TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

Official Agenda for the March 21, 2017
Regular Town Council Meeting called for 6:30 P.M.

BACKUP EXHIBITS AND PLAN FOR RESOLUTIONS:

2487.17
2488.17

TOWN OF GOLDEN BEACH
NOTICE OF PUBLIC HEARING

The **Building Regulation Board** and the **Town Council** of the Town of Golden Beach will hold a **Public Hearing** on the following proposal:

__(3)__Variance Request(s)
__X__New Construction

Request for relief from Town Code Sections Sec. 66-69. - Minimum frontage, building square footage and height of residence. 66-101 House and garage floors, and 66-261 Roof Top Activities,

Code Sections 66-69 and 66-101

Code section 66-101 requires the first floor finished elevation to be at 18.2' NGVD + 2' for a total of 20.2' NGVD, and code section 66-69 requires a height of 27.5' NGVD measured from the first floor finished elevation. The applicant is requesting a first floor finished elevation of 25' NGVD with a height of 32.20' NGVD.

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Code Section 66-261

Code Section 66-261(b) (5) states that elevator bulkhead shall be up to 5' x 10'. The applicant is proposing an elevator and covered elevator vestibule size of 9'-2"" x 11'-8" in area.

JOB ADDRESS:	263 Ocean Boulevard, Golden Beach, FL.
OWNER ADDRESS:	263 Ocean Boulevard, Golden Beach, FL. 33160
REQUESTED BY:	Samuel Ohev Zion and Michelle Ohev Zion
LEGAL DESCRIPTION:	Lot 36 & S ½ of 37, Block A, GB Sect. C, PB 9-52
FOLIO NO.:	19-1235-003-0260

The **BUILDING REGULATION ADVISORY BOARD** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
DATE: March 14, 2017 at 6pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
DATE: March 21, 2017 at 6:30pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

Dated: March 7, 2017

Linda Epperson – Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932—0744 AT LEAST 24 HOUR

CAROLYN TRAVIS GILSON
601 OCEAN BOULEVARD
GOLDEN BEACH, FL.

SCOTT BASSMAN &
NICOLE DUBOFF
610 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

VILLA DENIZ LLC
605 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

OLIVIA INVESTMENTS LTD
599 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

KENNETH AND RHODA ISRAEL
615 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

ERIC & PAMELA COHEN
600 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

SIDNEY AND SANDA LEVY
577 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

RONALD D. & MARYROSE TRAPANA
561 OCEAN BOULEVARD
GOLDEN BEACH, FL. 333160

GOLDEN BEACH 555 CORP.
20801 BISCAYNE BLVD., STE 400
AVENTURA, FL. 33180

KEREN B. SHIMON
4000 WILLIAMS ISLAND BLVD., 2FL
AVENTURA, FL. 33160

ELIZABETH SHAPKIN
570 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

RICHARD & GLORIA WURMAN
584 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

MICHAEL MILLER PLANNING ASSOCIATES, INC.
Land Design Municipal Planning Services Transportation Planning

TOWN OF GOLDEN BEACH COMMUNITY DEVELOPMENT MEMORANDUM

To: **Building Regulatory Advisory Board**
Town of Golden Beach

From: **Michael J. Miller, AICP**
Consultant Town Planner

Date: **March 7th, 2017**

Subject: **Zoning Variance Applications**
Various Items
263 Ocean Boulevard
Lot 36 & S ½ of Lot 37 in Block A
MMPA Project No.04-0101-0502

ISSUE

The applicant, Samuel Ohev-Zion, has filed applications with the Town for approval of a new single-family home on an oceanfront lot (75-feet width). The applications include a (1) BRAB site design as well as (2) a request for two variances from the Town Code in order to construct a proposed single-family residence.

Following is the applicant's current request:

- Variance from Section 66-101(a)(1) to allow the first floor (first habitable floor) to be at an elevation of 25.0' NGVD (20.2' NGVD maximum permitted by Code);
- Variance from Section 66-261(b)(5) to allow an elevator and elevator vestibule to be 9'-2" by 11'-8" rather than the 5' by 10' Code maximum.

ANALYSIS

As per the Town's request MMPA has completed our review of the above referenced variance application and provide the following comments for consideration:

Variance from Section 66-101(a)(1) to allow the first floor (first habitable floor) to be at an elevation of 25.0' NGVD (20.2' NGVD maximum permitted by Code).

7522 Wiles Road Suite B-203 Coral Springs, Florida 33067 Telephone: 954-757-9909

The applicant is requesting a variance to raise the first habitable floor slab elevation to a height of 25.0' NGVD versus the 20.2' height limit set forth in the Code (max. 2' above the lowest structural member @ 18.2' NGVD east of the CCCL). The applicant argues there is an existing garage with a floor level of 13.0' NGVD that cannot be modified per FDEP and they feel there would be insufficient clearance. There is no evidence (letter / email) from FDEP as to this statement. To our knowledge, the applicant could remove / modify the existing garage and excavate the area under the main house and not have to request any variance. Any fill would need to remain on the site per FDEP. An option was given to the applicant by the Town administration to request a variance to raise the first habitable floor elevation slightly, to provide an adequate inside dimension for use (8' max. per Town administration). This would equal 21.0' NGVD to the lowest structural member (13.0' + 8.0') and 23.0' (21.0' + 2.0') to the lowest habitable floor. The applicant is requesting the additional height (4.8-feet) so as to not alter the garage or have to excavate the site, but rather provide the non-habitable slab on grade with a floor to ceiling height of 10-feet. The Town administration has stated they will not support this severe of a request. However, the Town would support a modified request, provided the overall building height is not increased above the normal allowance (27.5' above 20.2' NGVD / currently proposed 27.5' above the 25.0' NGVD) and the maximum floor to ceiling height of the non-habitable space below the lowest structural member east of the CCCL is 8 feet. While MMPA understands the reason for the request, we feel this site is no different or unique than other oceanfront sites that have built following the current standards; therefore, we have difficulty supporting this request, as submitted.

Variance from Section 66-261(b)(5) to allow an elevator and elevator vestibule to be 9'-2" by 11'-8" rather than the 5' by 10' Code maximum.

The applicant is requesting an elevator and elevator vestibule larger than the 5' by 10' Code maximum. A Town Code amendment has been initiated to allow for slightly more flexibility for such features, as many architects / builders have indicated that it is not possible to obtain an elevator that small. The Town just recently (2011) allowed any rooftop uses and elevators to rooftops, but limited their size. MMPA feels this request is far too high (110+/- sq. ft.) compared to the Town's current thoughts (75 sq. ft.). Therefore, MMPA is not in support of this request. If the Town Council approves the Code amendment as currently suggested (75+/- sq. ft.), unless a variance was granted, the size of the elevator would not be allowed.

NON-USE VARIANCE JUSTIFICATION

Due to several homes being reviewed / approved at least conceptually by the Town over the last year+/- that appear to not be in compliance with existing Town Codes, and recognizing that Code modifications may be desirous to allow the site designs, the Town has recently initiated a series of Code amendments. So as to not further delay development, the Town administration has allowed developers to submit plans / variances for desired designs. If the Town either approves the Code amendments and/or variances, the sites may be developed as is. If the items are not approved, the site designs will have to be modified to comply with current Codes.

Justification for First Habitable Floor Elevation:

1) *The variance requested is for relief from the provisions of the Town Code.*

   The applicant seeks relief from Section 66-101(a)(1) of the Town's Code of Ordinances.

2) *Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district.*

   The applicant states that the existing garage floor and lot grades east of the CCCL cannot be removed or excavated from the property and that the existing grade is 13.0' NGVD which renders the space below the home inaccessible for storage / parking. Per conversations with FDEP, MMPA believes that FDEP would allow for excavation of portions of the existing dune if the excavated material is to remain in the immediate area from which it was removed. MMPA believes the applicant's statement concerning FDEP position on excavation is inaccurate – excavation is permitted with restrictions. MMPA is not fully in support of this variance since FDEP allows excavation. The internal grade level garage height will be allowed at 8.0' from finished floor to the lowest structural member, which is more than adequate for a garage.

3) *The special conditions and circumstances do not result from the actions of the applicant.*

   The applicant stated that the existing grades do not allow accessibility beneath the home as there would be insufficient minimum clearances. MMPA agrees that the circumstances are not caused by actions of the applicant, if FDEP did not allow for excavation of the site. However, FDEP does allow excavation provided the fill material stays on the lot and fortifies the coastal dune system.

4) *Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district.*

   The applicant stated that other properties along Ocean Boulevard have similar site conditions. MMPA notes that most other oceanfront lots in this area have similar site conditions, due to the raised coastal dune system. However, no other applicant has requested as high (25') lowest habitable floor height – others to date have requested 21.5'. MMPA believes this request may grant special privilege to the applicant not afforded to others, and may create an undesirable precedent of increased building height.

5) *Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.*

   The applicant stated that Sec. 66-101(a)(1) limits the use of space beneath the home to storage / parking. This is not entirely accurate – if the area was used for "habitable" purposes the overall building height would be measured from the floor of that area. MMPA notes that other oceanfront lots in this area have been granted variances to allow the yard areas / finished floor elevations to be higher than permitted by Code, due to the raised coastal dune system. MMPA believes this request may grant special privilege to the applicant not afforded to others, and may create an undesirable precedent of increased building height.

6) *The variance granted is the minimum variance that will make possible the reasonable use of the land or structure.*

   The applicant stated they are requesting the minimum variance required to allow for 10'-0" of clear height below the first-floor structure which allows for the minimum use of the space. MMPA notes that Town administration will not support this request if more than 8'-0" of clear head-room is requested. MMPA recommends that if FDEP allows for excavation of the site, the applicant should not be granted the variance, and/or that the application be modified to lower the request similar to others.

7) *The granting of the variance will be in harmony with the general intent and purpose of the Town Code and the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

   The applicant stated that the variance requested would allow the home to be built with accessible storage below while keeping the existing grade elevations. MMPA does not believe the variance should be granted if FDEP allows for excavation of the site. Further, the Town administration will not support more than an 8.0' foot inside dimension, and the overall building height cannot be increased. MMPA believes that allowing the request may result in a taller building than others, harming adjoining sites.

Justification for Elevator and Elevator Vestibule:

1) *The variance requested is for relief from the provisions of the Town Code.*

   The applicant seeks relief from Section 66-261(b)(5) of the Town's Code of Ordinances.

2) *Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district.*

   The applicant stated that the elevator for the necessary size and speed exceed the allowable footprint; permitted rooftop uses require an elevator to travel 4 levels at a reasonable speed. MMPA notes that until 2011 no rooftop activities were allowed on rooftops in the Town. The Town allowed only minimal access necessary for service. MMPA and the Town administration have been studying the allowable elevator size and will be suggesting a Code modification; however, not as large as is being requested.

3) *The special conditions and circumstances do not result from the actions of the applicant.*

   The applicant stated that the elevator size is the minimal size for a luxury home based upon required travel speed and cab sizing. MMPA notes that all other homes to date have been approved with the Code required smaller elevator sizes. MMPA and the Town administration have been studying the allowable elevator size and will be suggesting a Code modification; however, not as large as is being requested.

4) *Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district.*

The applicant stated that this condition is acceptable to other Zone One properties (with lot widths 75'-100') along Ocean Boulevard. MMPA again notes that all other homes to date have been approved with the Code required smaller elevator sizes.

5) *Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.*

The applicant stated that Sec. 66-261(b)(5) does not accommodate standard luxury residential elevators of the necessary size and speed to serve the residence. When the Town Council created its Code allowance in 2011 it determined what is an acceptable size for elevator on rooftops, as all residences in the Town are high-end luxury.

6) *The variance granted is the minimum variance that will make possible the reasonable use of the land or structure.*

The applicant stated that the variance request will allow for the use of a properly sized elevator and vestibule.

7) *The granting of the variance will be in harmony with the general intent and purpose of the Town Code and the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

The applicant stated that the elevator footprint and vestibule is minimized and the placement is central to the site to minimize visibility from the street. MMPA agrees that the placement of the elevator is away from the building edges to help hide the view from the street and adjoining neighbors. However, every other home requesting a rooftop elevator has complied with the current Code criteria; therefore, it could be that granting the request would privilege this site over others.

SUMMARY

MMPA was requested to review and comment on the requested variances. MMPA has attempted to analyze each request and provide urban design comments. MMPA understands some of the existing Town Codes or lack thereof are frustrating development, and a series of Code amendments is being considered. Whatever is decided by the Town should be incorporated into the Town Code to avoid repeated variance requests.

As to Variance request #1 while MMPA understands the request, we feel the height increase is unreasonable as to a 25' floor height and 10' inside height dimension in the garage, as others in similar situation are seeking around 21.5' NGVD and providing an 8.0' inside dimension. If the Town approves a variance the overall roof height should be decreased a similar dimension.

As to Variance request #2 while MMPA understands the request, we feel the elevator size increase is unreasonable, as others have found smaller elevators. While the current Code allowance is strict, this was intentional. The Town is currently studying a Code modification to allow a slightly larger elevator size based on square footage - not dimensions (75+/- sq. ft.).

263 Ocean Boulevard

Plans Dated: March 6th, 2017
Received by MMPA: March 7th, 2017
Comments: March 7th, 2017

- The proposed perimeter walls do not comply with Sec. 66-186.

  (a) In Zone One no wall or fence between estates or lots shall be constructed or altered to exceed in height the following: Parallel to the side property line within 60 feet of the west property line, a height of six feet; thence easterly along patios and main house structure to height of six feet; **thence easterly for 30 feet, a height of four feet; thence easterly to the ocean front, a height of two feet.** No wall or fence higher than two feet may be erected on the east (Ocean Front) property line. No wall or fence higher than six feet above the crown of the road may be erected on the (Ocean Boulevard) property line.

- Provide dimensions showing the minimum 10-foot setback from all sides of the roof for the mechanical equipment area are met (Sec. 66-260). **Some areas are still shown closer than 10-feet to the edge of the roof.**

- Per Sec. 66-261(b)(5), the elevator and elevator vestibule on the roof may be 5' x 10' maximum. The hard copy plans show 9'-2" x 11'-8" dimensions. This is an item identified by MMPA in our Code amendment memo to the Town to still allow a small elevator footprint but allow for dimensional / square footage flexibility, as it has proven to be difficult to find an elevator product of that size. **MMPA notes a variance has been requested. Note: A Code amendment is being processed to allow size flexibility for elevators, but the size requested is far too large. If the Code amendment and/or variance is not approved the plans must be redesigned to meet the Code requirement.**

- Per the Town's Comprehensive Plan since 1989, **the storm-water drainage calculations must show compliance with the LOS of a one day (24-hour) storm statistically occurring once in 10 years.** The calculations provided are for only a 5-year / 24-hour storm. Obtain the Town's current Drainage Calculation Table, fill it out and resubmit. The site must contain the required drainage.

- Per Sec. 66-101(a)(1), the first-floor elevation may be no more than 2-feet above the FDEP requirements of 18.2' NGVD for Miami-Dade County east of the CCCL line. The plans show 25.0' NGVD (20.2' NGVD max). **If the requested variance is not granted, the plans will need to be revised to comply with the Town Code. Additionally, MMPA notes that Town administration has stated it will not support a variance request to raise the first habitable floor slab to allow for a non-habitable space below that is greater than 8-feet.**

- MMPA notes that the plans show a structure height of 27.5' above the requested 25.0' first habitable finished floor. **The Town administration / MMPA will not support the variance request, if the building height is increased above the normal allowance (20.2' NGVD plus 27.5').**

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 263 OCEAN BLVD Meeting Date: MARCH 14 2017
Variance Hearing Dates: Advisory Board 3/14/17 Town Council MARCH 21 2017

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

A. Plans for new residence
B. Plans for addition to or exterior alterations of an existing structure.
C. Additional structures on premises of existing residences
D. Review of landscape plan for new construction, renovation or addition to existing residence.
E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Building Approval:
Applicant: submit 8 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 7 sets; 11" x 17", 1 **full size** set and 1 CD containing all drawings marked with the address. Separate from the landscaping plan submittal
Landscape Approval:
Applicant submit, separate from the Building application, 8 complete packages for approval, Each package shall consist of an application, existing landscape survey, and drawings as required. The plans shall be sized as follows: 7 sets; 11 x 17, 1 **full size** set and 1 CD containing all drawings separate from the building plan submittal.
Zoning Variance Approval:
Submittals for a zoning variance: submit 8 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 15 sets; 11" x 17", 1 **full size** set and 1 CD containing all drawings.

As directed by the Building Official or Building Director.

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days, prior to scheduled meeting, **(not including the day of the meeting)**, by 2:00 P.M. that day to allow for preliminary review and for mailing of a public notice if a variance is requested.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

Please see page 5 for required documents.

****NOTICE*****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date and time.

2. The Building Official and/ or the Building Director will review the application package. If it is determined that the application is incomplete, the item will tabled and not placed on the Agenda for that month.

3. During the three (3) week period from deadline date to the hearing date, the following events shall take place in proper order:

    a. During the first week of submittal, the Building Official, or agent will endeavor to review the application, and complete a comment sheet 15 days prior to the meeting. The critique sheet will specify all deficiencies for correction.
    b. The critique sheet will be faxed, or emailed, to the applicant as soon as the review is completed.
    c. If the deficiencies are substantial the application will be moved to the next scheduled meeting/hearing of the B.R.A.B.
    d. If the deficiencies are minor, the applicant must submit the corrections including the revised paperwork within 5 days of the scheduled meeting/hearing. Corrections not received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.

4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.

5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package will be given to the processor and the Friday, prior to the scheduled meeting one set will be delivered to each Board member. The Building Dept shall retain all originals for the records.

6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.

7. After the meeting, three (3) copies of the approved items (one full size and 2 ledger) shall be retained by the building department, the applicant must request the two reduced sized sets for inclusion into the building permit package.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES

Appropriate fee shall be paid at time of application. These fees are not refundable.

Type of request	Fee
1. Residence (new construction).....	$300.00
2. Addition/Remodel of existing structure.....	$225.00
3. Fencing, site walls, driveways, pool decks (charged per each item included in the plans)	$150.00
4. Accessory Building or Structure.....	$150.00
5. Swimming pools.....	$100.00
6. Pool deck.....	$100.00
7. Docks.....	$100.00
8. Boat Lifts.....	$100.00
9. Carports, awnings.....	$100.00
10. Landscape plan review; required for new construction, addition and remodeling project. (submit plans with site plan elevations separate from the building plan approval package)	$300.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception.	$750.00
b. Per additional variance/exception, for the same initial varaince (example: request for a dock, affecting two different codes	
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, For each Section to be verified.....	$100.00

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADIVSORY BOARD
SCHEDULE OF FEES

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be accessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of $200.00

b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of $200.00

c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of $500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be accessed for the seconded time period $250.00

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
✓	If a zoning variance is applied for, the petition for variance, pages 9, 10 and 11 shall be submitted with the application and shall include: a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized.	
✓	Eight (8) property surveys, building plans, Warranty Deeds, and applications (1 original, 7 copies). Survey not older than six (6) months. Completed sets are to be submitted as follows: Seven (7) copies no larger than 11" x 17" & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies no larger than 11" x 17" and 1 original at full size). Each completed package shall consist of 1 each of an application, survey, Warranty Deed and building plans. Submit 1 CD with all documents included	
✓	Conceptual construction drawings prepared and signed by a licensed design professional that shall include, at a minimum, the following: a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Proposed Floor Plan views, at a scale not less than ¼"=1'-0" c. Cross and longitudinal sections preferably through vaulted areas, if any. d. Typical exterior wall cross section. e. Full elevations showing flat roof and roof ridge height and any other higher projections. f. Sample board of construction materials to be used. g. Existing and proposed ground floor elevations (NGVD). h. Grading & Drainage Calculations i. Zone 3 Properties: Affidavit of Seawall Conformity	
APPROVED 09/2016	Landscaping Plan, separate from building plan package, prepared and signed by a licensed landscape design professional: Each completed package shall consist of 1 each of an application, existing landscape survey, Warranty Deed, landscape plans with building site plans. Seven (7) 11 x 17 and One (1) full size set. Submit 1 CD with all documents Included. Mark CD accordingly (separate from building)	
✓	First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.	
✓	Colored rendering showing new or proposed addition Work marked with the applicable address.	
✓	Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.	
✓	Site plan detailing construction site personnel parking.	

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: ——

Request hearing in reference to:

New residence/addition: ✓ Variance(s): 3
Exterior alterations: Other Structure:
Date application filed: JANUARY 17, 2017 / MARCH 6 2017 For hearing date: MARCH 14 2017

1. Project information:
   Project description: BUILDING DESIGN FOR PREVIOUSLY APPROVED NEW SINGLE FAMILY RESIDENC + 3 VARIANCE REQUESTS
   Legal Description: LOT 36 AND THE SOUTH 1/2 OF LOT 37 IN BLOCK 'A' OF GOLDEN BEACH SUBDIVISIONS SECTION 5, ACCORDING TO THE PLAT THEREOF
   Folio #: 19-1235-003-0260
   Address of Property: 263 OCEAN BLVD GOLDEN BEACH FL

2. Is a variance(s) required: Yes X No ____ How Many? 3
   (If yes, please submit variance application form for each request).

Owner's Name: SAMUEL + MICHELLE OHEV-ZION Phone ____ Fax ____

Owner's address: ____ City/State ____ Zip ____

Email address: SAMMYC@BLUPRODUCTS.COM

Agent: ____ Phone ____ Fax ____

Agent's address: ____ City/State ____ Zip ____

Email address: ____

Architect: DOMO ARCHITECTURE + DESIGN Phone 305-674-8031 Fax —

Email address: ROBERT@DOMODESIGNSTUDIO.COM

Contractor: ____ Phone ____ Fax ____

3. Describe project and/ or reason for hearing request: 3 VARIANCE REQUESTS (SEE ATTACHED) FOR PREVIOUSLY APPROVED NEW SINGLE FAMILY RESIDENCE, DRIVEWAY, POOL RENOVATION, PROPERTY WALL + BUILDING DESIGN
4. The following information is submitted for assisting in review:

   Building Plans:

   Conceptual: ✓ Preliminary: ____ Final: ____
   Other: ____

5. Estimated cost of work: $ 4.6 MILLION
   Estimated market value of: Land $ ____
   Building $ ____
   (Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? NO
7. Are there any structures on the property that will be demolished? YES
8. Does legal description conform to plat? YES
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): _____

Acknowledged before me this MARCH 6th day of, 20 17

Type of identification:

LICENSE

Notary Public

Maria Roman
Commission # GG020070
Expires: August 14, 2020
Bonded thru Aaron Notary

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: _____ relative to my property and I am hereby authorizing DOMO STUDIO LLC to be my legal representative before the Building Regulation Advisory Board and Town Council.

