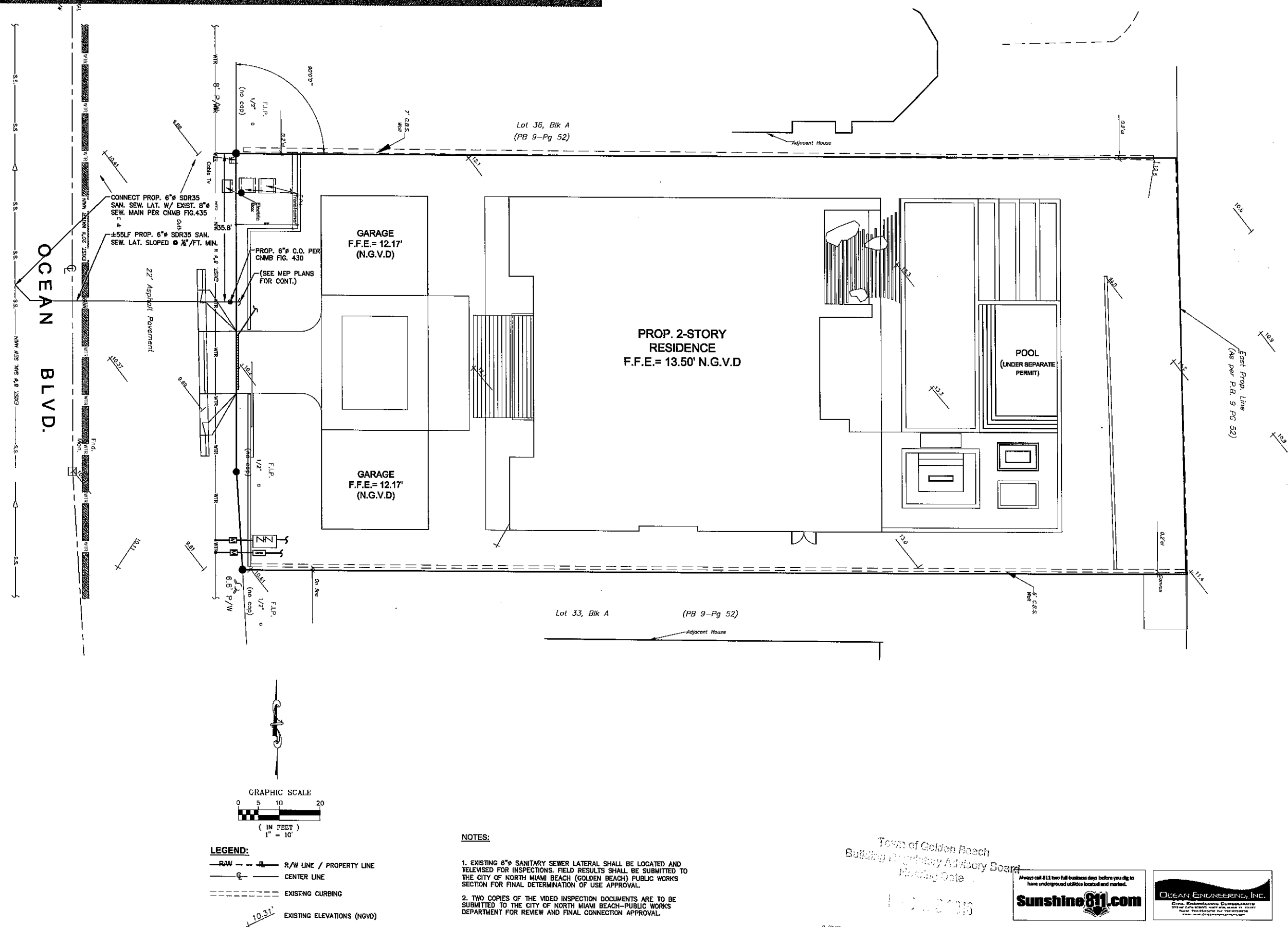
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Building Regulatory Advisory Board
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PROPOSED BUILDING - SEWER PLAN