Signature of owner(s)

Acknowledged before me this 6th day MARCH 20 17

Type of identification:

LICENSE

Notary Public

Maria Roman
Commission # GG020070
Expires: August 14, 2020
Bonded thru Aaron Notary

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 263 OCEAN BOULEVARD, GOLDEN BEACH, FL 33160
Legal Description: LOT 36, AND SOUTH 1/2 OF LOT 37 IN BLOCK 'A' OF GOLDEN BEACH SUBDIVISION SEC. C
Owner's Name: SAMUEL + MICHELLE OHEV-ZION Phone 786 280 0066 Fax
Agent's Name: Phone Fax
Board Meeting of: BRAB + TOWN COUNCIL

NOTE: 1. **Incomplete applications will not be processed.**
2. Applicant and/or architect must be present at meeting.

Application for: 5 VARIANCES FOR PREVIOUSLY APPROVED NEW SINGLE FAMILY RESIDENCE + DESIGN REVIEW
Lot size: 75' x 230'
Lot area: 17250 SF
Frontage: OCEAN BOULEVARD (75')
Construction Zone: ZONE ONE
Front setback: 20' GARAGE FRONT SETBACK, 60' MAIN HOUSE SETBACK
Side setback: 10'-0"
Rear setback: 45'-0" ADJACENT PROPERTY ROOFLINE, 32'-6" ADJACENT PROPERTY WALLLINE
Coastal Construction: Yes X No East of coastal const. control line: Yes X No
State Road A1A frontage: YES
Swimming pool: X Yes No Existing: X Proposed:
Fence Type: CMU Existing: X Proposed:
Finished Floor elevation N.G.V.D.: 13.50' N.G.V.D
Seawall: NONE Existing: Proposed:
Lot Drainage: 1414 CF SWALE
How will rainwater be disposed of on site? RETAINED ON SITE W/ RETENTION SWALE

Adjacent use (s): SF RESIDENTIAL
Impervious area: 9937 SF
% of impervious area: 57.6%
Existing ground floor livable area square footage: N/A
Proposed ground floor livable area square footage: 4498 SF
Existing 2nd floor livable area square footage: N/A
Proposed 2nd floor livable area square footage: 4019 SF
Proposed % of 2nd floor over ground floor: 91%
Vaulted area square footage: 0 SF
Vaulted height: N/A
Color of main structure: SEE RENDERINGS
Color of trim: SEE RENDERINGS
Color & material of roof: SEE RENDERINGS
Building height (above finished floor elevation): 27'-6", 41'-8" FROM GRADE
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum): ✓

Existing trees in Lot: 28 in Swale: 0
Proposed trees in Lot: 62 in Swale: 2
Number & type of shrubs: 90 COCOPLUM, 60 CRAPEMYRTLE
Garage Type: 2 CAR GARAGE Existing: — Proposed: X
Driveway width & type: 15'-0"

Signature of Applicant: Date: 03/06/2017

TOWN OF GOLDEN BEACH
ACKNOWLEDGEMENT and AFFIDAVIT BY OWNER
Chapter 46 Waterways of the Code of Ordinances
Article IV Seawalls and Docks.

Affidavit by Owner:

Folio No.: 19-1235-003-0260 Address: 263 OCEAN BLVD, GOLDEN BEACH, FL 33160

Legal Description: LOT 36 AND THE SOUTH 1/2 OF LOT 37 IN BLOCK 'A' OF GOLDEN BEACH SUBDIVISION SECTION 'C', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PG 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

Being duly sworn. deposes and says: That He/She is the Owner named in the permit application for construction of said related work to be performed on, or in connection with, the premises, as indicated above, and is in agreement that granting of a permit for construction on said premises, agrees to repair, or replace said seawall in question, to a conforming 4 foot elevation and to replace/and or repair any deteriorated seawall or portion thereof, as required by the Town's Code of Ordinances, Article IV "Seawalls and Docks, The Dept. of Environmental Resource Management, and the Florida Building Code 2010.

Signature of Owner or Legal Representative
Print Name: SAMMY OHEV-ZION

Sign Here

Sworn to and subscribed before me this Mar 6th day of, 20 17

Maria Roman
Commission # GG000076
Expires: August 14, 2020
Bonded thru Aaron Notary

Notary Public, State of Florida at Large

Maria Roman
Bonded thru Aaron Notary

_____Personally know to me _____✓_____Produced Identification

VARIANCE #1

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

JANUARY 17, 2017

Date: MARCH 06, 2017

Fee: ——

I, SAMUEL OHEV-ZION hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 2630 OCEAN BOULEVARD Folio No. 19-1235-003-0260

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of **(list section number(s) of the Town of Golden Beach Code of Ordinances)**: SECTION 66-101 (a) FOR FIRST FLOOR ELEVATION - REQUESTING FIRST FLOOR ELEVATION TO BE A +25' NGVD, WITH GROUND FLOOR SLAB AT +13 NGVD, ALLOWING 10'-0" CLEARANCE BENEATH STRUCTURE.

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

   a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. SECTION 66-101 (a)1 SETS THE FIRST FLOOR ELEVATION AT +20'-2 (18'-2" NGVD FEMA + 2'-0"). EAST OF CCL

   b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. EXISTING GRADE EAST OF CCL, WHICH CANNOT BE EXCAVATED/REMOVED FROM PROPERTY PER PREP, IS UP TO +13'-1" NGVD, RENDERING SPACE BELOW THE HOME INACCESSIBLE FOR STORAGE/PARKING.

   c. The special conditions and circumstances do not result from the actions of the applicant. EXISTING GRADES DO NOT ALLOW ACCESSIBILITY BENEATH THE HOME. INSUFFICIENT MINIMUM CLEARANCES

   d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. THIS CONDITION IS APPLICABLE TO OTHER PROPERTIES ALONG OCEAN BOULEVARD ZONE 01

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. SEC 66 101 (a) PREVENTS USE OF SPACE BENEATH THE HOME FOR PARKING/STORAGE AS ALLOWED BY FBC & FEMA.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. REQUESTED VARIANCE FOR 10'-0" CLEAR HEIGHT BELOW FIRST FLOOR STRUCTURE ALLOWS MINIMUM USE OF SPACE.

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. VARIANCE ALLOWS HOME TO BE BUILT WITH STORAGE/PARKING BELOW WORKING WITH THE EXISTING GRADE ELEVATIONS

Does the Variance being requested comply with *all* the above listed criteria?
X Yes _____ No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? _____ Yes X No. APPLICANT OWNS PROPERTY ADJACENT
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? X Yes _____ No

8. Is construction in progress? NO

9. Is this request as a result of a code violation? NO

10. Did this condition exist at the time property was acquired? X Yes _____ No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? NO

12. Do you have a building permit? _____ Yes X No

Building Permit No. _____ Date issued: _____

VARIANCE #2

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: JANUARY 17, 2017
MARCH 06, 2017

Fee: —

I, SAMUEL OHEV ZION hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 263 OCEAN BOULEVARD Folio No. 19-1235-003-0260

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (**list section number(s) of the Town of Golden Beach Code of Ordinances**): VARIANCE FROM SECTION 66-261 (b)(5) TO ALLOW THE ELEVATOR + ELEVATOR VESTIBULE TO BE 9'-2" x 11'-9 IN AREA (5'-10" MAXIMUM PERMITTED BY CODE. SPECIFICALLY THE ELEVATOR IS 9'-2" x 7'-8" + 4' VESTIBULE.

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

   a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. SECTION 66-261 (b)(5) ALLOWS THE ELEVATOR FOOTPRINT TO BE MAXIMUM 5' x 10' IN AREA

   b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. ELEVATOR FOR THE NECESSARY SIZE AND SPEED EXCEED ALLOWABLE FOOTPRINT. PERMITTED ROOFTOP USES REQUIRE AN ELEVATOR TO TRAVEL 4 LEVELS AT A REASONABLE SPEED.

   c. The special conditions and circumstances do not result from the actions of the applicant. ELEVATOR SIZING IS THE MINIMAL SIZE FOR THE HOME BASED UPON REQUIRED TRAVEL SPEED AND CAR SIZING.

   d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. THIS CONDITION IS APPLICABLE TO OTHER ZONE 1 PROPERTIES (WITH LOT WIDTHS 75-100') ALONG OCEAN BOULEVARD.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. SEC 66-261 (b)(5) DOES NOT ACCOMODATE STANDARD LUXURY RESIDENTIAL ELEVATORS OF THE NECESSARY SIZE AND SPEED TO SERVE THE RESIDENCE

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. VARIANCE REQUEST WILL ALLOW FOR THE USE OF A PROPERLY SIZE ELEVATOR + VESTBULE

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. ELEVATOR FOOT PRINT + VESTBULE IS MINIMIZED AND THE PLACEMENT IS CENTRAL TO THE SITE TO MINIMIZE VISIBILITY FROM THE STREET

   Does the Variance being requested comply with *all* the above listed criteria? X Yes _____ No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? _____ Yes X No. APPLICANT OWNS ADJACENT PROPERTY
   Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? X Yes _____ No

8. Is construction in progress? NO

9. Is this request as a result of a code violation? NO

10. Did this condition exist at the time property was acquired? X Yes _____ No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? NO

12. Do you have a building permit? _____ Yes X No

    Building Permit No. _____ Date issued: _____

. VARIANCE #3

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: JANUARY 17, 2017 MARCH 06, 2017

Fee: ———

I, SAMUEL OHEV-ZION hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 263 OCEAN BOULEVARD Folio No. 19-1235-003-0260

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (**list section number(s) of the Town of Golden Beach Code of Ordinances**): VARIANCE FROM SECTION 62-30 DEFINITIONS OF 'LOWEST FLOOR' USES TO INCLUDE RESTROOMS, LAUNDRY, GYM, AND CARD ROOM IN ADDITION TO PARKING BUILDING ACCESS + STORAGE WHICH IS CURRENTLY PERMITTED

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

   a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. SEC 62-30 DEFINITIONS ALLOWS FOR PARKING, BUILDING ACCESS, AND STORAGE AT THE 'LOWEST FLOOR' OF A HOME

   b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. ELEVATED FIRST FLOOR OF HOME PER FBC + FEMA (ZONE 1) SEPARATES LIVING SPACES FROM POOL TERRACES. LOWEST FLOOR SPACE IS MOST PRACTICAL FOR PROPOSED USES + NECESSITY FOR RESTROOMS TO SERVICE THE POOL TERRACE.

   c. The special conditions and circumstances do not result from the actions of the applicant. SPECIAL CONDITIONS EAST OF THE CCCL PER FBC AND FEMA CREATE THE NEED FOR THE REQUESTED VARIANCES.

   d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. TOWN HALL IS CONSIDERING ALLOWING PROPOSED USES FOR ZONE 1 PROPERTIES.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. DEFINITIONS OF SEC. 62-30 + FBC + FEMA ELEVATED FIRST FLOOR CREATES DISPARITY BETWEEN HOMES HABITABLE SPACES AND THE POOL TERRACE.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. VARIANCE WILL ALLOW USES APPROPRIATE TO THE LOWEST FLOOR BENEATH THE HOME.

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. VARIANCE WILL ALLOW FOR THE REQUESTED NON-HABITABLE USES

Does the Variance being requested comply with *all* the above listed criteria? X Yes _____No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? _____Yes X No. APPLICANT OWNS ADJACENT PROPERTY
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? X Yes _____No

8. Is construction in progress? NO

9. Is this request as a result of a code violation? NO

10. Did this condition exist at the time property was acquired? X Yes _____No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? NO

12. Do you have a building permit? _____Yes X No

Building Permit No. _____Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-003-0260 Address: 263 OCEAN BLVD, GOLDEN BEACH, FL, 33160

Legal Description: LOT 36 AND THE SOUTH 1/2 OF LOT 37 IN BLOCK 'A' OF GOLDEN BEACH SUBDIVISION SECTION 'C', ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PG 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of 03/06/17 relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as [illegible]

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

Sign Here

Signature of Owner or Legal Representative

Sworn to and subscribed before me this MAR 6th day of, 2017

Maria Roman
Commission # 66062978
Expires: August 14, 2020
Bonded thru Aaron Notary

Notary Public State of Florida at Large

_____Personally know to me ✓ _____Produced Identification

SUMMARY OF VARIANCE REQUESTS

Variance #1.
Variance from Section 66-101(a)(1) to allow the first floor (first habitable floor) to be at an elevation of 25' NGVD (20.2' NGVD maximum permitted by code).

Variance #2.
Variance from Section 66-261(b)(5) to allow the elevator and covered elevator vestibule to be 9'-2" x 11'-8" in area (5' x 10' maximum permitted by code, 50sf in area). Specifically, the elevator is 9'-2" x 7'-8", and the vestibule is 9'-2" x 4' (107sf in area).

Variance #3.
Variance from Section 62-30 Definition of 'Lowest Floor' uses to include Restrooms, Laundry, Gym, and Card Room in addition to Parking, Building Access, and Storage (Parking of Vehicles, Building Access, or Storage permitted by code definition).

CFN: 20150402916 BOOK 29668 PAGE 2373
DATE:06/24/2015 08:45:04 AM
DEED DOC 66,000.00
HARVEY RUVIN, CLERK OF COURT, MIA-DADE CTY

Prepared by and return to:
Gregory R. Fishman, Esq.
President
Gregory R. Fishman, P.A.
2750 NE 185th St., Suite 204
Aventura, FL 33180
305-792-6945
File Number: **15-0179 Solonin**
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 22nd day of **June, 2015** between **Sergey Solonin and Nadezda Solonina, husband and wife** whose post office address is **275 Central Park West , New York, NY 10024**, grantor, and **Samuel Ohev-Zion and Michelle Ohev-Zion, husband and wife** whose post office address is **263 Ocean Boulevard, Golden Beach, FL 33160**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS ($10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Miami-Dade County, Florida** to-wit:

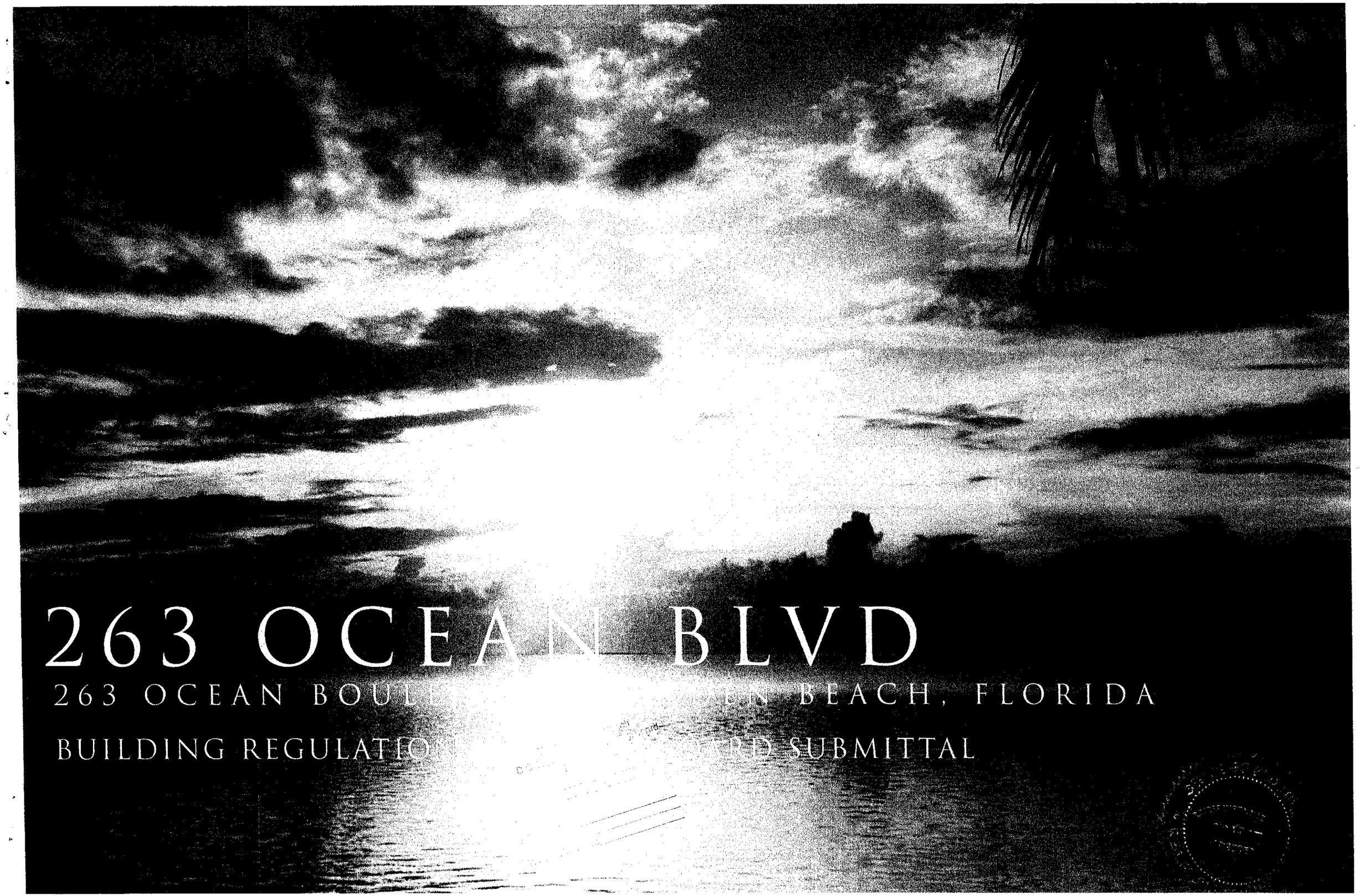
> **Lot 36 and South 1/2 of Lot 37 in Block "A", of SECTION "C" OF GOLDEN BEACH, according to the map or plat thereof, as recorded in Plat Book 9, Page 52, of the Public Records of Miami-Dade County, Florida.**
>
> **Parcel Identification Number: 19-1235-003-0260**
>
> **SUBJECT TO:**
>
> **1) Subject to Taxes for the year 2015 and subsequent years and all applicable zoning ordinances and governmental regulations.**
>
> **2) Conditions, restrictions, limitations, and easements of record, if any, but without the intention of reimposing the same.**

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2014.**

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.



263 OCEAN BLVD

263 OCEAN BOUL[illegible]N BEACH, FLORIDA

BUILDING REGULATIO[illegible]ED SUBMITTAL

10' HEIGHT VARIANCE REQUEST
255 OCEAN BLVD + 263 OCEAN BLVD

FLORIDA BUILDING CODE COASTAL CONSTRUCTION

3109.6.2.9.1 The minimum elevation for the underside of the building support structure (excluding foundation) shall be the lowest flood elevation for the site as indicated on the latest set of Flood Insurance Rate Maps (FIRM) issued by the Federal Emergency Management Agency (FEMA).

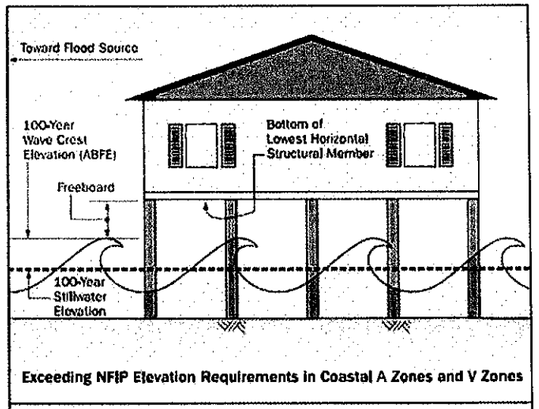


Figure 7. Recommended construction in Coastal A Zone and V Zone.

CITY OF MIAMI BEACH FREEBOARD ORDINANCE

SECTION 5. Section 54-51. "Standards for coastal high hazard areas (V-zones),"is amended as follows:

* * *

Located within areas of special flood hazard established in section 54-37 are coastal high hazard areas, designated as zones V1-V30, VE, or V (with BFE). The following provisions shall apply:

(2) All new construction and substantial improvements in zones V1-V30, VE, and V (with BFE) shall be elevated on pilings or columns so that:

(a) The bottom of the lowest horizontal structural member of the lowest floor (excluding the pilings or columns) is elevated to no lower than the base flood elevation, plus freeboard, whether or not the structure contains a basement; and

* * *

(c) For all structures located seaward of the coastal construction control line (CCCL), the bottom of the lowest horizontal structural member of the lowest floor of all new construction and substantial improvements of the habitable structures, as defined in Florida Building Code Section 3109, shall be elevated to the 100-year flood elevation established by the Florida Department of Environmental Protection, plus freeboard or the base flood elevation, plus freeboard, whichever is the higher.

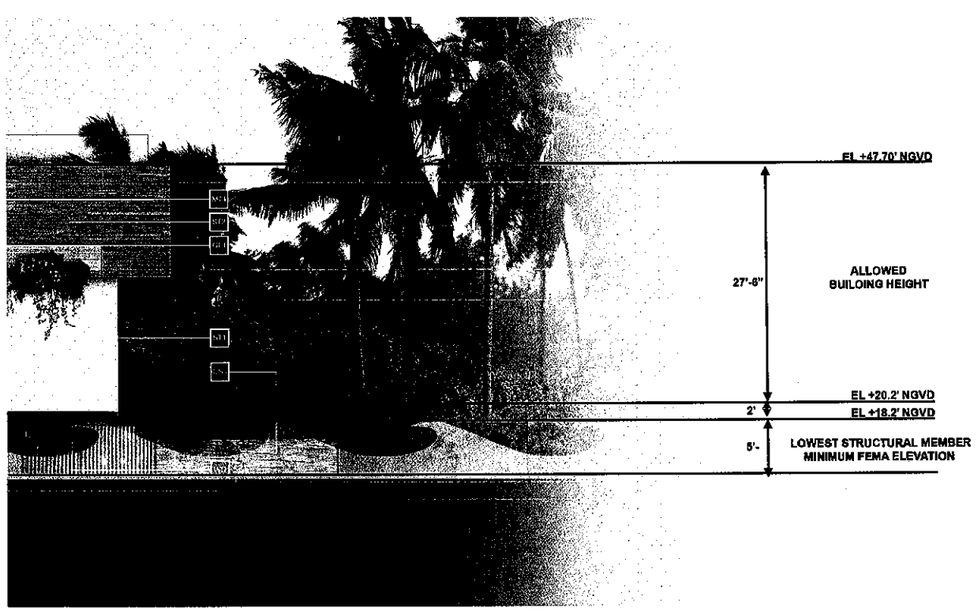
* * *

(11) For all structures located seaward of the coastal construction control line (CCCL), the bottom of the lowest horizontal structural member of the lowest floor of all new construction and substantial improvements of the habitable structures, as defined in Florida Building Code Section 3109, shall be elevated to the flood elevation established by the Florida Department of Environmental Protection, plus freeboard or the base flood elevation, plus freeboard, whichever is higher. All non-elevation design requirements subsections 54-51(2) through (10) shall apply.

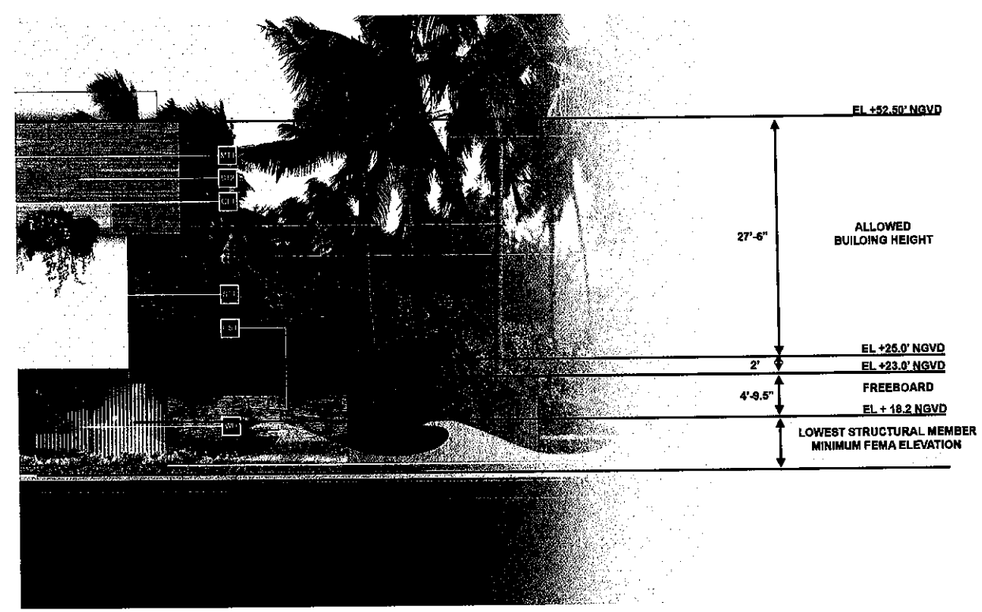
Building Freeboard

As sea levels and storm severity continue to increase, low lying infrastructure including buildings must also elevate in order to reduce risk or maintain low risk from potential flood damage. Consistent with U.S. Federal and State guidance, these code changes provide the basic level of protection for buildings through minimal freeboard requirements. This nominal change in new building finish floor elevation requirements will provide additional levels of protection, potentially reduce insurance premiums and enhance the City's current NFIP CRS (National Flood Insurance Program Community Rating System) status, which can have benefits to all residents and business owners in the City.

As proposed, a minimum freeboard of one (1) foot, and a maximum freeboard of five (5) feet would be established at this time. Building heights would be measured from the base flood elevation plus the actual freeboard provided, which would be between the minimum (1') and maximum (5') freeboard.



HEIGHT OF FIRST HABITABLE FLOOR PER CURRENT CODE

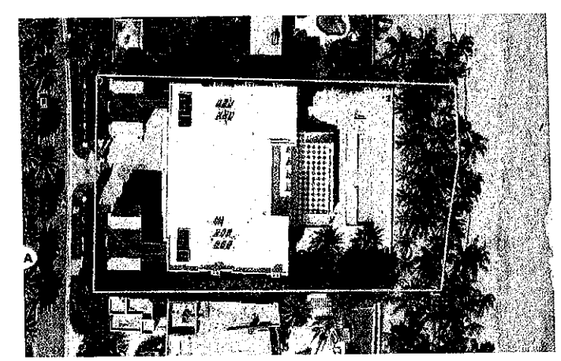


HEIGHT OF FIRST HABITABLE FLOOR VARIANCE REQUEST

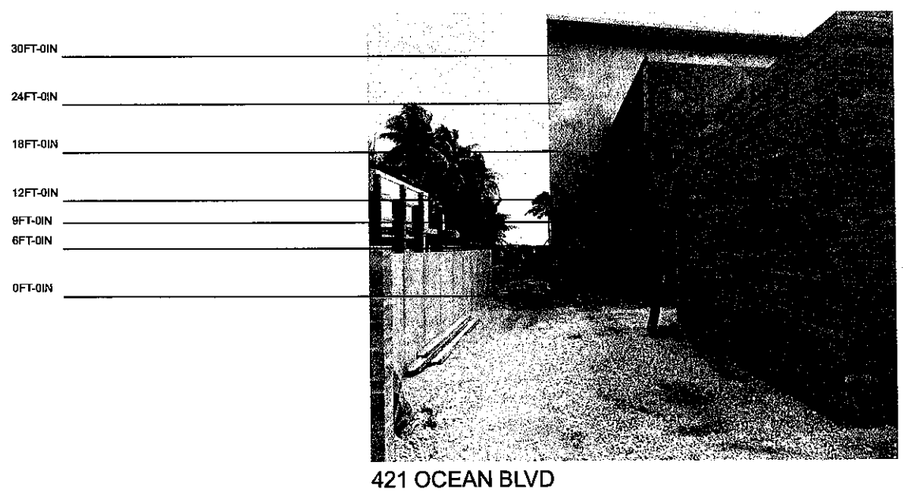
10' HEIGHT REQUIREMENTS

255 OCEAN BLVD, 263 OCEAN BLVD

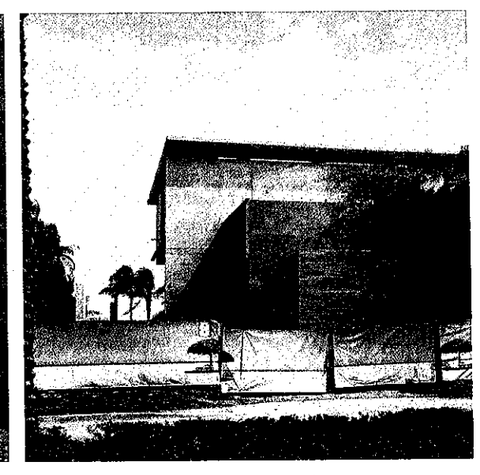
615 OCEAN BLVD

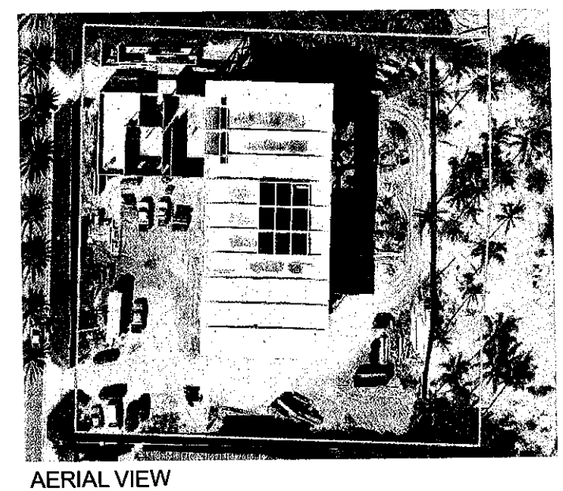


AERIAL VIEW



421 OCEAN BLVD

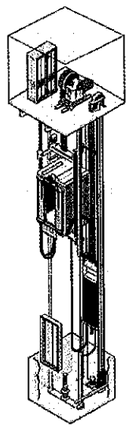




AERIAL VIEW

ELEVATOR FOOTPRINT VARIANCE
255 OCEAN BLVD, 263 OCEAN BLVD

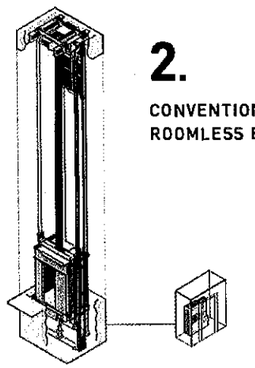
Gen2 redefined the elevator with breakthrough belt technology.



1.

CONVENTIONAL GEARED ELEVATOR

Conventional geared elevator systems require a rooftop machine room to house the machine, governor and controller.



2.

CONVENTIONAL MACHINE-ROOMLESS ELEVATOR

New advances in hoisting technology eliminate the need for a machine room. But these systems still require a separate room for the elevator control system.

CONVENTIONAL RESIDENTIAL ELEVATOR

Passenger

IMPORTANT:

To assist in your planning, we recommend that you call your Otis representative at the beginning of the project.

Car[1]

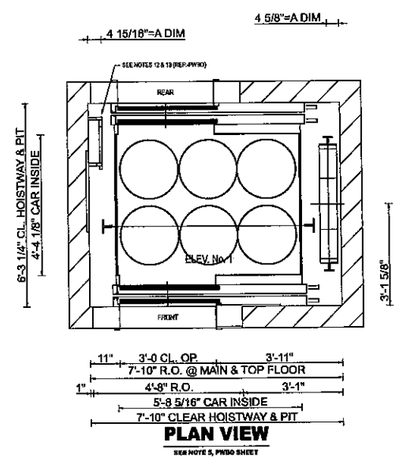
	Rated lbs. / Passenger Capacity	2100 (953kg) 13	2500 (1134kg) 15	3000 (1361kg) 18	3500 (1588kg) 21	4000 (1814kg)[3] 25
A	Interior width	5'-8 1/32" (1735mm)	6'-5 7/16" (1970mm)			7'-5 7/16" (2275mm)
B	Interior depth	4'-3 1/16" (1309mm)	5'-0 1/16" (1528mm)		5'-5 1/16" (1669mm)	
	for front and rear openings	4'-6 7/16" (1324mm)	5'-0 1/16" (1543mm)		5'-6 7/16" (1680mm)	
C	Cab height[2]	7'-9" Optional 9'-9" (2362mm Optional 2972mm)				
D	Car door width	3'-0" (914mm)	3'-6" (1067mm)			4'-0" (1219mm)
	Door type	SS		CO/SS		CO
E	Entrance height	7'-0" Optional 8'-0" (2134mm Optional 2438mm)				

Hoistway

	Rated lbs. / Passenger Capacity	2100 (953kg) 13	2500 (1134kg) 15	3000 (1361kg) 18	3500 (1588kg) 21	4000 (1814kg)[1] 25
F	Single width	7'-7" (2311mm)	8'-4" (2540mm)			9'-4" (2845mm)
	in seismic zones	7'-9" (2362mm)	8'-6" (2591mm)			9'-6" (2896mm)
G	Double width	15'-6" (4724mm)	17'-0" (5182mm)			19'-0" (5791mm)
	in seismic zones	15'-10" (4826mm)	17'-4" (5283mm)			19'-4" (5893mm)
H	Triple width	23'-5" (7137mm)	25'-8" (7823mm)			28'-8" (8738mm)
	in seismic zones	23'-11" (7290mm)	26'-2" (7976mm)			29'-2" (8890mm)
I	Depth	5'-9" (1753mm)	6'-4" (1930mm)		6'-11" (2108mm)	
	for front and rear openings	6'-3 7/8" (1911mm)	6'-11 7/8" (2130mm)		7'-5 7/8" (2267mm)	

		7'-9" Cab height	9'-9" Cab height
J	Clear overhead to hoist beam[4,5]		
	150 FPM (0.76 m/s)	12'-7" (3836mm)	14'-7" (4445mm)
	200 FPM (1.02 m/s)	12'-8" (3861mm)	14'-8" (4471mm)
	350 FPM (1.78 m/s)	13'-4" (4064mm)	15'-4" (4674mm)
K	Min pit depth[5]	150-200 FPM (0.76 m/s, 1.02 m/s)	350 FPM (1.78 m/s)
		4'-0"/5'-0" (1219mm/1524mm)	4'-6"/5'-6" (1372mm/1676mm)

ELEVATOR SPECIFICATIONS



PROPOSED FAMILY OF 6 - ELEVATOR

DATE OF FIRST VARIANCE SUBMITTAL: JANUARY 17TH, 2017
DATE OF FINAL VARIANCE SUBMITTAL: MARCH 6TH, 2017
DATE OF BRAB MEETING: MARCH 14TH, 2017
DATE OF TOWN COUNCIL MEETING: MARCH 21ST, 2017

NEW SINGLE FAMILY RESIDENCE

BUILDING REGULATION ADVISORY BOARD - VARIANCE REQUEST

263 OCEAN BOULEVARD

GOLDEN BEACH, FLORIDA

CLIENT

ARCHITECT

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING

420 LINCOLN ROAD
SUITE 506
MIAMI BEACH, FLORIDA 33139
O: 305.674.8031
F: 305.326.9006
WWW.DOMODESIGNSTUDIO.COM

CONSULTANTS

LANDSCAPE

CRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC

780 NE 69TH STREET
SUITE 1106
MIAMI BEACH, FLORIDA 33139
O: 305.979.1585
WWW.CHRISTOPHERCAWLEY.COM

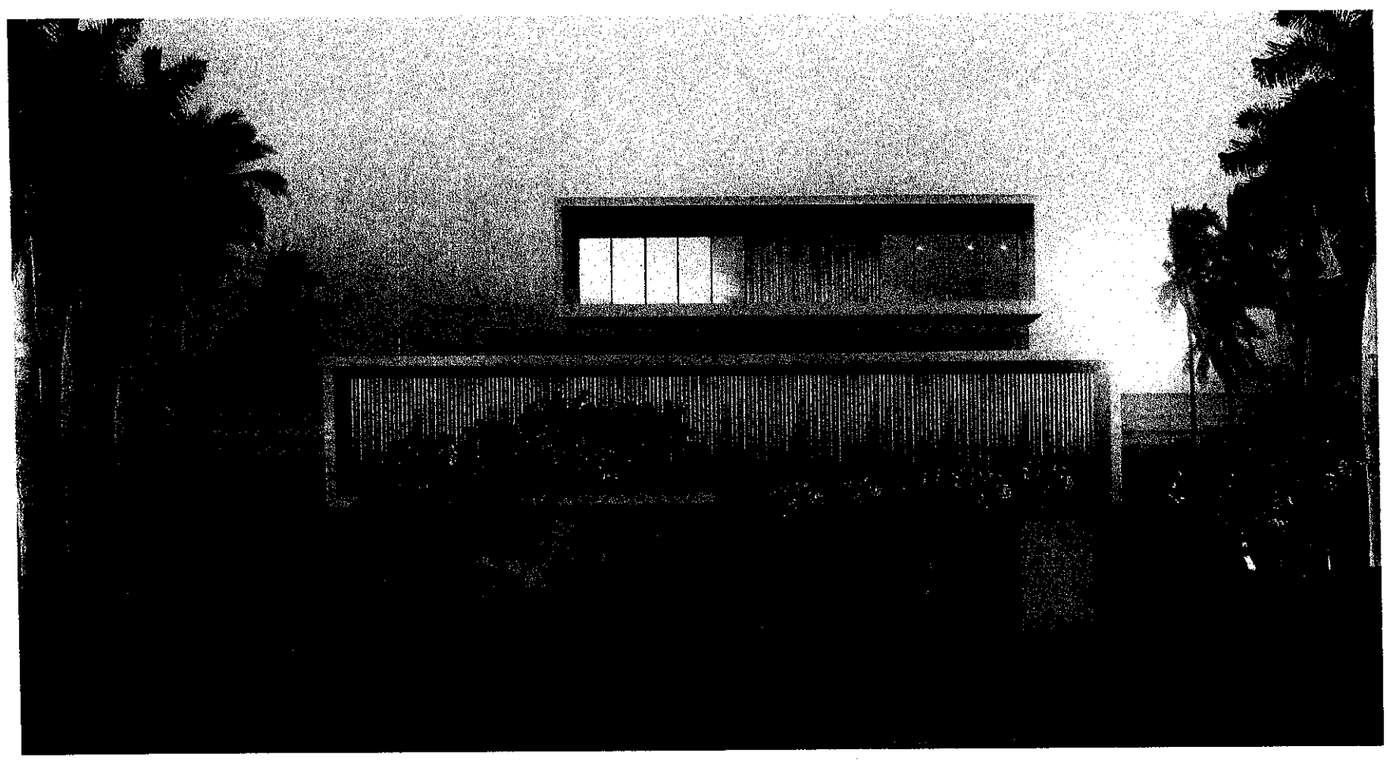
SCOPE OF WORK

VARIANCE REQUESTS AS OUTLINED BELOW FOR A PREVIOUSLY APPROVED NEW SINGLE FAMILY RESIDENCE, DRIVEWAY, POOL TERRACE, ACCESORY STRUCTURE, LANDSCAPE AND POOL RENOVATION.

Variance #1.
Variance from Section 66-101(a)(1) to allow the first floor (first habitable floor) to be at an elevation of 25' NGVD (20.2' NGVD maximum permitted by code).

Variance #2.
Variance from Section 66-261(b)(5) to allow the elevator and covered elevator vestibule to be 9'-2" x 11'-8" in area (5' x 10' maximum permitted by code, 50sf in area). Specifically, the elevator is 9'-2" x 7'-8", and the vestibule is 9'-2" x 4' (107sf in area).

Variance #3.
Variance from Section 62-30 Definition of 'Lowest Floor' uses to include Restrooms, Laundry, Gym, and Card Room in addition to Parking, Building Access, and Storage (Parking of Vehicles, Building Access, or Storage permitted by code definition).



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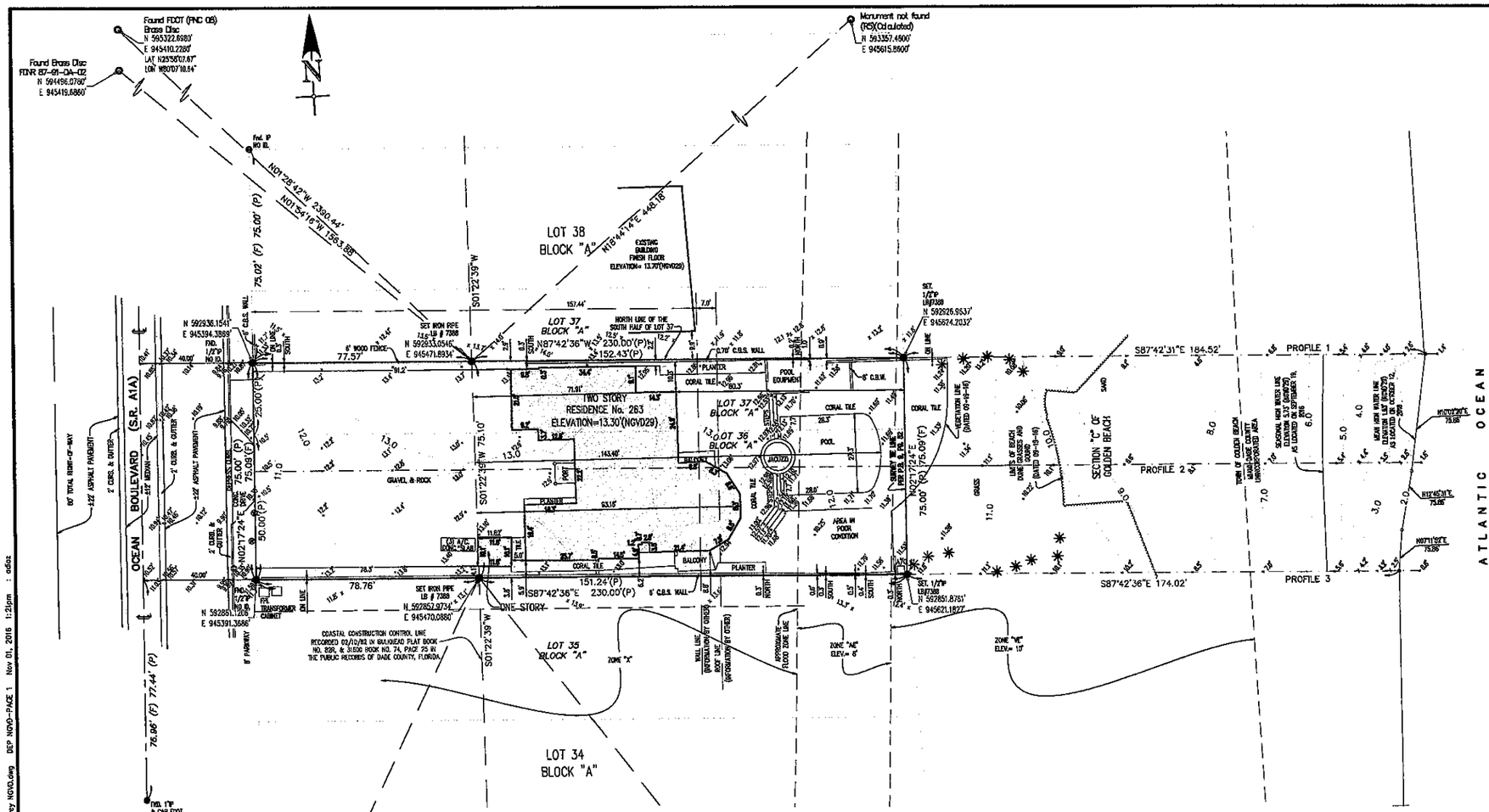
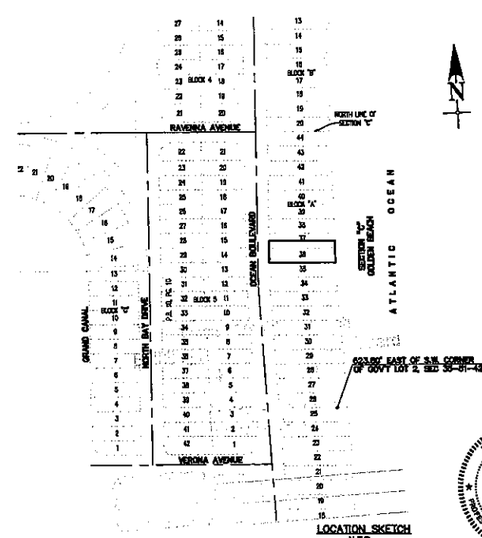
03/06/17





LOCATION SKETCH
N.T.S.