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Civil Engineering Consultants
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Phone: (305) 944-1111 Fax: (305) 944-1112
www.oceanengineering.com

NEW RESIDENCE
255 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160
SEWER PLAN

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420 LINCOLN ROAD SUITE 506
MIAMI BEACH, FL 33139
305-674-8031
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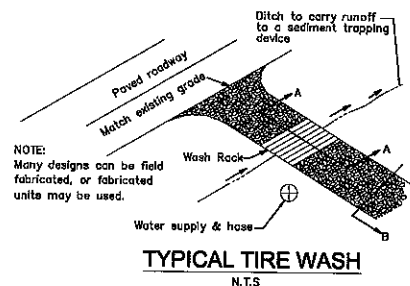
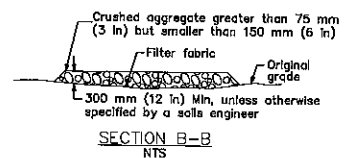
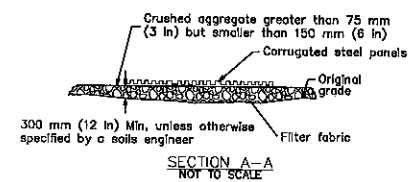
seal
WALTER M. LUGO
LICENSE
NO. 61747
STATE OF FLORIDA
PROFESSIONAL ENGINEER
WALTER M. LUGO P.E.
FL PE# 61747

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255 OCEAN BLVD
GOLDEN BEACH, FLORIDA



NOTES:

1. CONTRACTOR SHALL INSTALL GEOTEXTILE FABRIC IN EACH CATCH BASIN, FLOOR DRAIN OR TRENCH DRAINS IN THE EFFORTS TO PROTECT THE PROPOSED STORM WATER MANAGEMENT SYSTEM FROM DEBRIS AND SEDIMENTATION.
2. IN ACCORDANCE TO DEEP NPDES PERMIT REQUIREMENTS, EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED.

LEGEND:

— R/W — — — R — R/W LINE / PROPERTY LINE
 — C — — — CENTER LINE
 - - - - - EXISTING CURBING
 × 8.00' EXISTING ELEVATIONS (NGVD)

PROP. EROSION BARRIER PER CMB
 DETAIL SES13. (SEE CIVIL SHT. C600
 FOR DETAILS)

GRAPHIC SCALE

(IN FEET)
1" = 10'

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DISAPPROVED _____
VARIANCE REQ. _____

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CIVIL ENGINEERING CONSULTANTS
233 NE 26TH STREET, SUITE 400, PALM BEACH, FL 33409
PHONE: 561-853-9070 FAX: 561-853-8232
EMAIL: E.OCEAN@AOL.COM WWW.OCEAN-INC.COM

seal

WALTER M. LUGO
LICENSE
NO. 61747
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

WALTER M. LUGO P.E.
FL PE#61747

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NEW RESIDENCE
255 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160