ABBREVIATIONS:

FDOT	= Florida Department of Transportation
(M)	= Measured
(P)	= Platted Dimension
A/C	= Air conditioner
BLDG	= Building
C/B	= Catch Basin
C.B.S	= Concrete Block and Stucco
CL	= Clear
CONC	= Concrete
CBW	= Concrete Block Wall
N.T.S	= Not to scale
ID.	= Identification
S.R.	= State Road
F.P.L.	= Florida Power and Light
Elev.	= Elevation
FF EL	= Finish Floor Elevation
IP	= ½" Iron Pipe
FND	= Found
MH.	= Manhole
NGVD	= National Geodetic Vertical Datum 1929
NAVD	= North American Vertical Datum 1988
LB	= Licensed Business
ORB, PG	= Official Records Book and Page
O/H	= Overhead
PB, PG	= Plat Book and Page
R/W	= Right of Way
SEC	= Section
SQ FT	= Square Feet
WV	= Water Valve
Encr.	= Encroachment
FDNR	= Florida Department of Natural Resources
PNC	= Project Network Control

LEGEND:

- ℄ Centerline
- Catch basin
- Clean out
- Concrete light pole
- Concrete power pole
- Fire hydrant
- Guy anchor
- Street light pole
- Light pole in concrete base
- Light pole
- Water valve

1	10/21/16	Update to show more Elevations	JP
1	10/12/16	Update to show more Elevations	ALR

TRIANGLE Surveying & Mapping, Inc.
8290 NW 54th Street Miami, Florida, 33166
305 597-9701 LB 7388
www.TRIANGLESM.com

BOUNDARY AND MEAN HIGH WATER LINE SURVEY

This document is intended only for the specific purpose and client for which it was prepared.

LEGAL DESCRIPTION:

Lot 36, and the South ½ of Lot 37 in Block "A" of GOLDEN BEACH SUBDIVISION SECTION "C", according to the Plat thereof, as recorded in Plat Book 9, at Page 52, of the Public Records of Miami-Dade County, Florida.

Folio No.: 19-1235-003-0280

SURVEYOR'S NOTES:

1. No underground footings were located.
2. The client provided the legal description to this surveyor.
3. Ownership is subject to opinion of title.
4. No encroachments were noted by this survey, except as shown hereon.
5. Right of Way as shown is based on the recorded Plat and the record description. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than as shown on the underlying record plat or as stated in the legal description or as noted in the recorded documents provided to the Surveyor.
6. The "Survey Tie Line" as shown hereon represents the Platted Line as shown on the recorded plat.
7. A comparison between Field measured (F), and plat (P) dimensions are delineated hereon. Dimensions indicated as (F) are based on a field traverse, direct and indirect measurement of recovered monumentation, the Historic Baseline of Survey of State Road A1A: from 168th Street to Mapleal Avenue under FDOT Design Survey Financial Project No. 429523-1-52-01 prepared by this office and the occupation along North and South Property Lines. Note the Property Boundaries were determined by comparing Platted, Recorded information, recovered monumentation and occupation.
8. The ownership of the fences and/or walls as shown hereon was not determined.
9. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting this property.
10. The location of the Mean High Water Line and the Seasonal High Water Line were established on the subject property from Miami-Dade County Bench Mark R-202 Elevation 9.34 (National Geodetic Vertical Datum of 1929) and using Vector NT 94 to convert the orthometric height to NAVD'88 and are based on information obtained from the Florida Department of Environmental Protection Request for Tidal Elevations dated 09/28/2016.
11. Elevations are referred to the National Geodetic Vertical Datum 1929 (NGVD 29). Elevations are based on Miami-Dade County Benchmark E-202, Elevation 9.24 feet. (NGVD 1929).
12. All measurements are in US Survey foot.
13. A portion of the Subject Property lies within a Special Flood Hazard Area (SFHA) as shown on the National Flood Insurance Program's, Flood Insurance Rate Map for Miami-Dade County, Florida and Incorporated Areas Map No. 12086C0153L, Community No. 120642, bearing an effective/revised date of September 11, 2009. Said map delineates a portion of the East side of the herein described land to be situated within Zone AE, base flood elevation 8 feet and Zone VE, base flood elevation 10. The map delineates a portion of the West side of the herein described land to be situated within Zone X. See Survey for Flood Zone Limits.
14. This sketch shown hereon in its graphic form, is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=20' or smaller. At the maximum intended displayed scale the survey and sketch's positional accuracy value occupies 1/20" on the display.
15. This survey map is intended to be displayed at the graphic and stated scales in English units of measurement. Attention is directed to the fact that said survey map may be altered in scale by reproduction. This must be considered when obtaining scaled data.
16. This Mean High Water Line survey complies with chapter 177, Part II, Florida Statutes.
17. [redacted]
18. The network design for this project meets the Geodetic Accuracy Standards and specifications for using GPS related positioning as set forth by the Federal Geodetic Control Sub-Committee for positional tolerance of 1 in 10,000 feet.
19. Vector NT software was used for baseline and/or real-time processing and adjustment.

SURVEYOR'S CERTIFICATE:

Samuel & Michelle Ohev-Zion.

This is to certify to the herein named firm and/or persons that the "BOUNDARY SURVEY AND MHWL" of the herein described property is true and correct to the best of our knowledge and belief as surveyed and plotted under our direction on September 19, 2016. I further certify that this survey meets the Standards of practice as set forth in Rule 5J-17.051 AND 5J-17.052 as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to Chapter 472.027 and Chapter 177, Part II, Florida Statutes.

Maser Consulting, P.A

John Liptak
Professional Surveyor and Mapper #5664
State of Florida
Not valid without the signature and original raised seal of a licensed Florida Surveyor and Mapper.

JOHN LIPTAK No 5664 STATE OF FLORIDA PROFESSIONAL SURVEYOR & MAPPER

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:
John Liptak
2016.11.01 13:23:13
-04'00'

Date: 09-19-2016	Project: 2771
Scale: 1"=20'	Checked by: ALR/RT
F.B. 307-55 to 62	Drawn by: JP
Sheet: 1 of 4	Sketch: 2296-1
Ref:	

263 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160

Not valid without the signature and original raised seal of a Florida licensed surveyor and mapper.

Drawing name: P:\Proj\2771 263 Ocean Blvd - Kleiner\transfer\20161028-DEP NGVD & NAVD\2771_ 263 Ocean Boulevard_DEP Survey NGVD.dwg DEP NGVD-PAGE 1 Nov 01, 2016 1:23pm : adaz

LOCATION PLAN

263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

03/06/17

EX 1.0

263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
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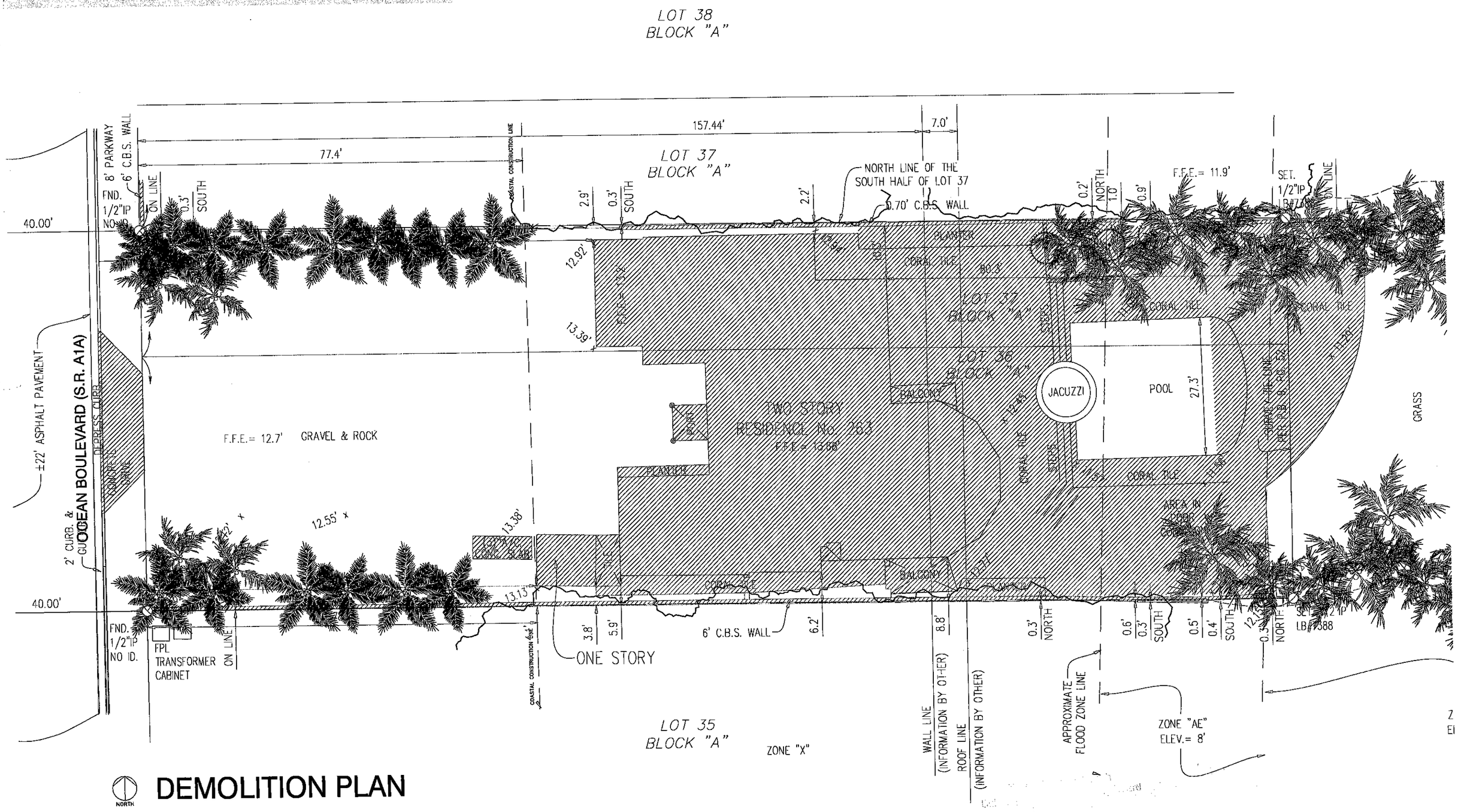
03/06/17

EX 1.2

DEMOLITION PLAN



NORTH

DEMOLITION PLAN

AREAS TO BE REMOVED

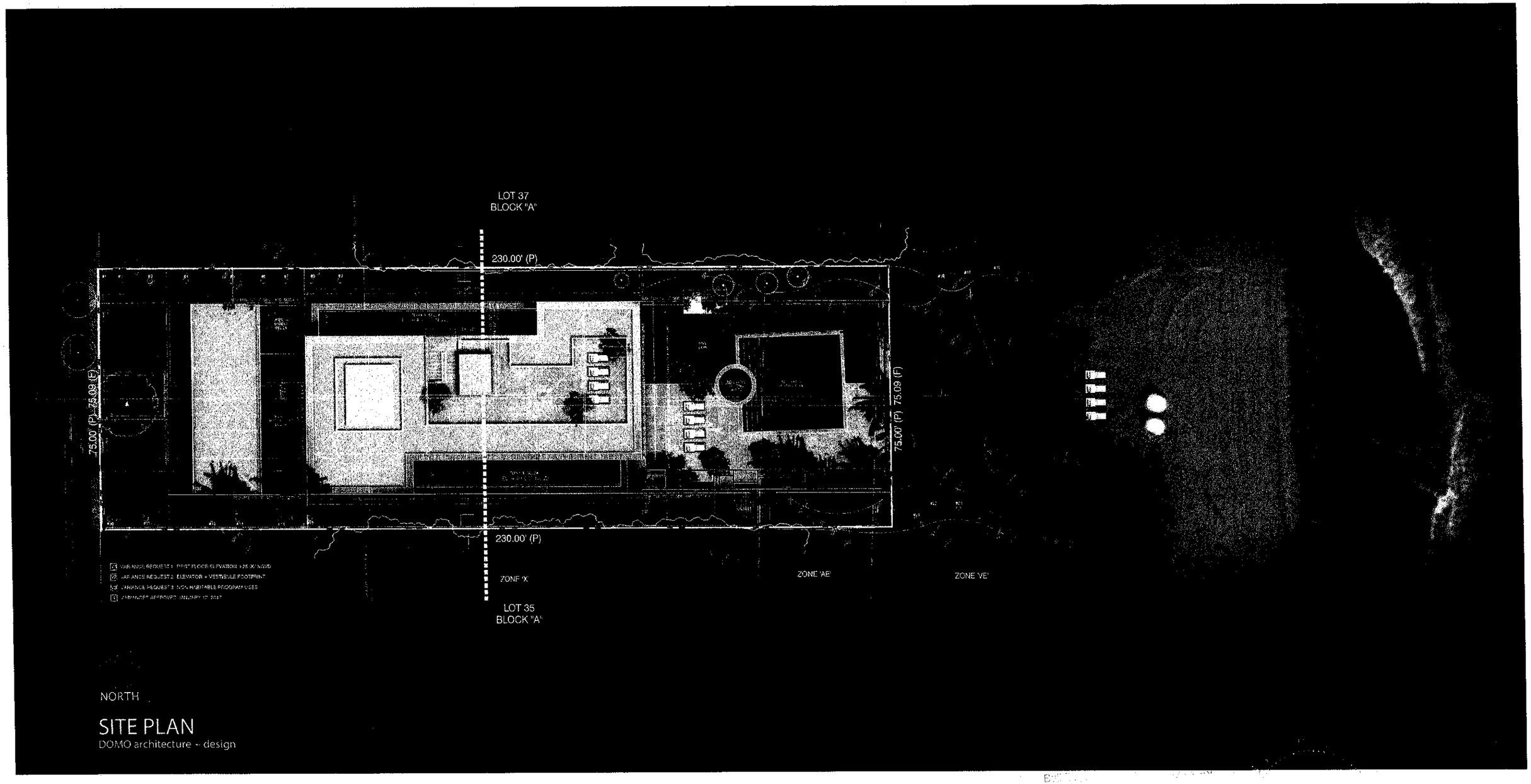
263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

03/04/17

EX-1.0

PROPOSED BUILDING - RENDERED SITE PLAN



263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

03/06/17

A-0.0

PROPOSED BUILDING SITE PLAN

LOT 37
BLOCK "A"

230.00' (P)

OCEAN BOULEVARD (S.R. A1A)

75.00' (P) 75.09 (F)

NEW STRUCTURE
ROOF
EL +37.00' NGVD

NEW SINGLE FAMILY RESIDENCE
1,000sf
EL +52.50' NGVD

TERRACE BELOW
EL +40.00' NGVD

ROOF ACCESS STAIR
ELEVATOR ACCESS STAIR
ELEVATOR + VESTIBULE
V2
EL +62.50' NGVD

ROOF TERRACE

ROOF
EL +52.50' NGVD

OPEN TO GARDEN BELOW

OPEN TO MOTORCOURT BELOW
+12.50'

MOTORCOURT
+13.00'

STONE PAVER DRIVEWAY

STONE PAVER MOTOR COURT

10' SITE VISIBILITY TRIANGLE AS PER GOLDEN BEACH AND MIAMI DADE CODE AND FDOT INDEX 0546.

REQUIRED 10'-0" YARD SETBACK

REQUIRED 10'-0" SIDE YARD SETBACK

REQUIRED 60'-0" FRONT YARD SETBACK

REQUIRED 20'-0" GARAGE FRONT YARD SETBACK

REQUIRED 10' SETBACK FOR MECH. AREA

ADD'L GARAGE FRONT SETBACK PER GOLDEN BEACH CODE SEC 66-157 (C): 24'-7"-18'-6"-7" ADD'L SETBACK REQ'D 7'-0 PROVIDED

ADD'L SIDE SETBACK @ SECOND FLR PER GOLDEN BEACH CODE SEC 66-89 (3): 27'-5"-16'-9"-6" ADD'L SETBACK

ADD'L SIDE SETBACK @ SECOND FLR PER GOLDEN BEACH CODE SEC 66-89 (3): 37'-6"-18'-9"-6" ADD'L SETBACK

REQUIRED 10'-0" SIDE YARD SETBACK (ADJACENT PROPERTY REAR WALL LINE)

REQUIRED REAR YARD SETBACK (ADJACENT PROPERTY REAR ROOF LINE)

POOL LAWN

POOL TERRACE (STONE PAVERS)

RENOVATED EXISTING JACUZZI

RENOVATED EXISTING POOL

BEACHSIDE LAWN

CABANA

EXISTING 6' MASONRY WALL

COASTAL CONSTRUCTION LINE

ZONE 'X'

ZONE 'AE'

ZONE '

6' HT STONE CLAD PROPERTY WALL/DECORATIVE FENCE WITH IPE SLIDING GATE

10' SITE VISIBILITY TRIANGLE AS PER GOLDEN BEACH AND MIAMI DADE CODE AND FDOT INDEX 0546.

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

V2 VARIANCE REQUEST 2: ELEVATOR + VESTIBULE FOOTPRINT

V3 VARIANCE REQUEST 3: NON HABITABLE PROGRAM USES

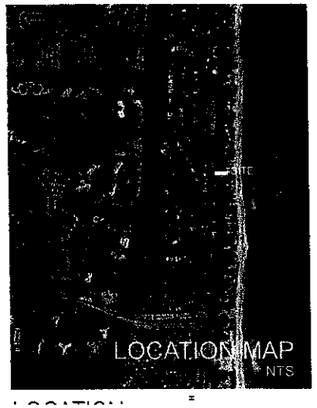
4 VARIANCES APPROVED JANUARY 17, 2017

LOT 35
BLOCK "A"

SITE PLAN

NORTH

SCALE: 1/8"=1'-0"



ZONING ANALYSIS

LEGAL DESCRIPTION LOT 36 AND THE SOUTH 1/2 OF LOT 37 IN BLOCK "A" OF GOLDEN BEACH SUBDIVISION SECTION "C", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FOLIO NUMBER: 19-1235-003-0260
STREET ADDRESS 263 OCEAN BLVD, GOLDEN BEACH FLORIDA
ZONING: SF (ZONE ONE)
LOT AREA: 17,250 S.F. (0.40 ACRES)
LOT SIZE: 75.00x230.00
FLOOD ZONE: AE
BFE: +8.0' NGVD
CROWN OF ROAD: +10.40' NGVD
SITE GRADE: +13.00' NGVD

SETBACKS:	REQUIRED	PROVIDED
FRONT MAIN HOUSE	60'-0"	60'-0"
FRONT GARAGE FRONT SETBACK	20'-0"	20'-0"
REAR (ALIGNED TO ADJACENT PROPERTY)	65'-6"	65'-6"
NORTH SIDE	10'-0"	10'-0"
SOUTH SIDE	10'-0"	10'-0"
MIN. UNIT SIZE	3,000 SF	13,120 SF
BUILDING HEIGHT	27'-6"	27'-6"

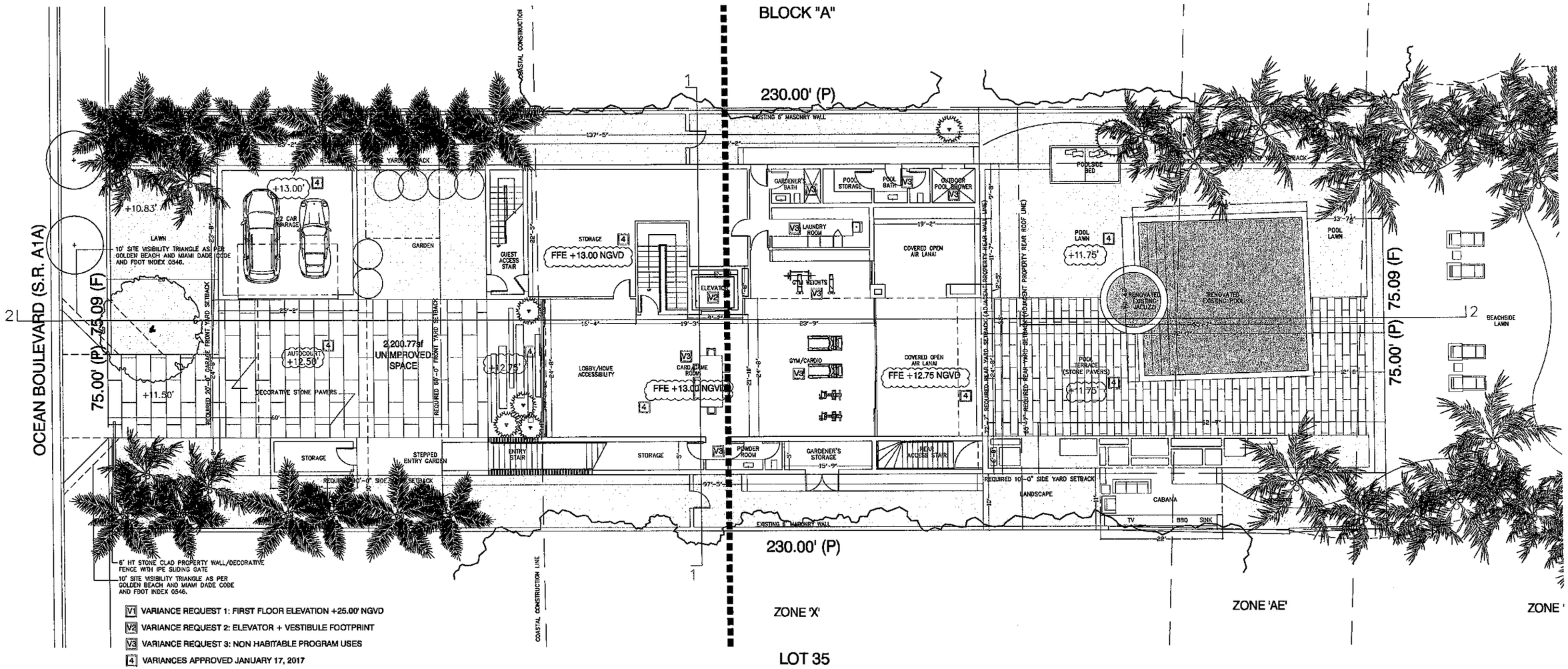
263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

03/06/17

A-1.0

PROPOSED BUILDING GROUND FLOOR PLAN



GROUND FLOOR PLAN

NORTH

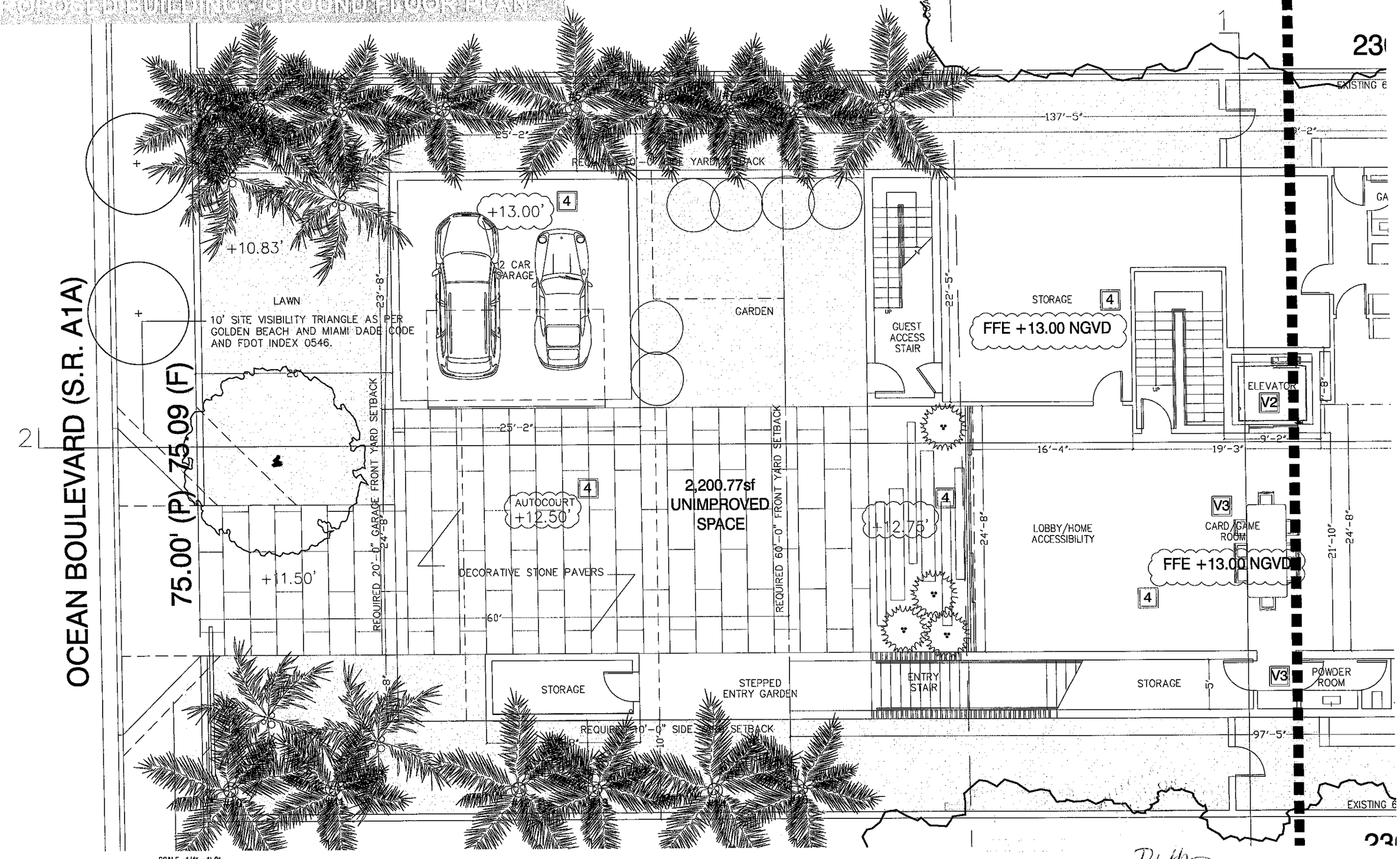
263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

Permitting
03/06/17

A-1.1

PROPOSED BUILDING GROUND FLOOR PLAN



SCALE - 1/4" =1'-0"

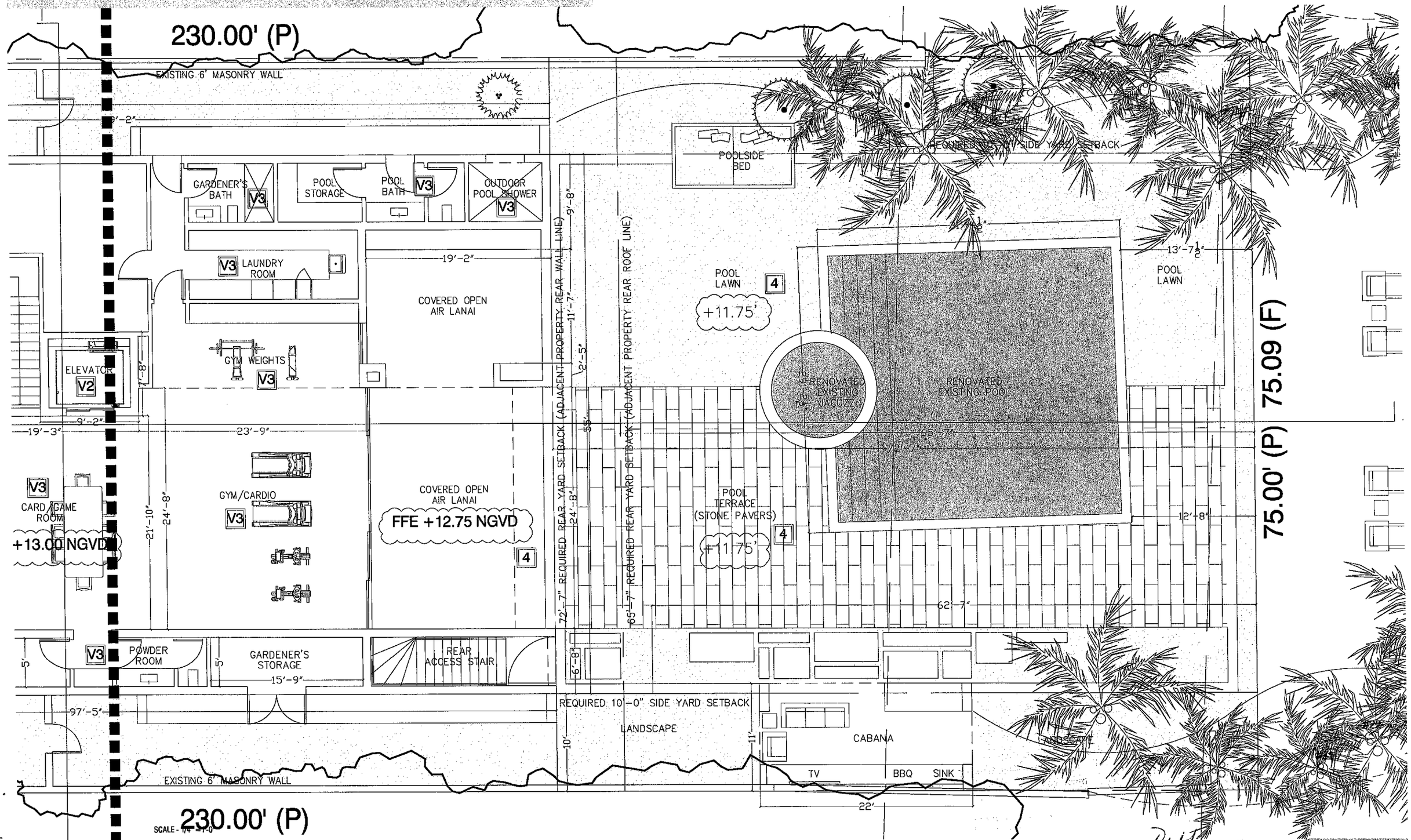
263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

03/06/17

A-1.1A

PROPOSED BUILDING - GROUND FLOOR PLAN



263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
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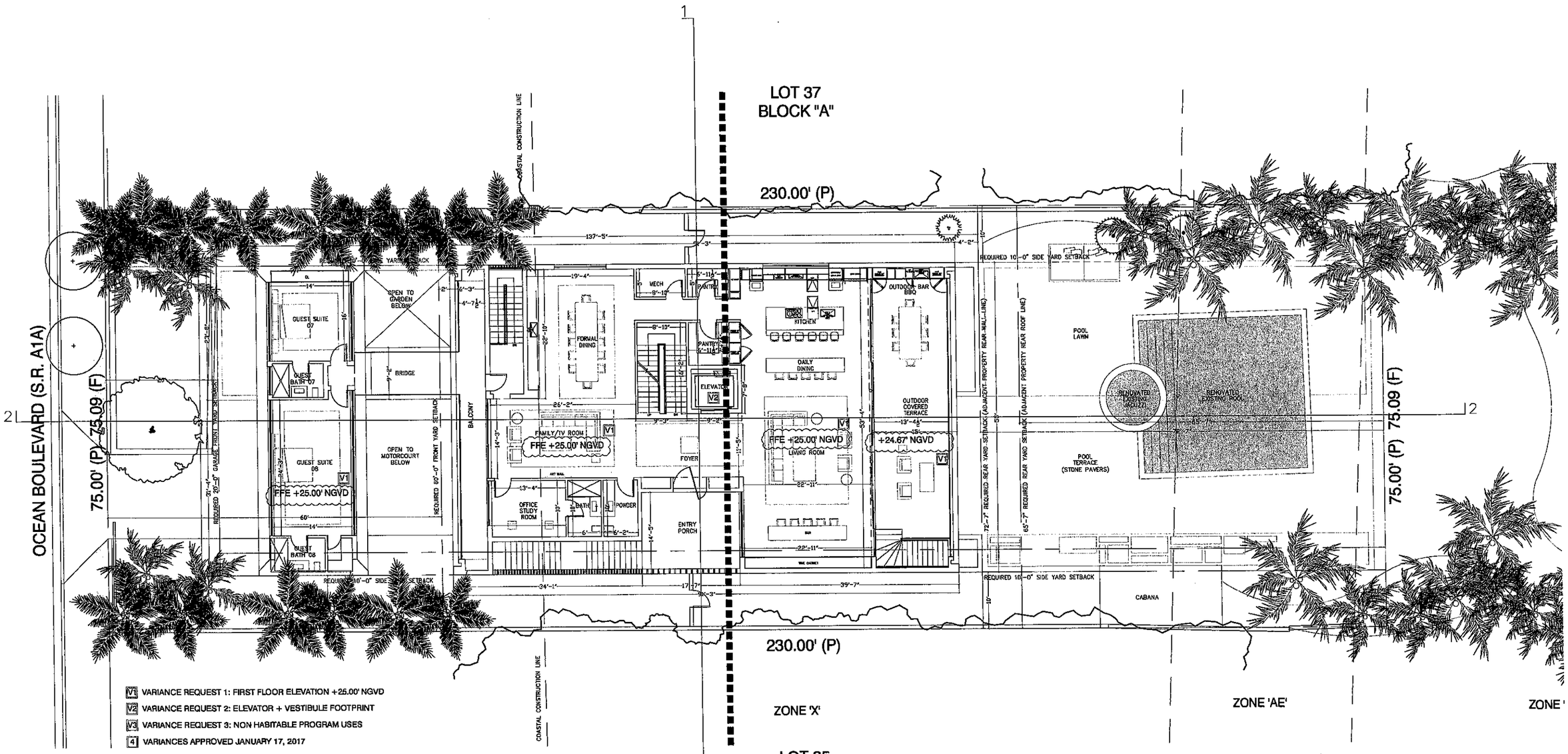
03/06/17

A-1.1B

PROPOSED BUILDING - FIRST FLOOR PLAN



V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD
V2 VARIANCE REQUEST 2: ELEVATOR + VESTIBULE FOOTPRINT
V3 VARIANCE REQUEST 3: NON HABITABLE PROGRAM USES
4 VARIANCES APPROVED JANUARY 17, 2017

NORTH

FIRST FLOOR PLAN

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GOLDEN BEACH, FLORIDA

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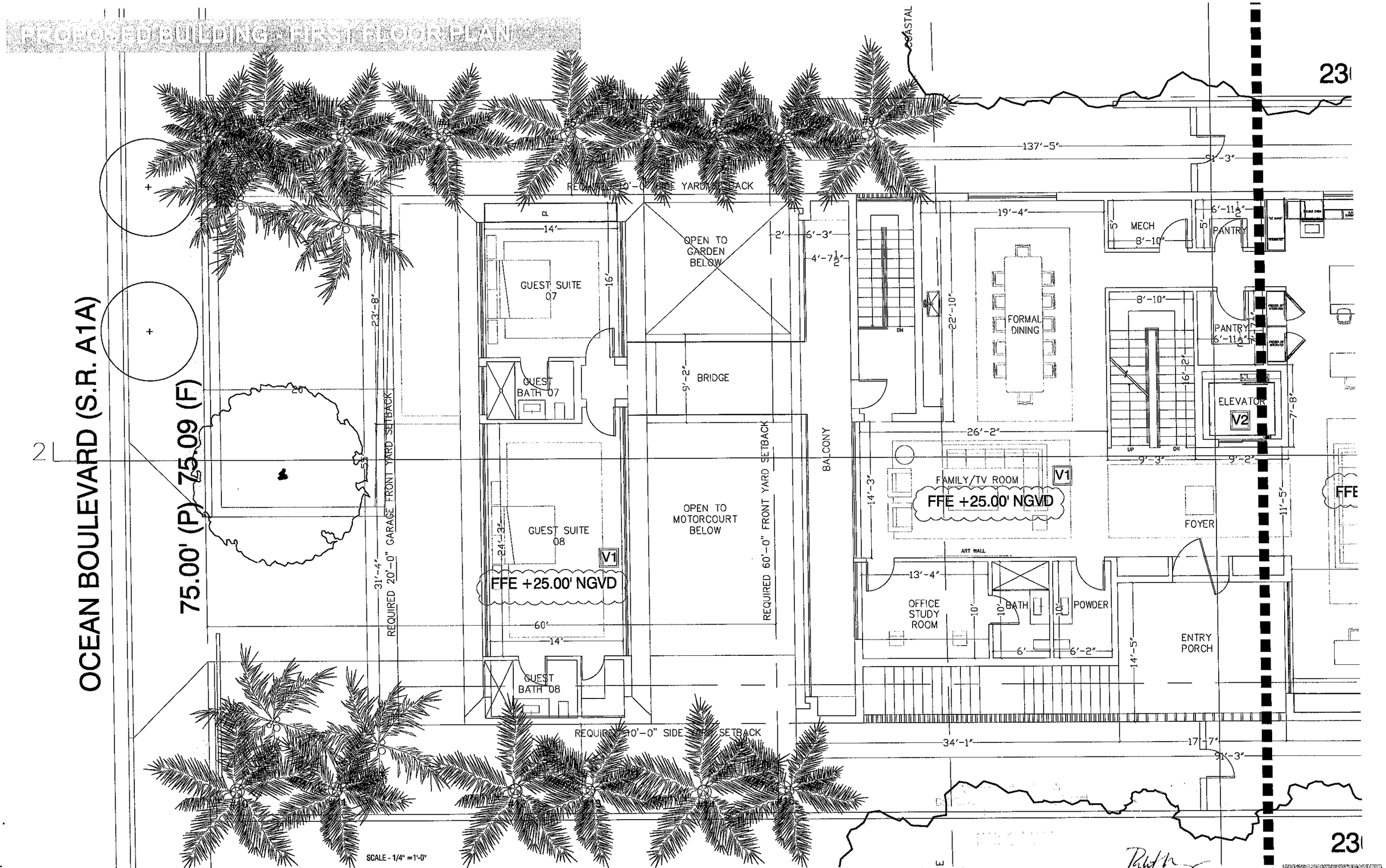
A1.2

PROPOSED BUILDING - FIRST FLOOR PLAN



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GOLDEN BEACH, FLORIDA

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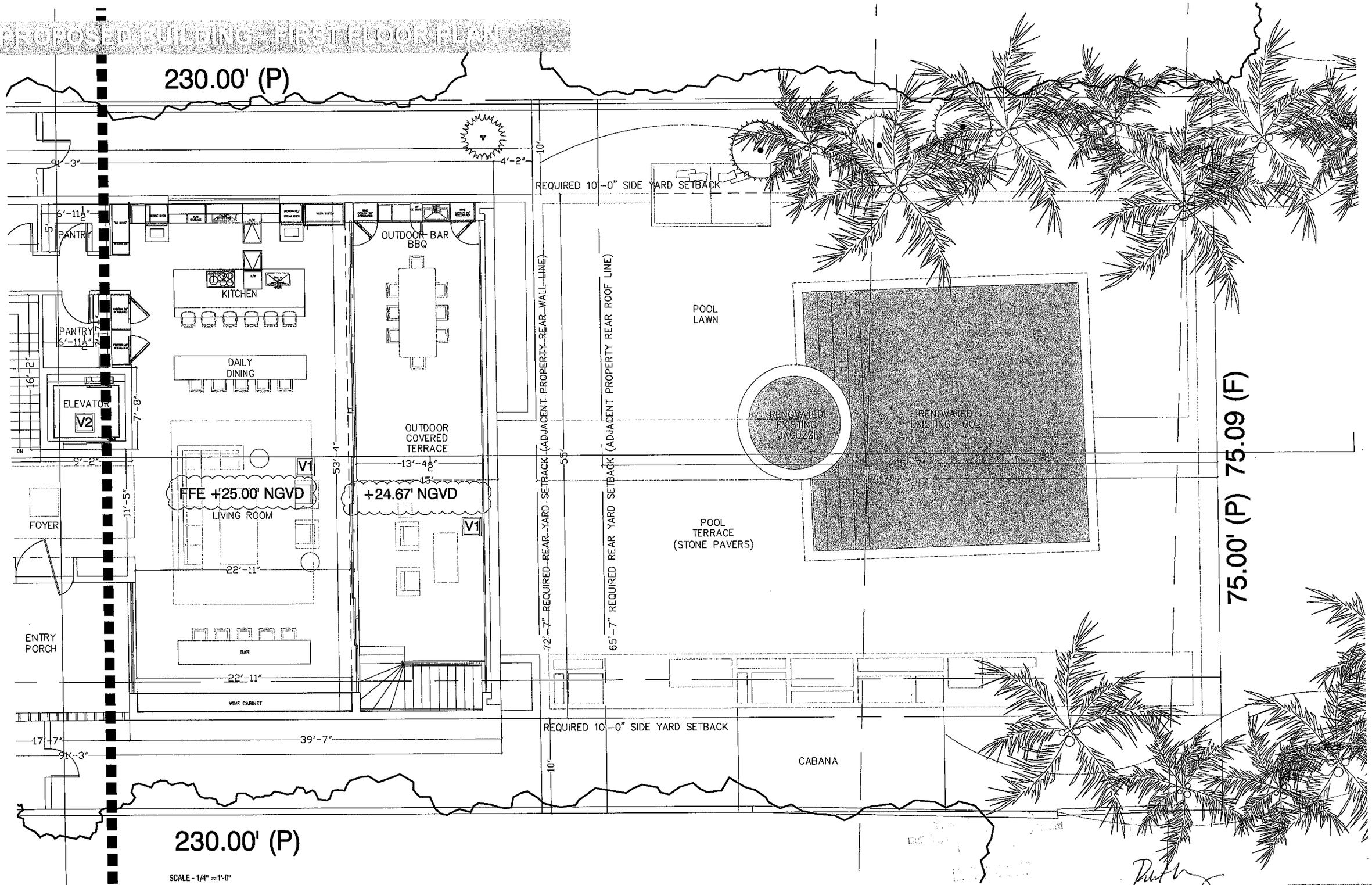
03/04/07

A-1.2A

PROPOSED BUILDING - FIRST FLOOR PLAN



03/06/17

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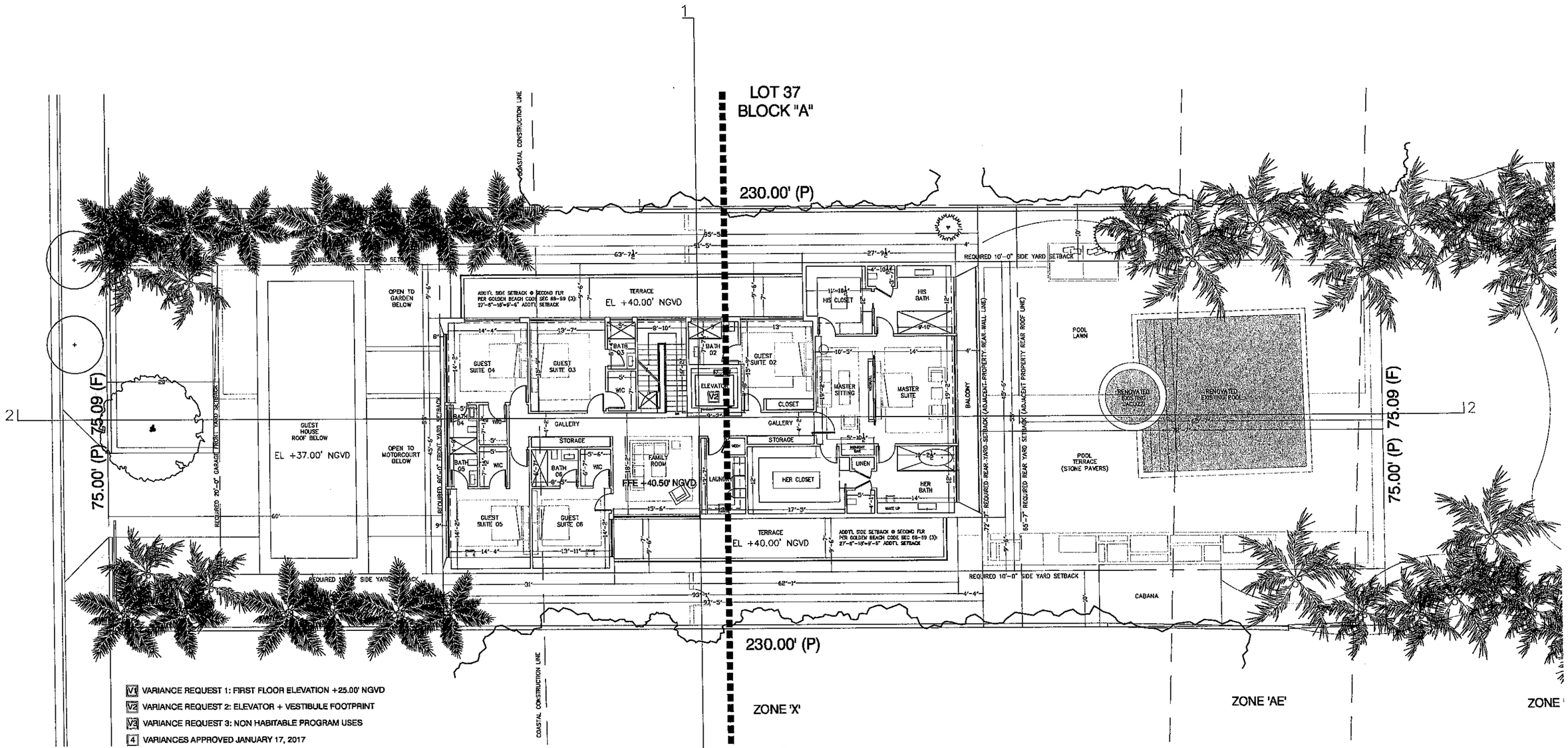
A-1.2B