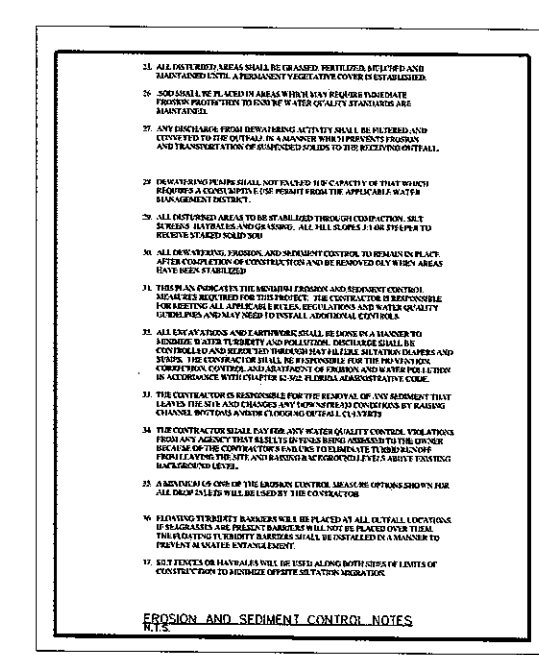
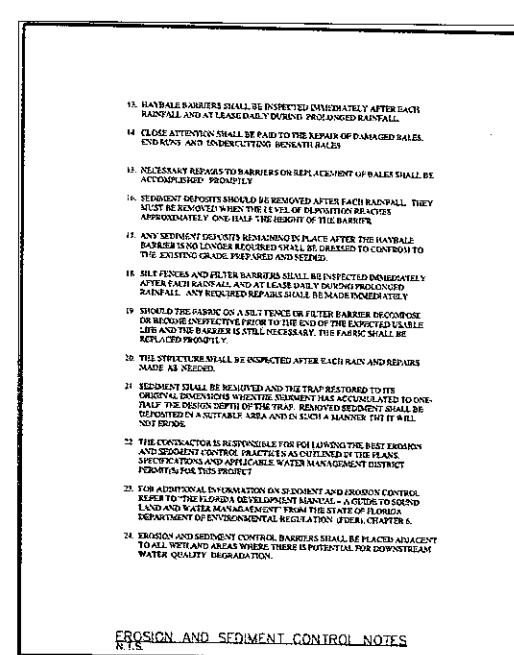
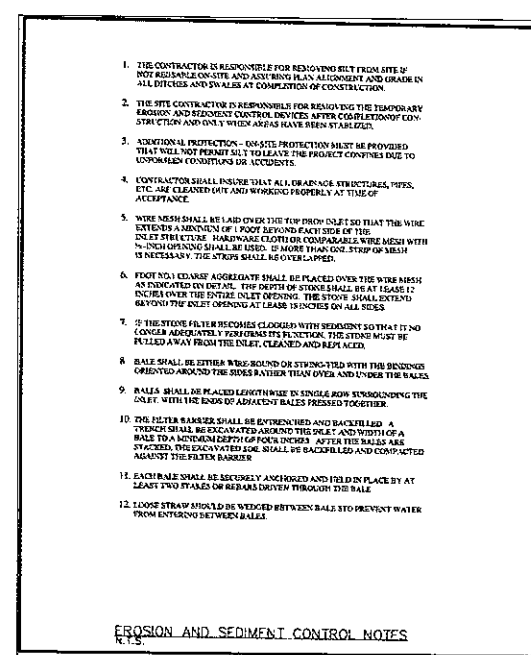
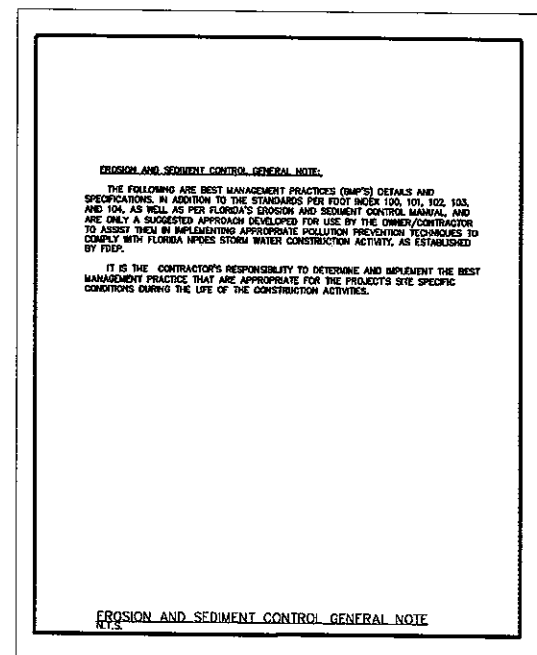
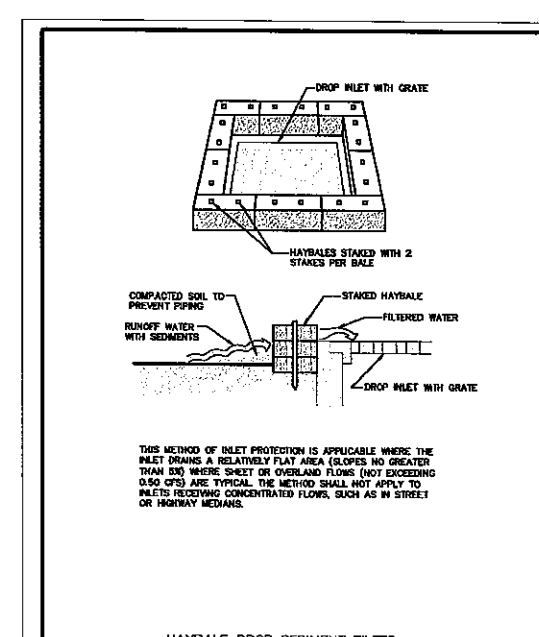
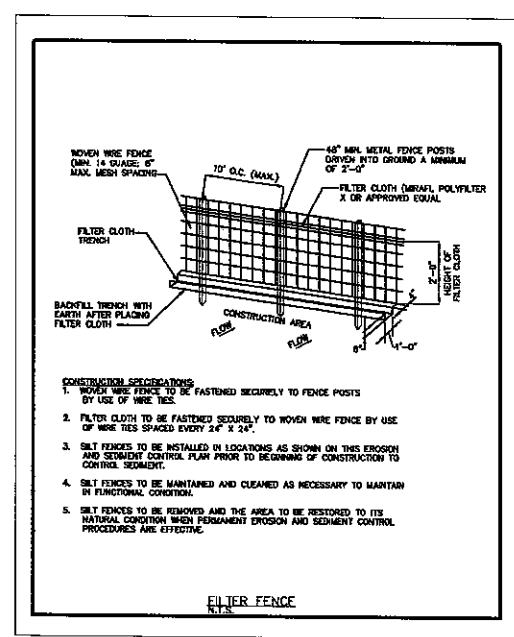