PROPOSED BUILDING SECOND FLOOR PLAN



NORTH

SECOND FLOOR PLAN

Rutt
03/06/17

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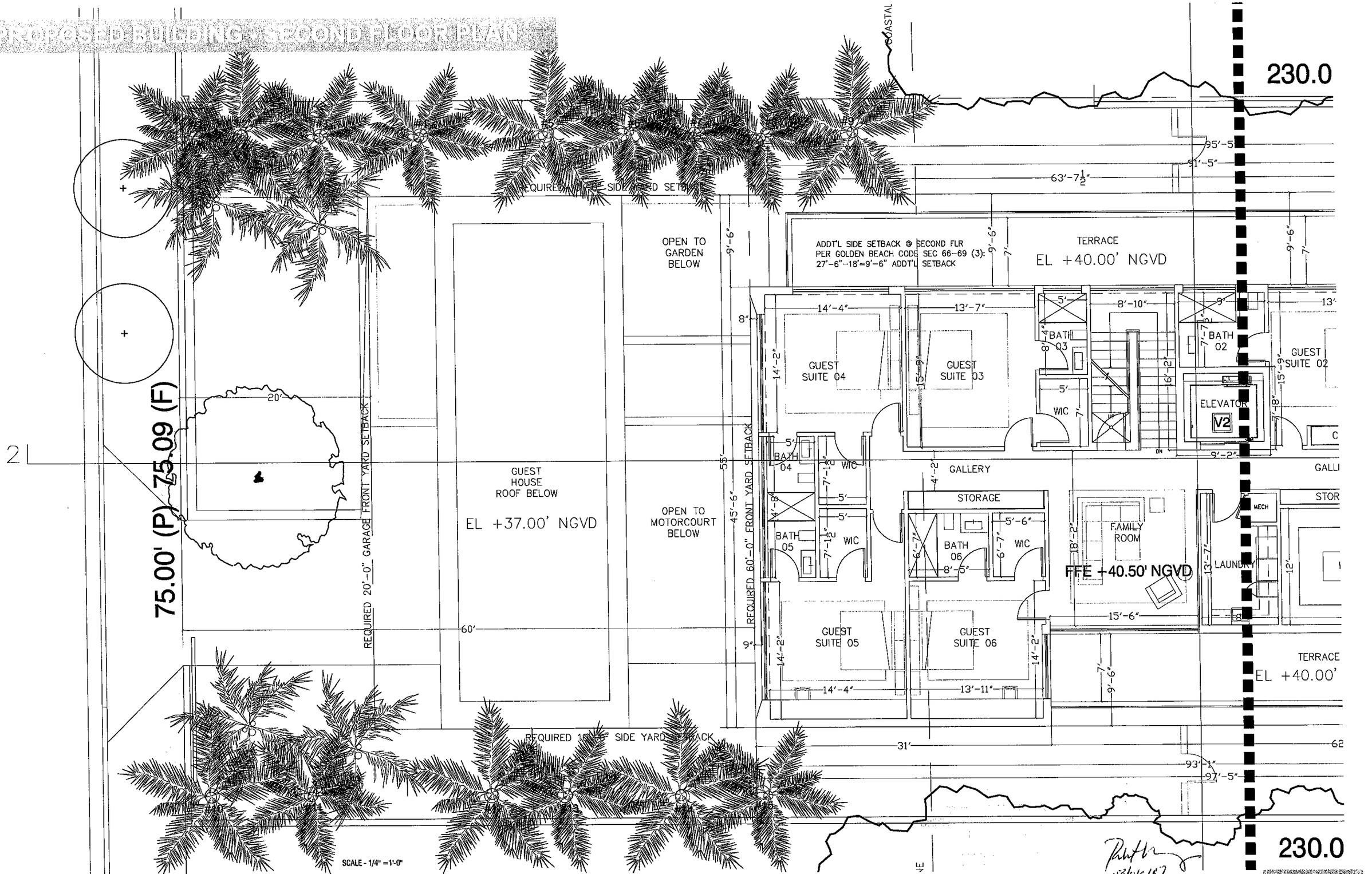
A-1.3

PROPOSED BUILDING - SECOND FLOOR PLAN



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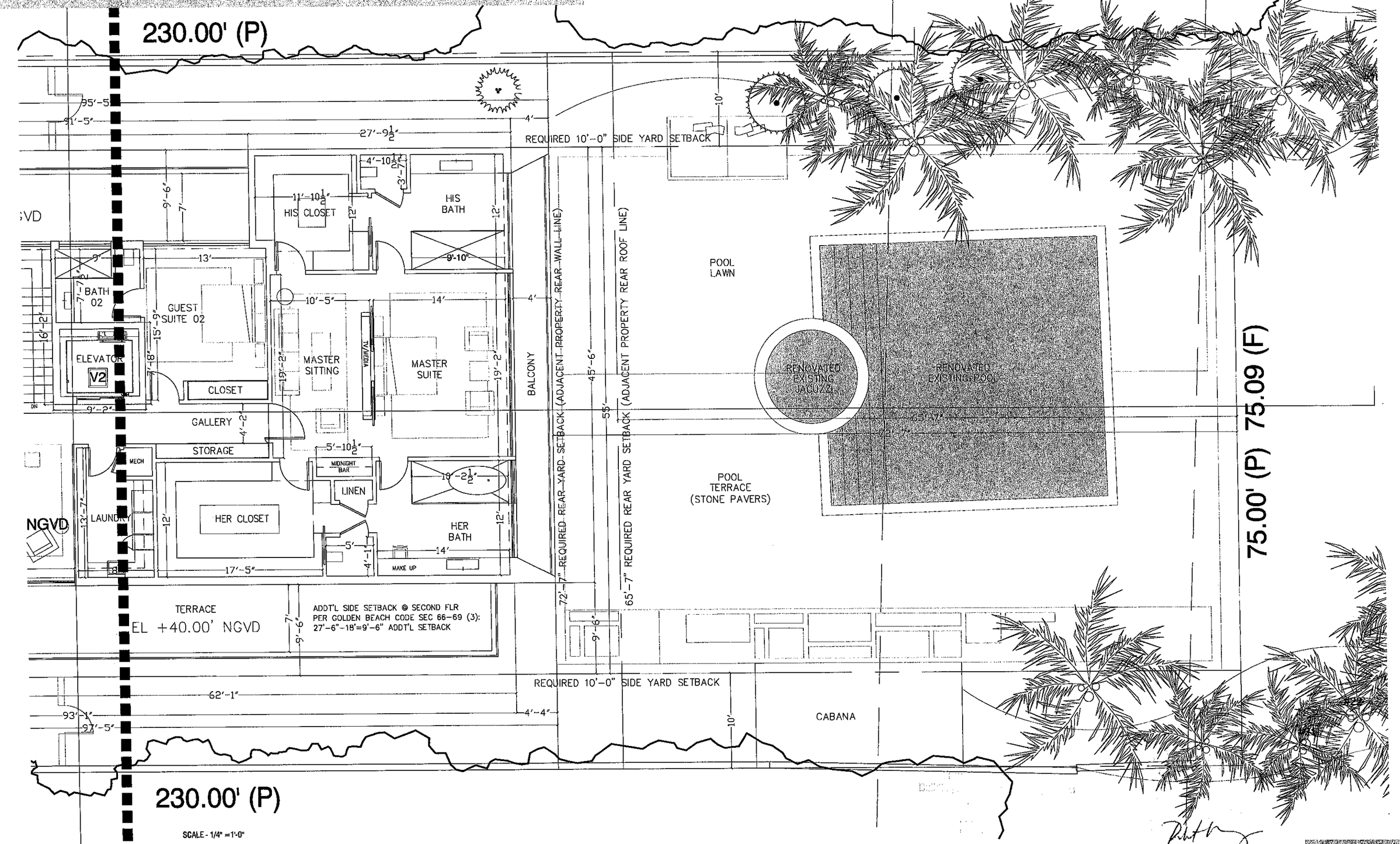
A-1.3A

PROPOSED BUILDING - SECOND FLOOR PLAN



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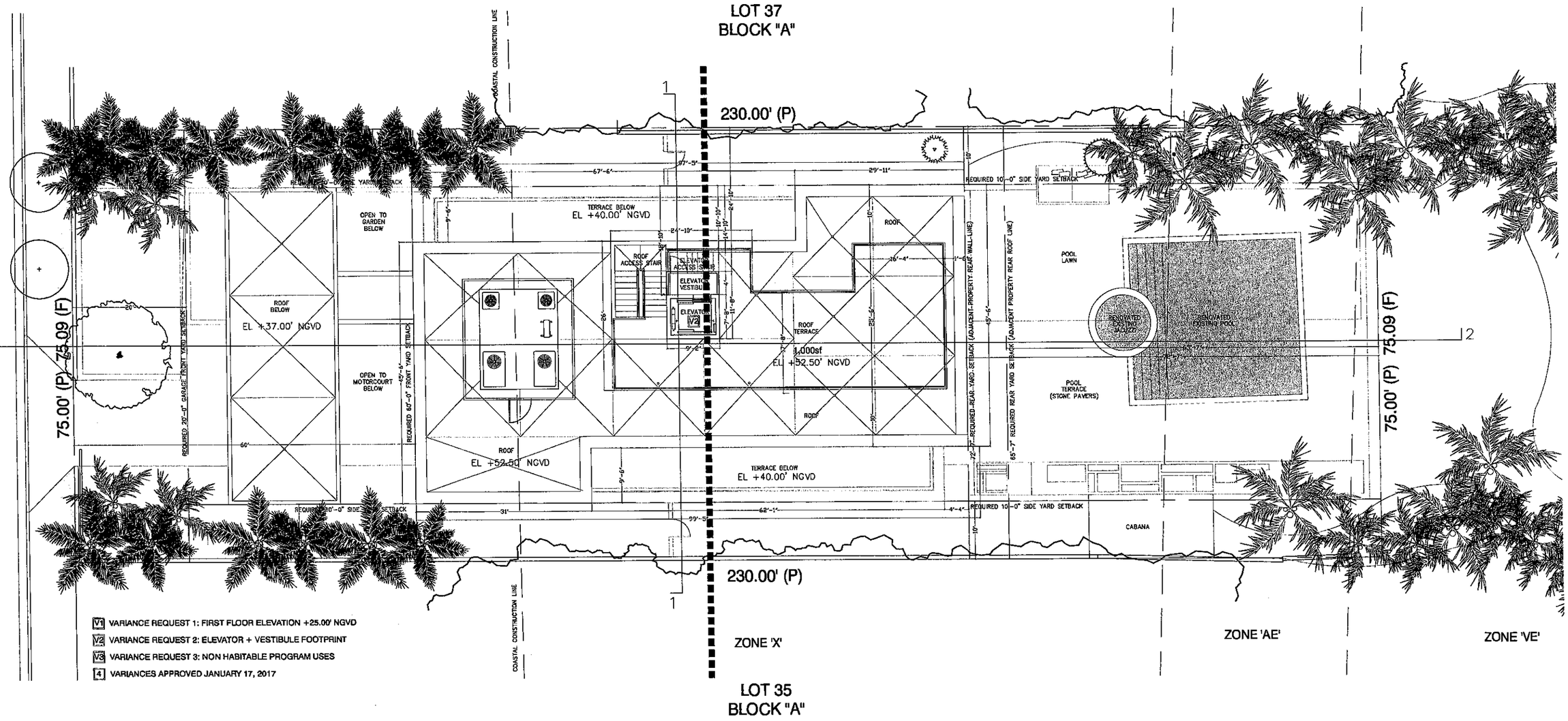
A-1.3B

PROPOSED BUILDING ROOF PLAN



ROOF PLAN

NORTH

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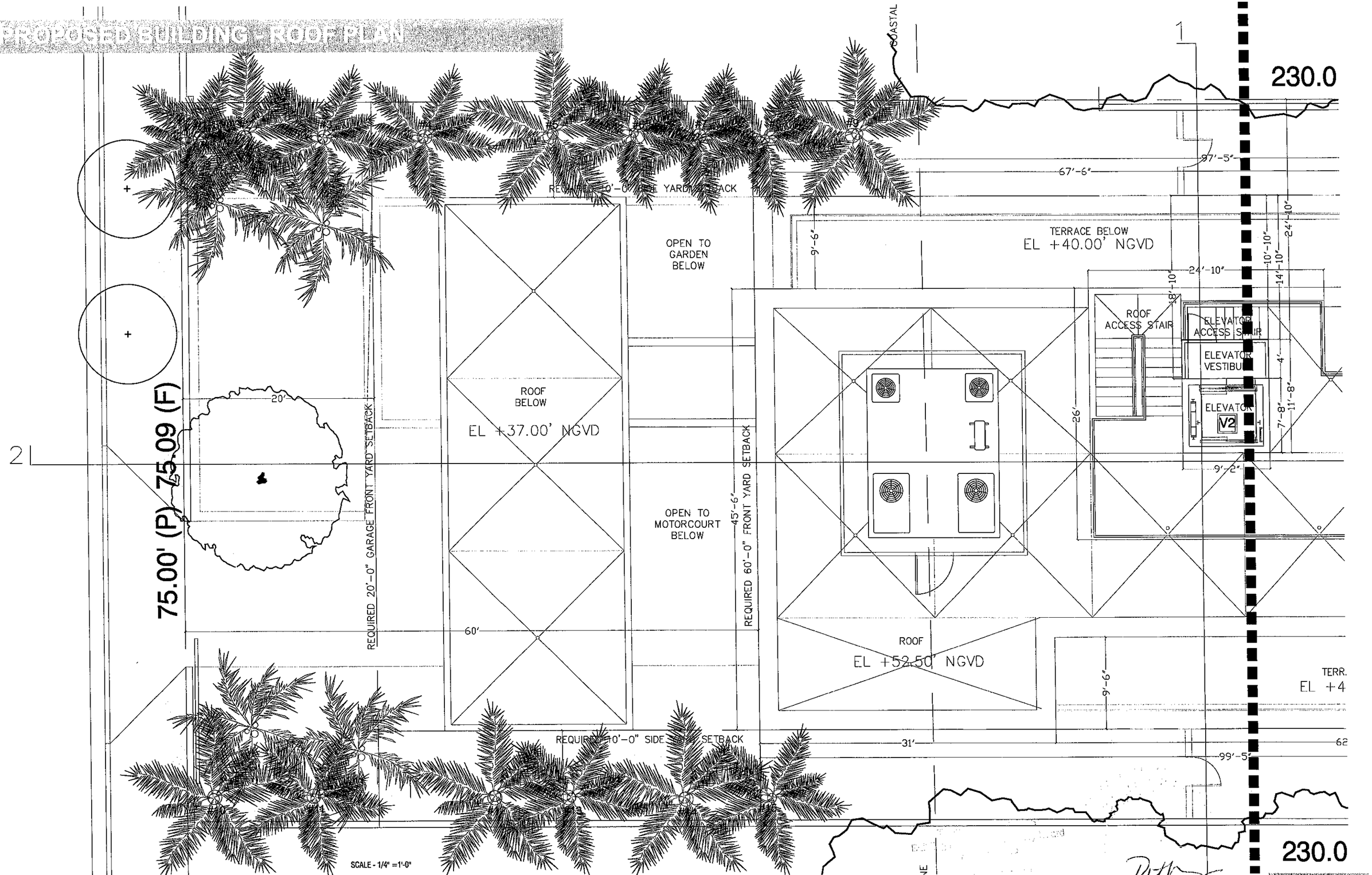
A-14

PROPOSED BUILDING - ROOF PLAN



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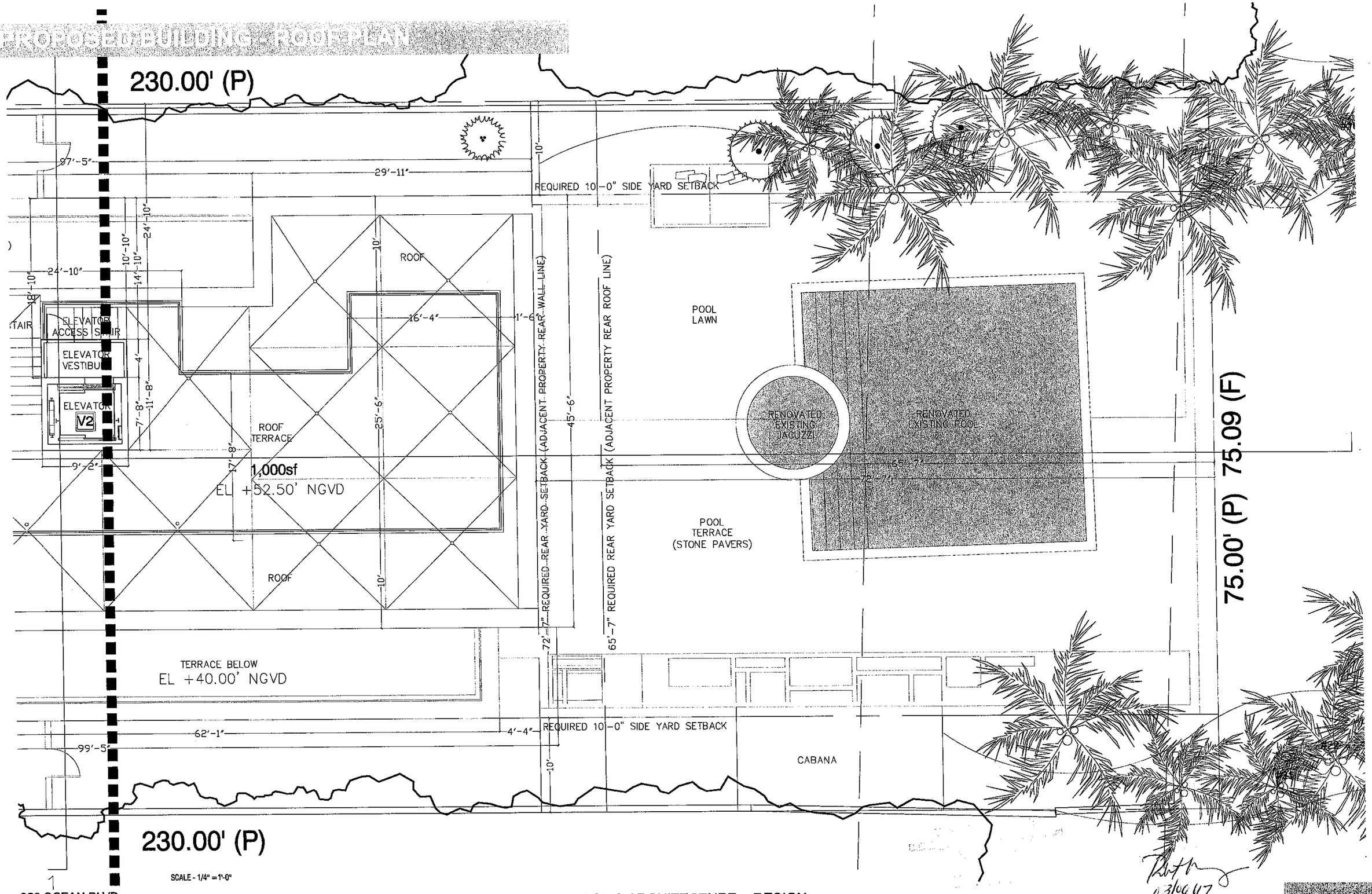
PROPOSED BUILDING - ROOF PLAN



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GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
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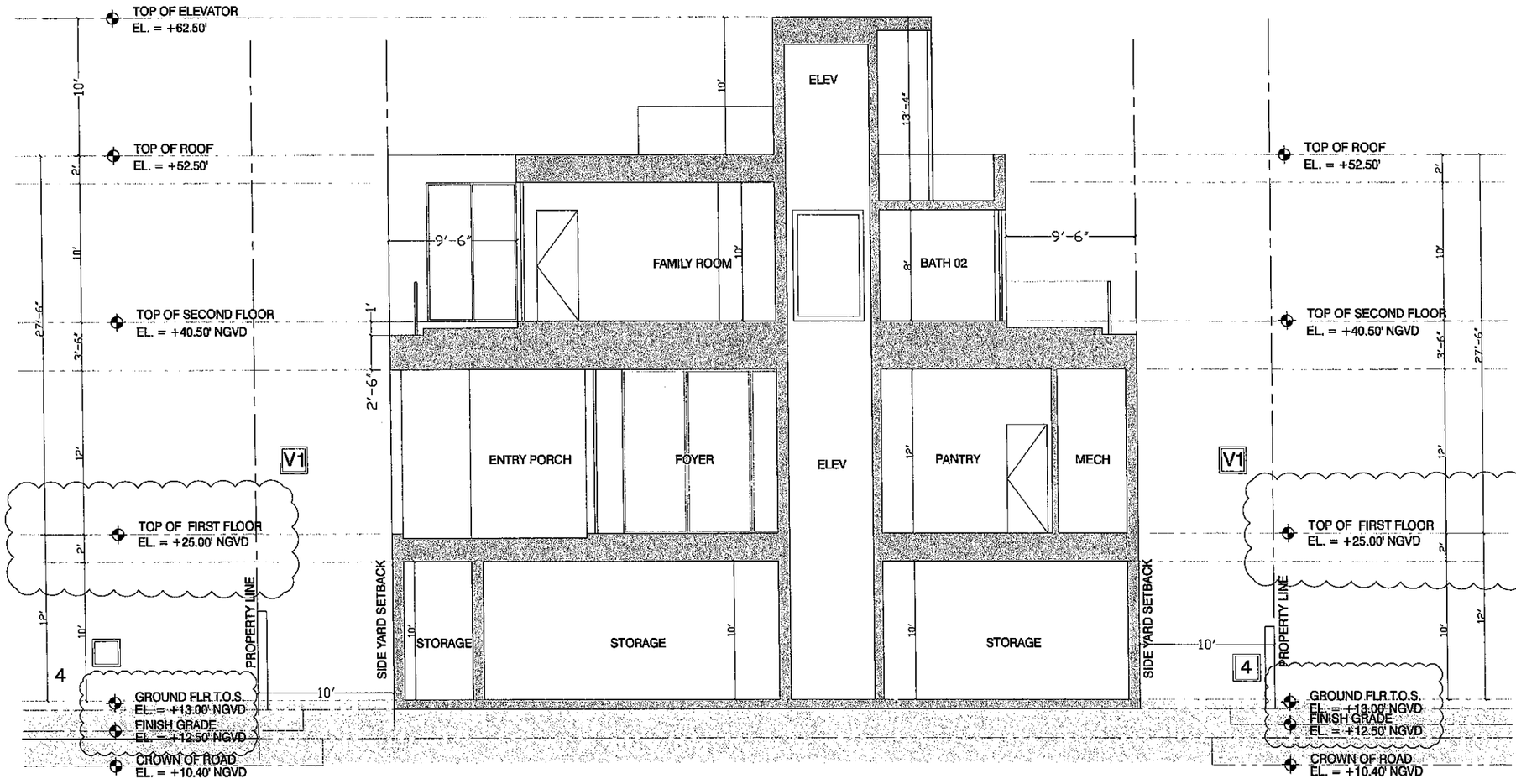
A-14B

SECTION



1 TRANSVERSE SECTION
SCALE - 1/4" =1'-0"

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GOLDEN BEACH, FLORIDA

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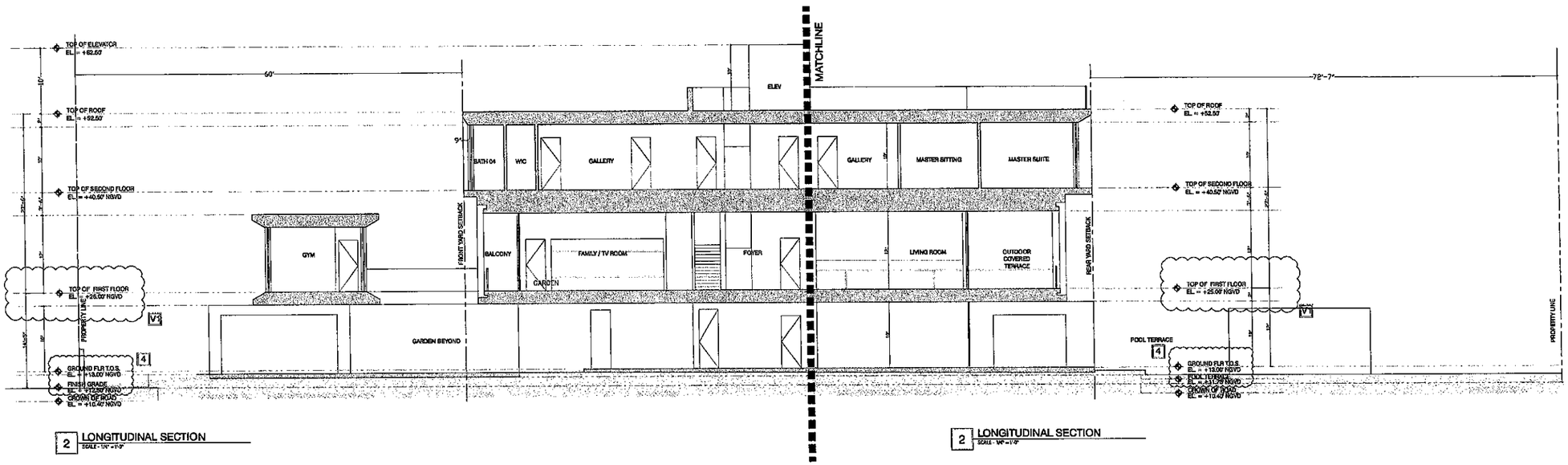
SECTION



2 LONGITUDINAL SECTION
SCALE - 1/4" = 1'-0"

2 LONGITUDINAL SECTION
SCALE - 1/4" = 1'-0"

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GOLDEN BEACH, FLORIDA

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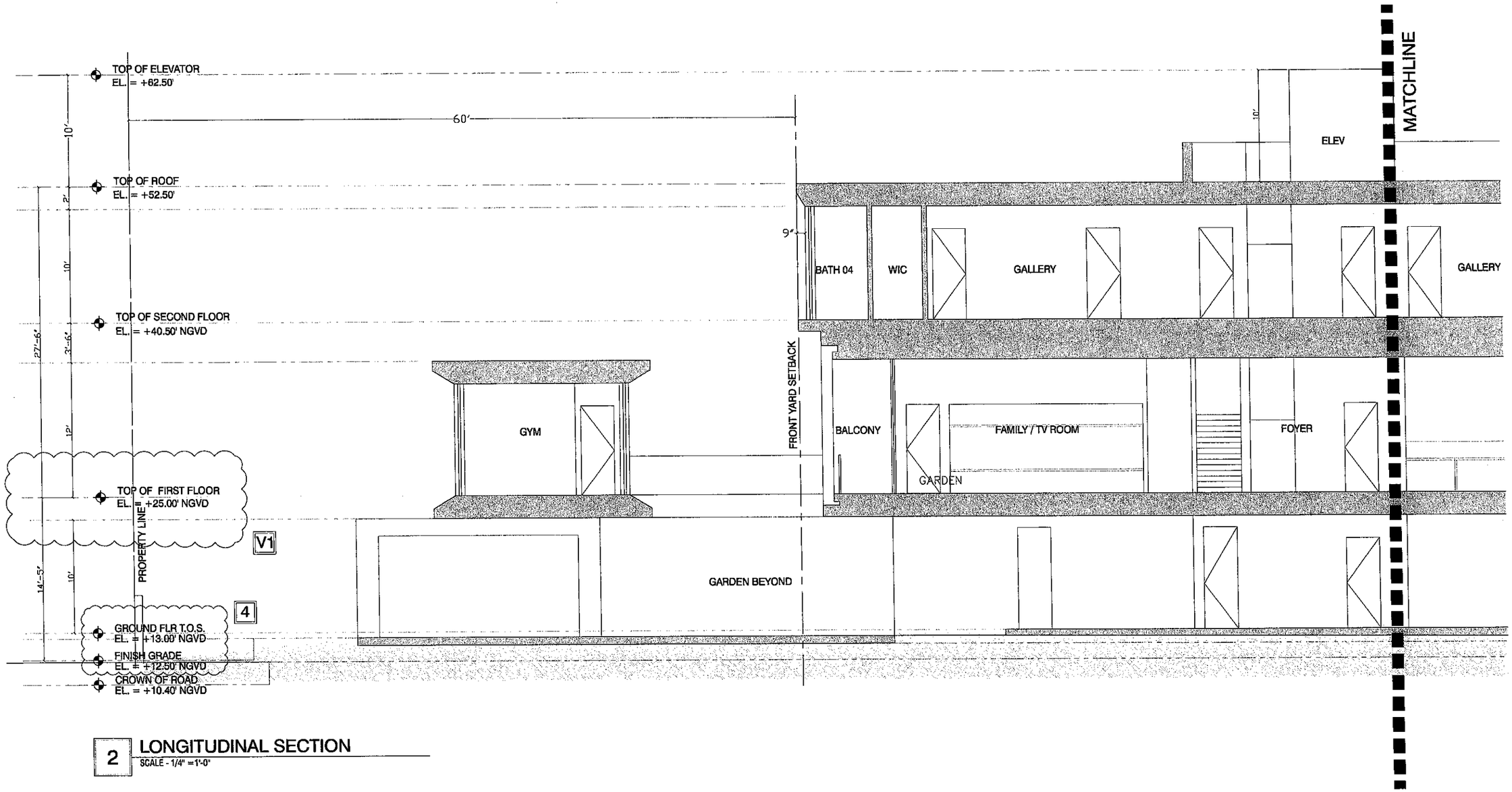
A-21

SECTION



2 LONGITUDINAL SECTION
SCALE - 1/4" = 1'-0"

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GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
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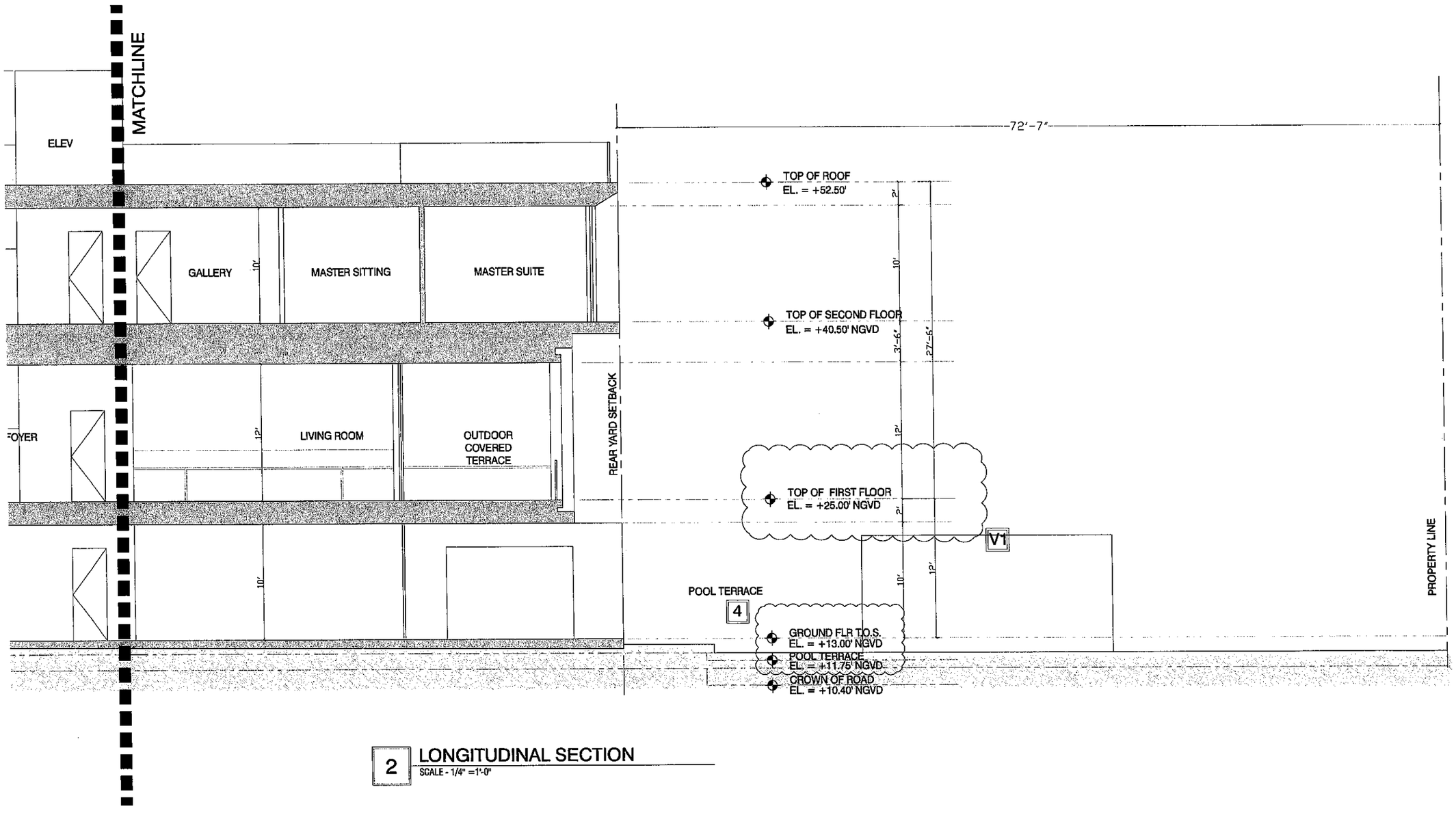
A-2.1A

SECTION



2 LONGITUDINAL SECTION
SCALE - 1/4" =1'-0"

03/06/17

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GOLDEN BEACH, FLORIDA

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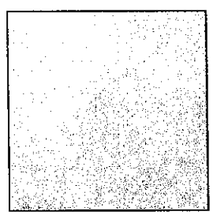
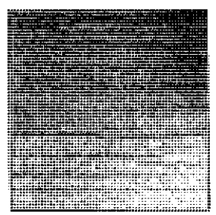
A 2.1B

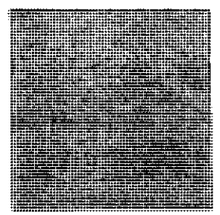
MATERIAL KEY



ST1 CALCEM LIME PAINT ON STUCCO FINISH



ST2 BOARD FORMED CONCRETE OR STONE

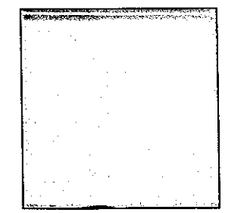


ST3 MARBLE CLADDING

WD1 IPE EXTERIOR CLADDING

LV1 IPE LOUVERS

MT1 BRONZE FINISH ALUMINUM



GL1 CLEAR GLAZING

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A-30

CARRIAGE HOUSE WEST ELEVATION

4 CARRIAGE HOUSE - WEST ELEVATION

SCALE: 1/4" = 1'-0"

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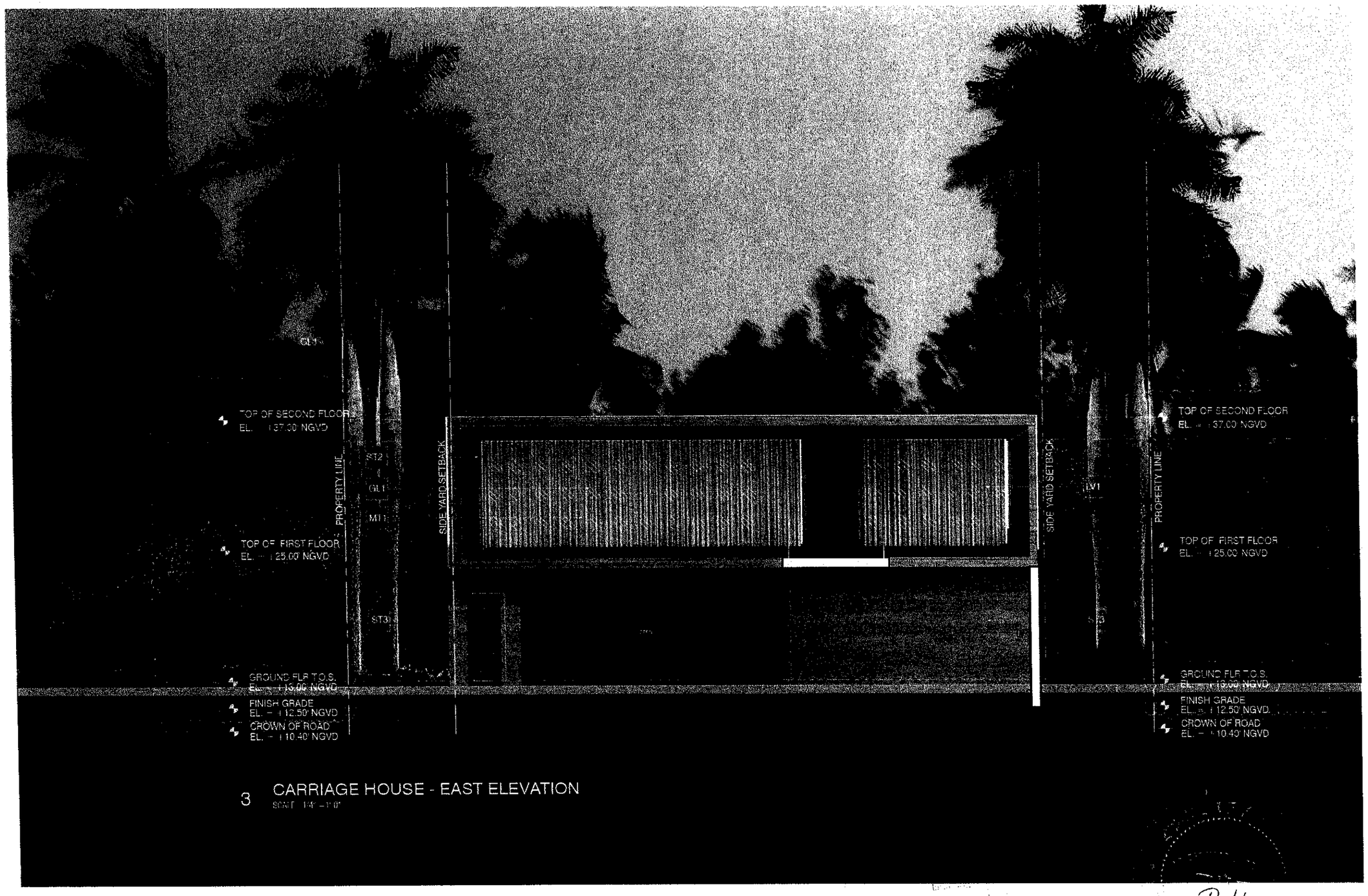
A-3.1

RENDERED CARRIAGE HOUSE EAST ELEVATION



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A 3.2

RENDERED MAIN HOUSE WEST ELEVATION

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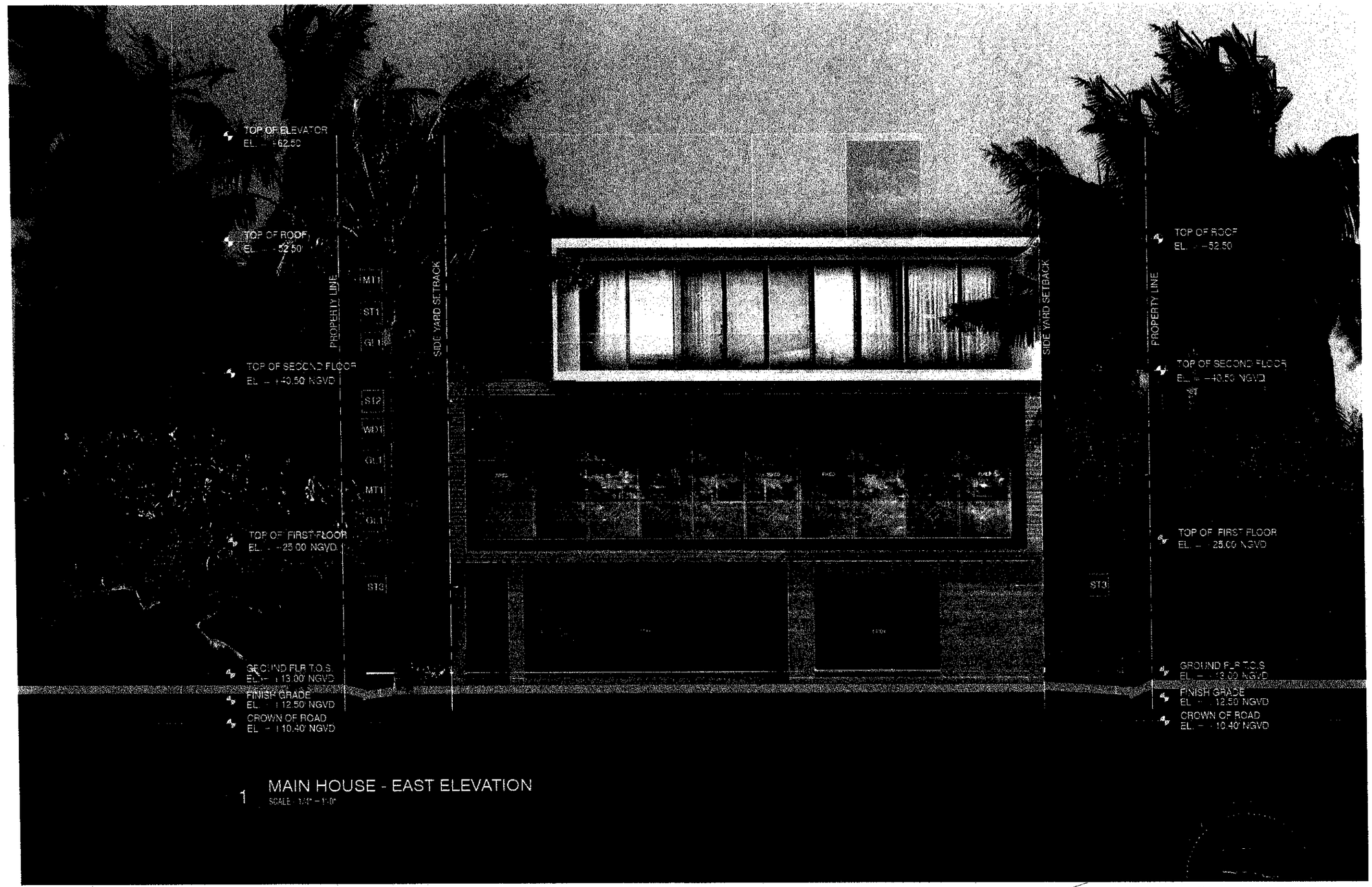
A-3.0