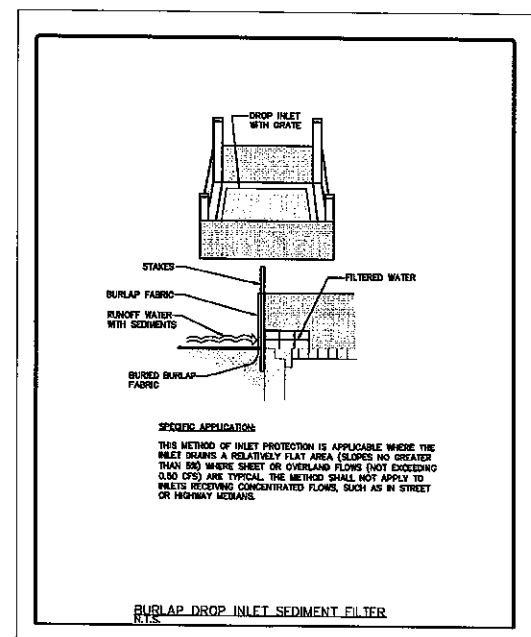
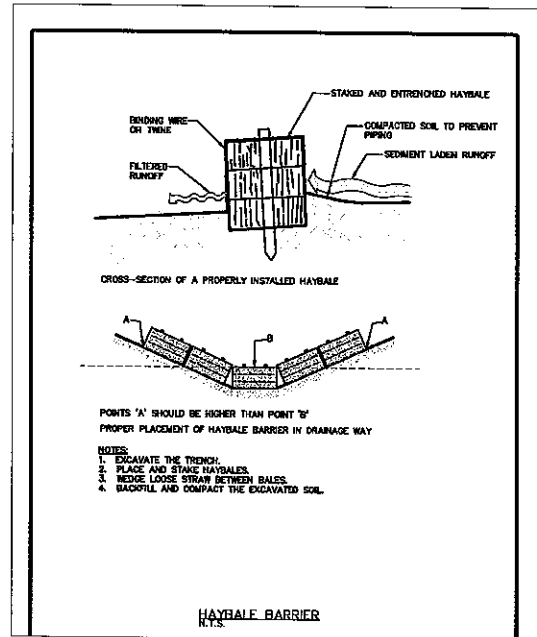
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SUITE 506 MIAMI BEACH, FL 33139
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420 LINCOLN ROAD

SEDIMENTATION AND
EROSION CONTROL PLAN

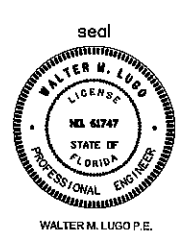
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PROPOSED BUILDING - EROSION CONTROL NOTES



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GOLDEN BEACH, FL 33160
SEDIMENTATION AND
EROSION CONTROL NOTES



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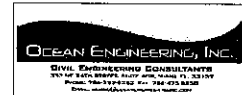
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A26002383

APPROVED
DATE: 07-18-2016
VARIANCE NO:

Town of Golden Beach
Building Regulatory Advisory Board
Meeting Date

DEC 18 2016

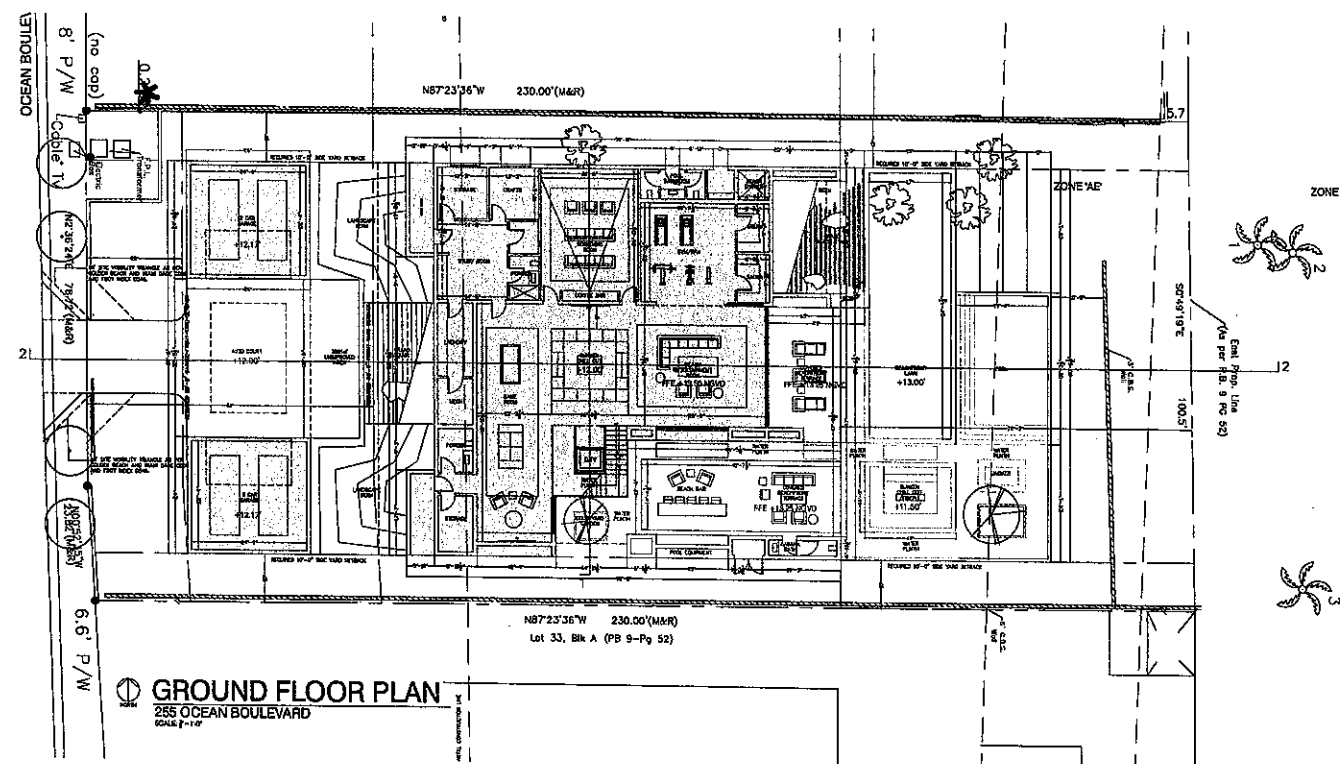
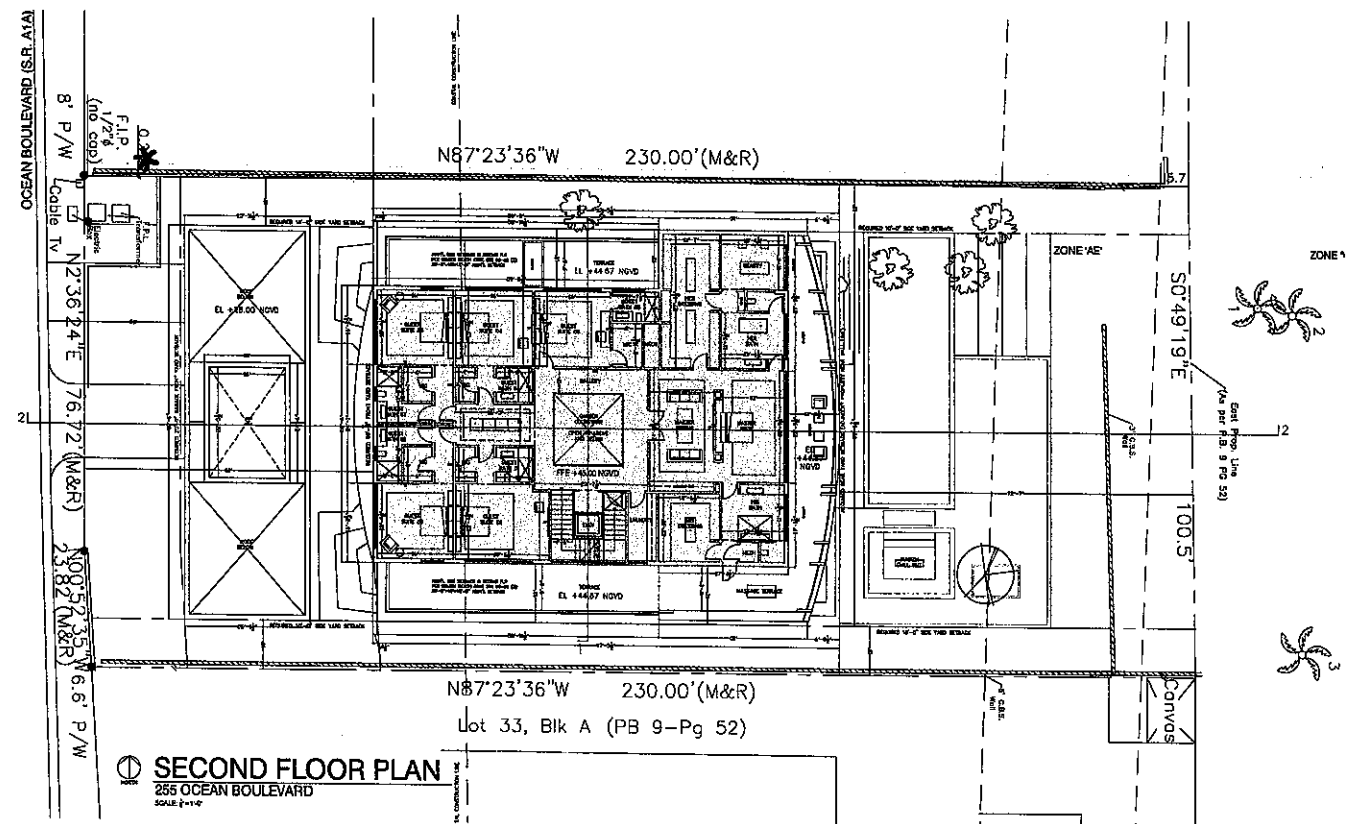
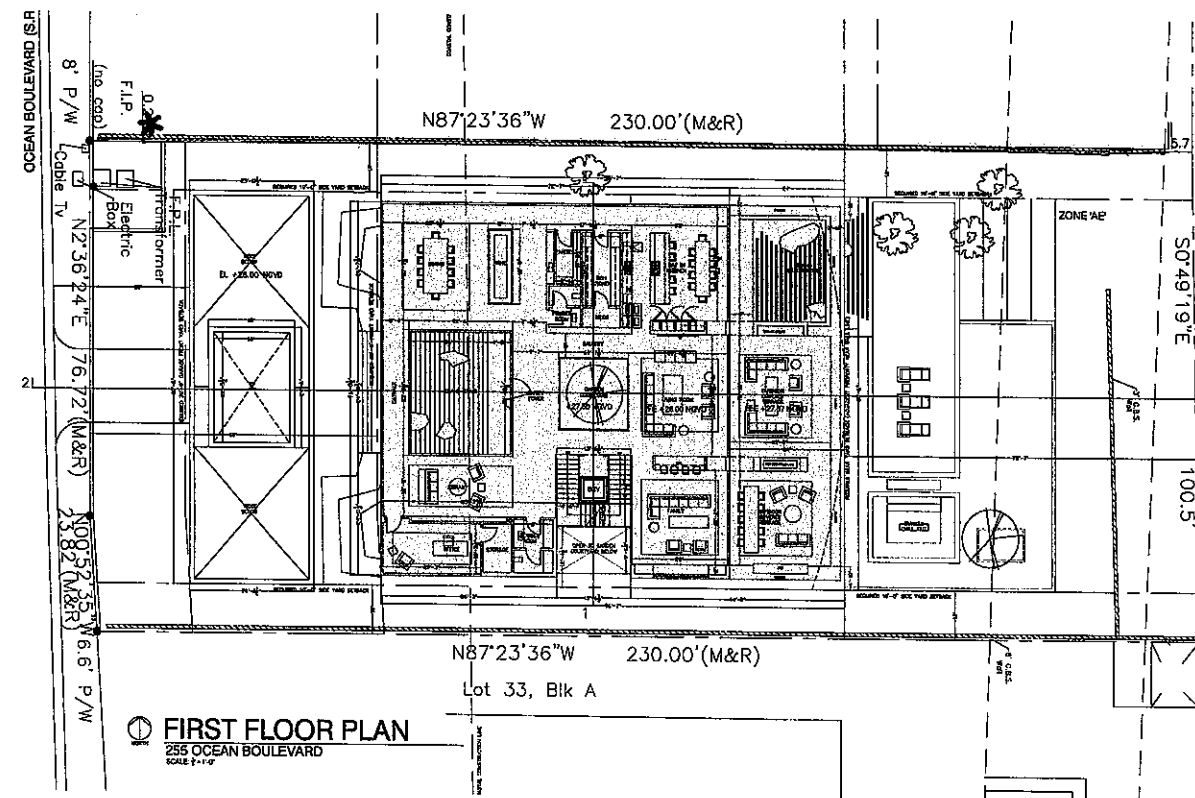


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255 OCEAN BLVD
GOLDEN BEACH, FLORIDA



SECOND FLOOR	4,747 sf
FIRST FLOOR	4,464 sf
GROUND FLOOR	5,018 sf
TOTAL AREA	14,229 SF

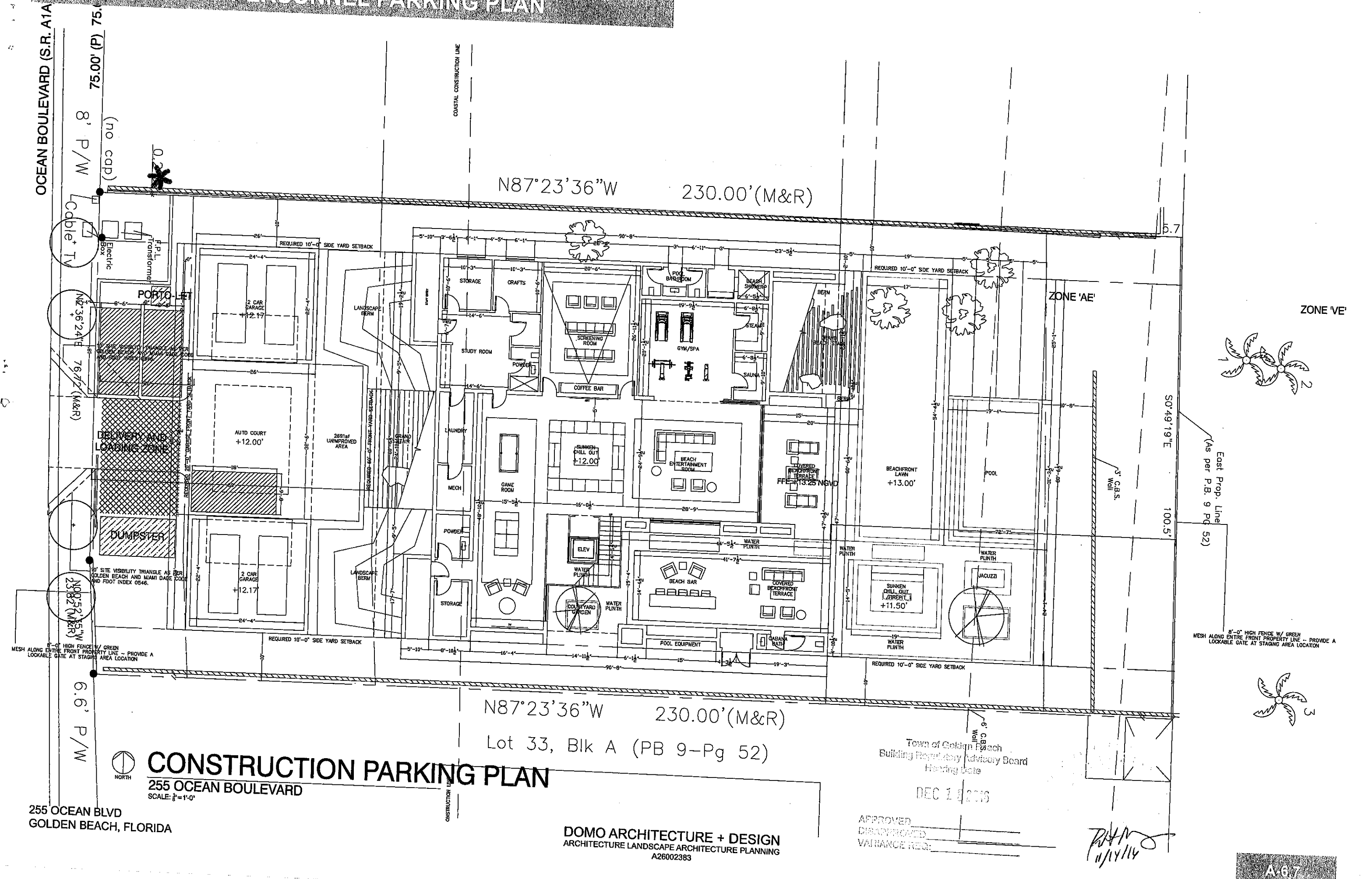
Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC - 8000

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DISAPPROVED _____
VARIANCE ALSO: _____

[Signature]
11/14/14

CONSTRUCTION PERSONNEL PARKING PLAN



OCEAN BOULEVARD (S.R. A1A)

8' P/W

75.00' (P) 75.00' (no cap)

76.72' (M&R)

23.82' (M&R)

6.6' P/W

N87°23'36"W 230.00' (M&R)

N87°23'36"W 230.00' (M&R)

Lot 33, Blk A (PB 9-Pg 52)

CONSTRUCTION PARKING PLAN

255 OCEAN BOULEVARD

SCALE: 1/8" = 1'-0"

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
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A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

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DISAPPROVED
VARIANCE REQ:

11/14/14

ZONE 'AE'
ZONE 'VE'
East Prop. Line
(As per P.B. 9 Pg 52)

8'-0" HIGH FENCE W/ GREEN
MESH ALONG ENTIRE FRONT PROPERTY LINE -- PROVIDE A
LOCKABLE GATE AT STAGING AREA LOCATION



STREET VIEW

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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A26002383

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

DEC 1 2016

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DISAPPROVED _____
VARIANCE REQ: _____

Phil May
11/14/16

A70



WATERFRONT VIEW

255 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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Building Regulatory Advisory Board
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Robert
11/14/14

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