RENDERED MAIN HOUSE EAST ELEVATION



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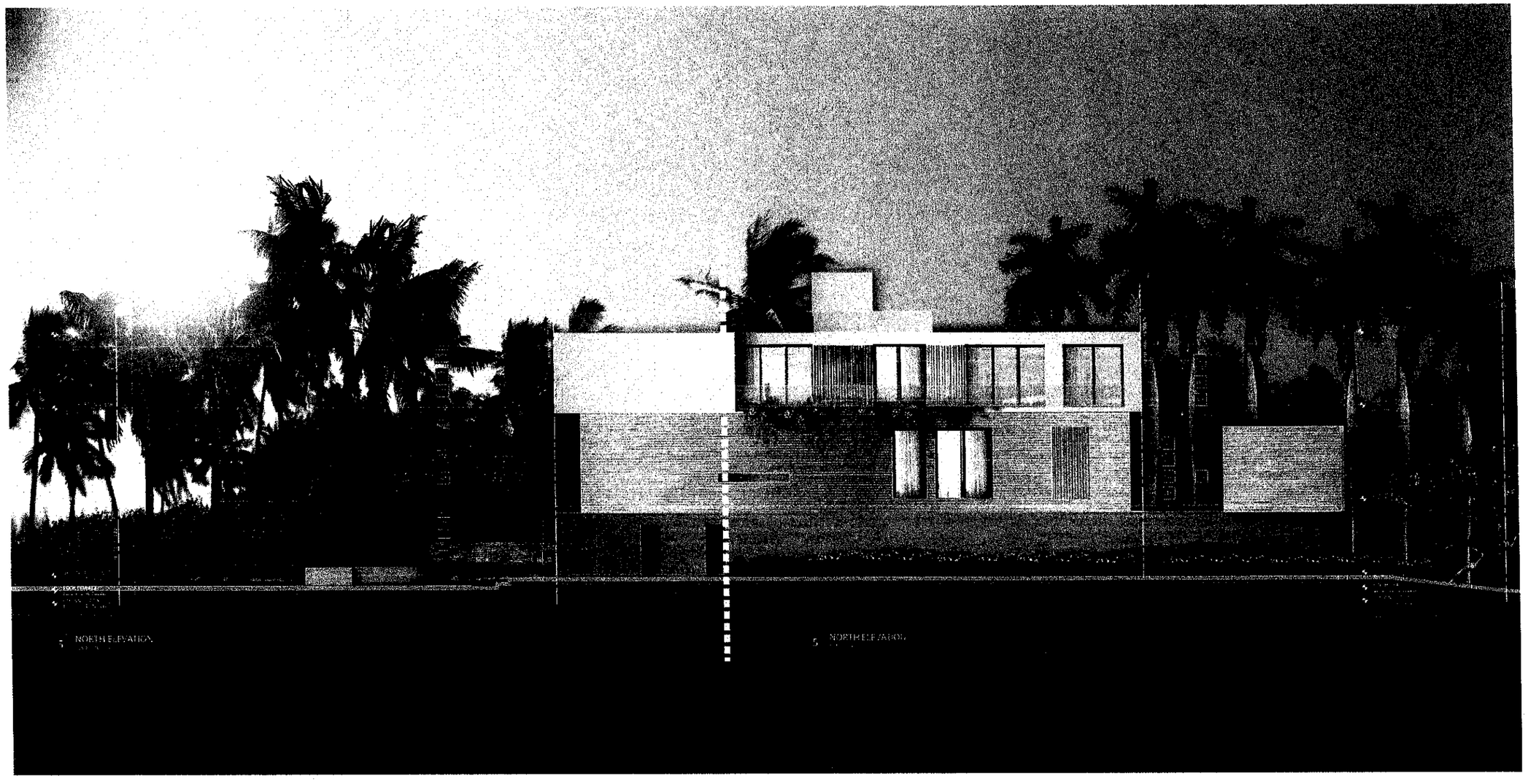
A-3.4

RENDERED NORTH ELEVATION



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GOLDEN BEACH, FLORIDA

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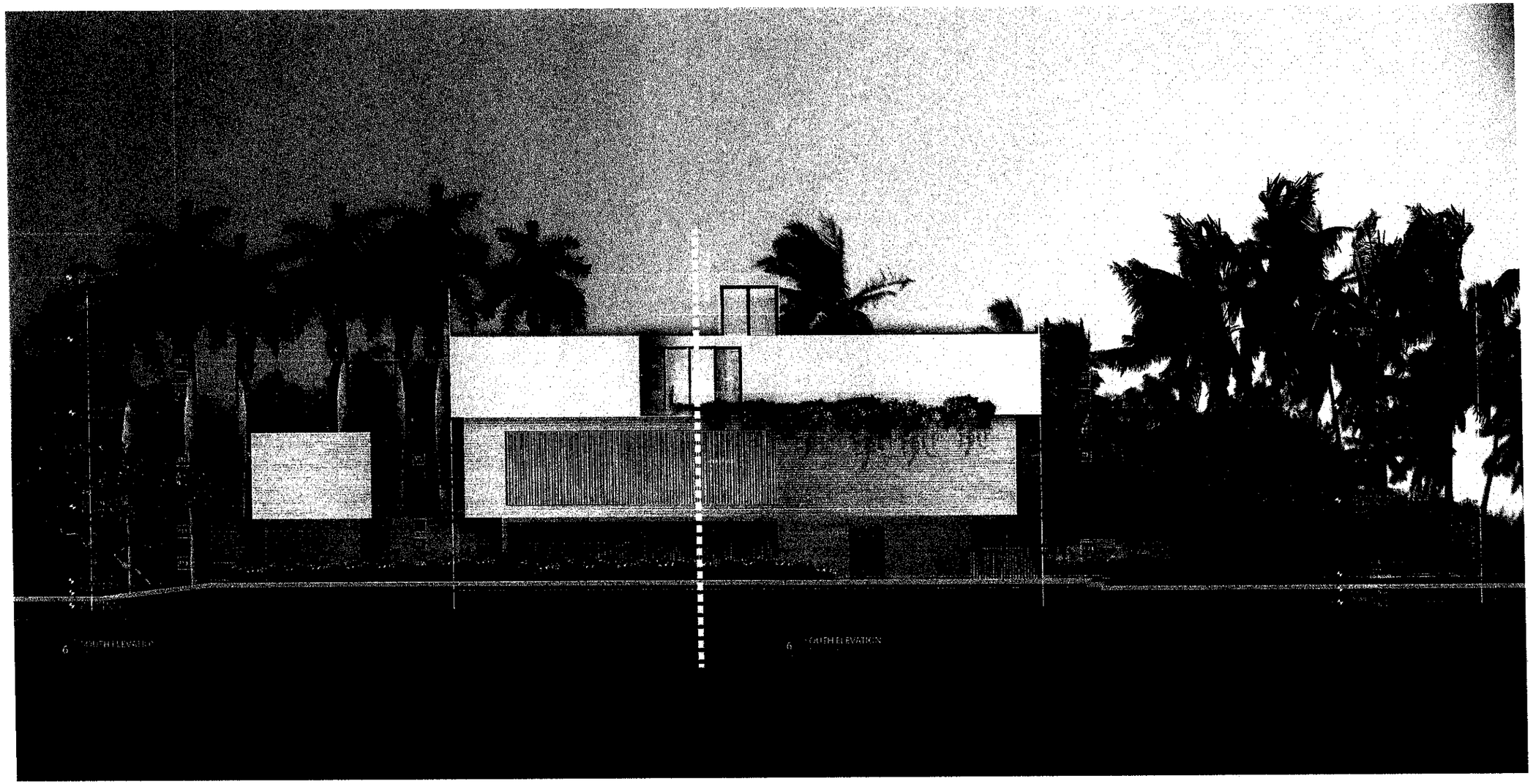
RENDERED NORTH ELEVATION

RENDERED NORTH ELEVATION

5 NORTH ELEVATION
SCALE : 1/4" = 1'-0"

A-3.5B

RENDERED SOUTH ELEVATION



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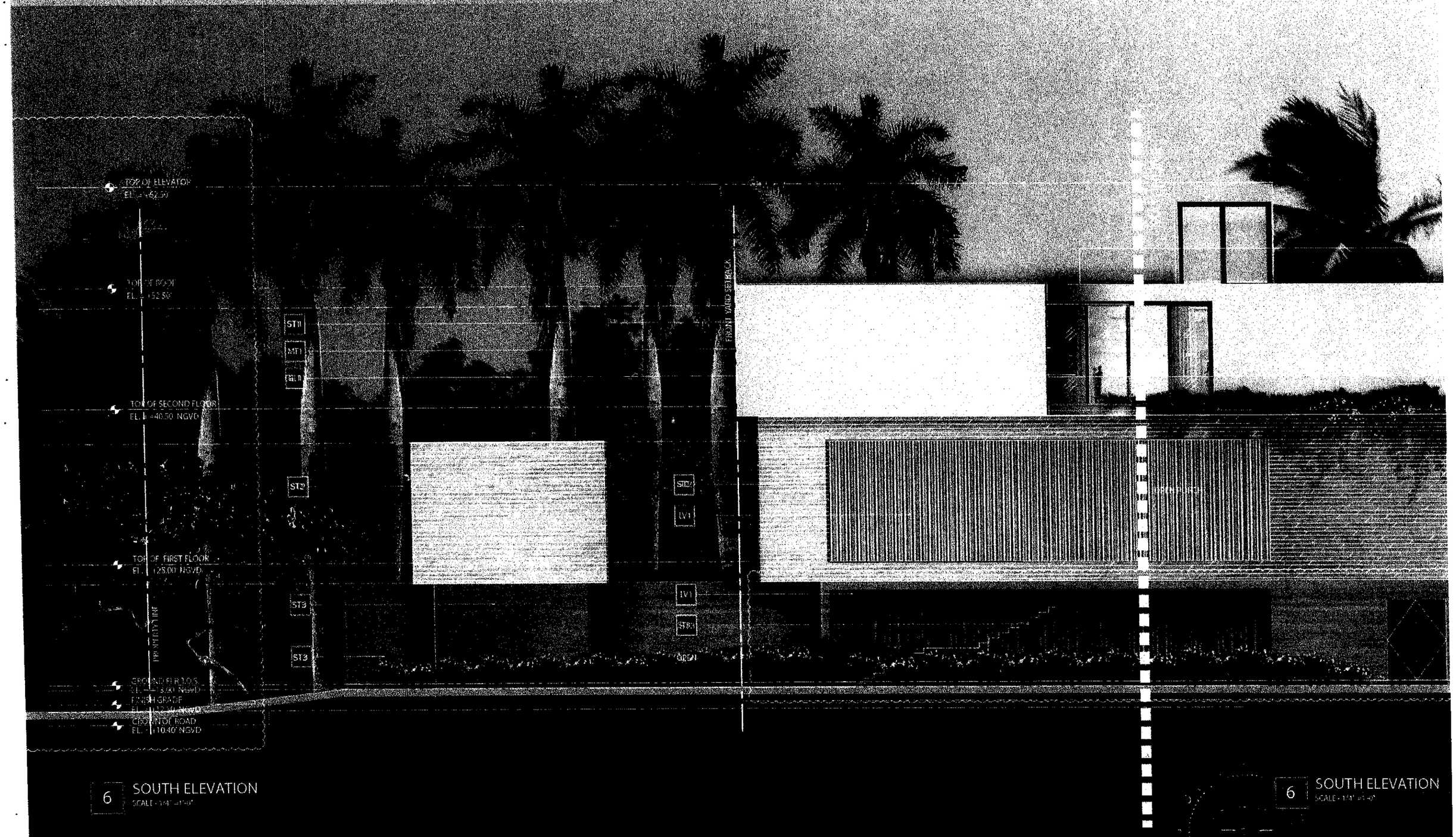
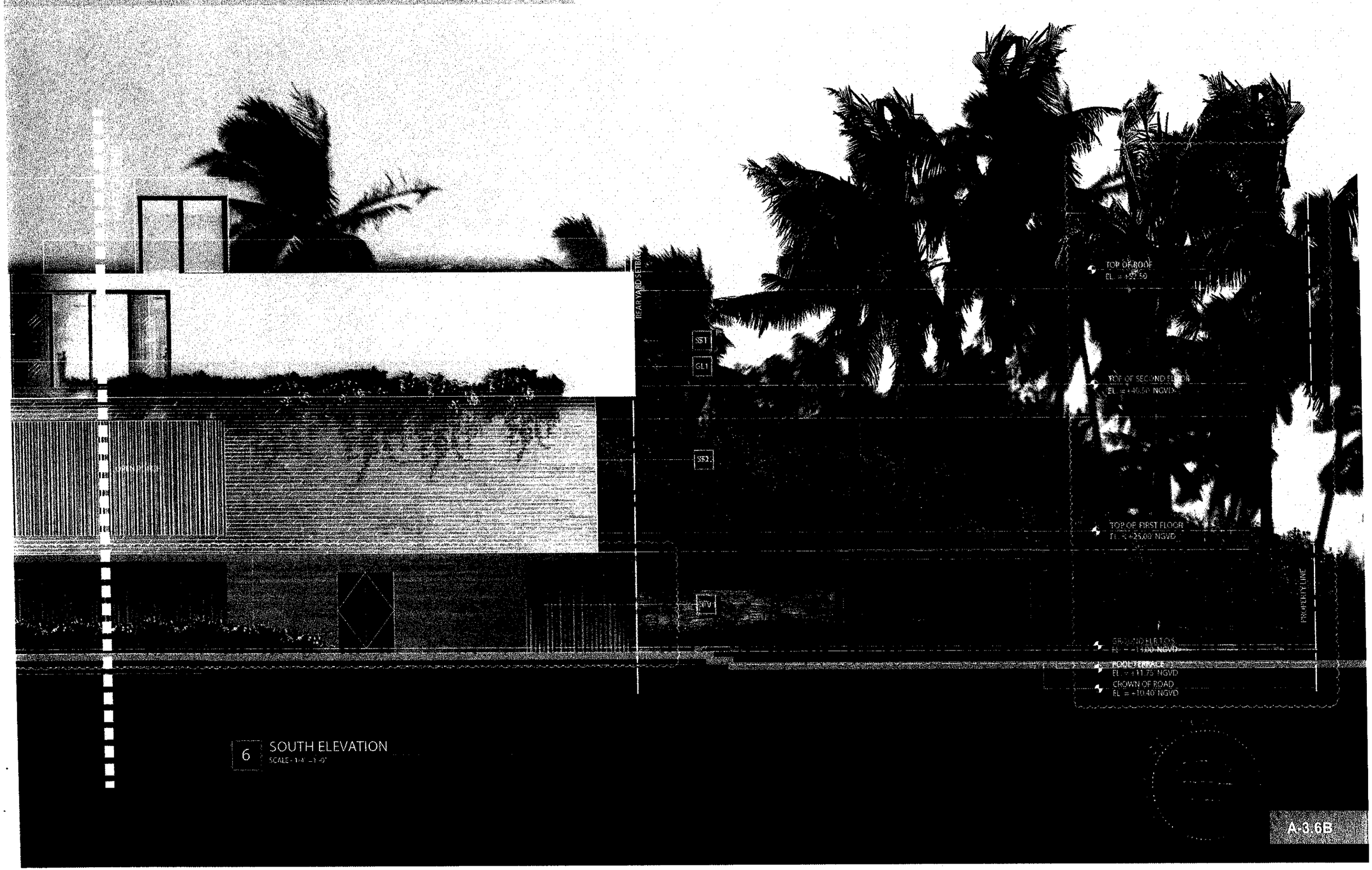
RENDERED SOUTH ELEVATION



A-3.6A

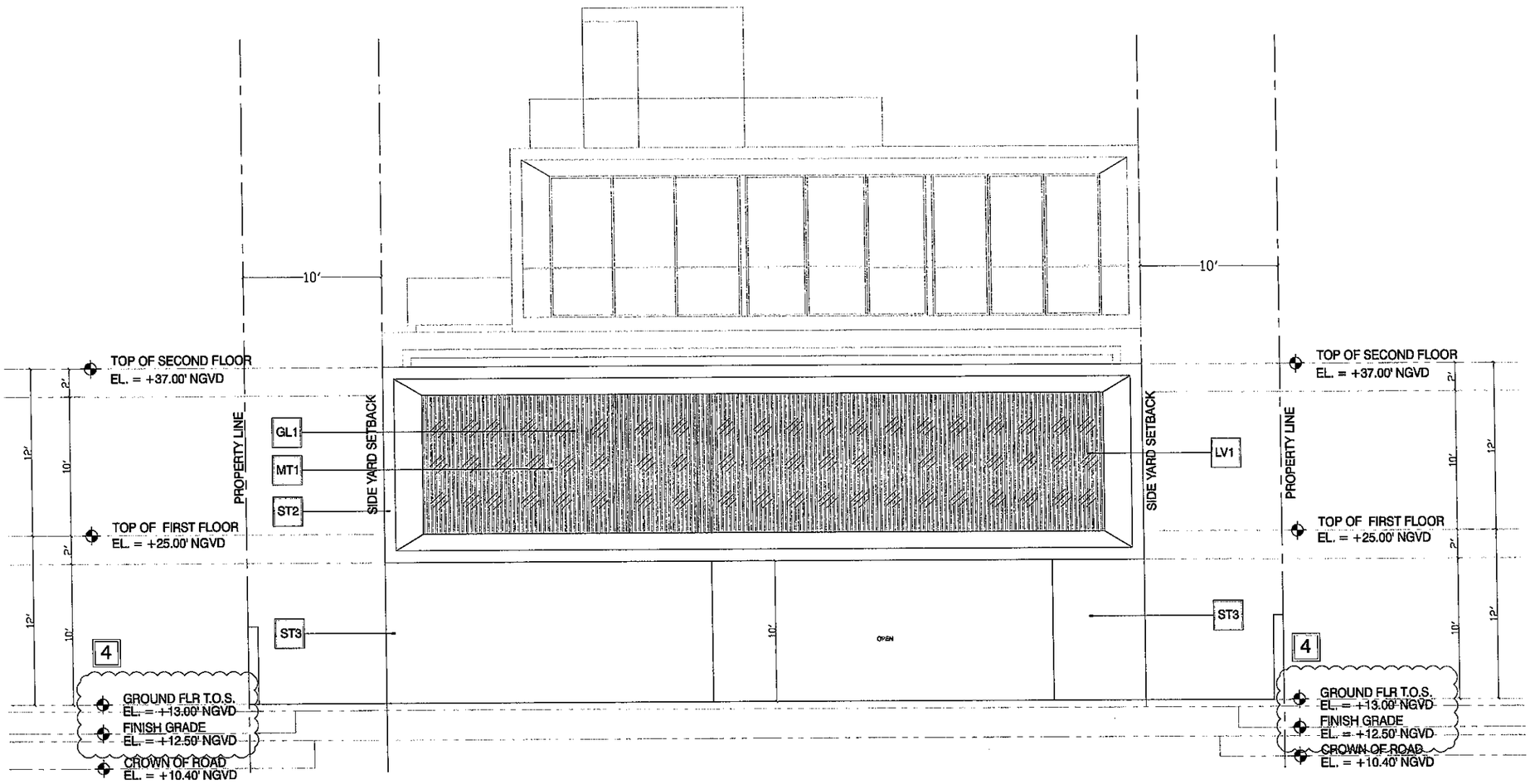
RENDERED SOUTH ELEVATION



6 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

A-3.6B

CARRIAGE HOUSE WEST ELEVATION



4 CARRIAGE HOUSE - WEST ELEVATION
SCALE - 1/4" =1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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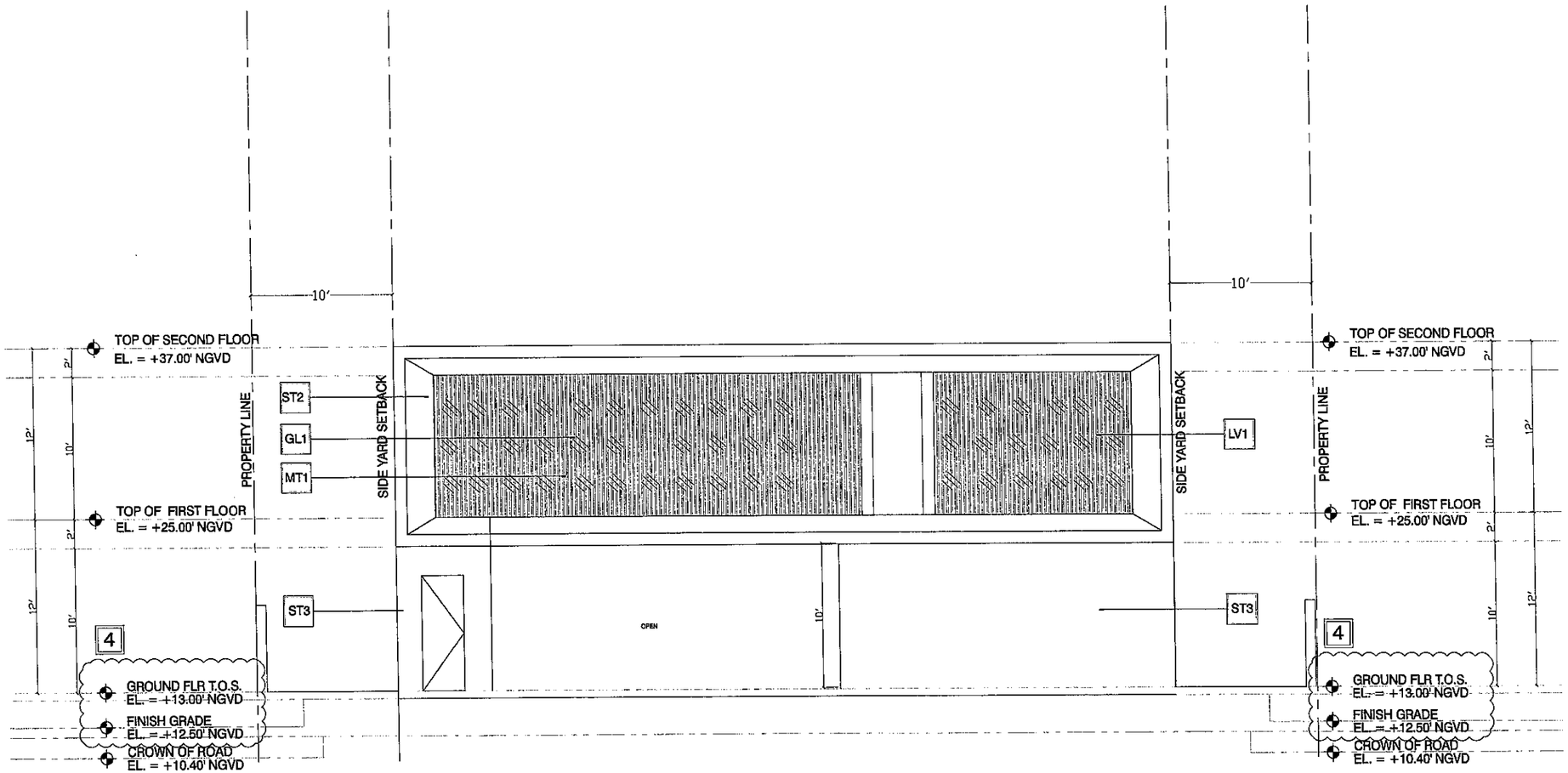
A4.0

CARRIAGE HOUSE EAST ELEVATION



3 CARRIAGE HOUSE - EAST ELEVATION
SCALE - 1/4" =1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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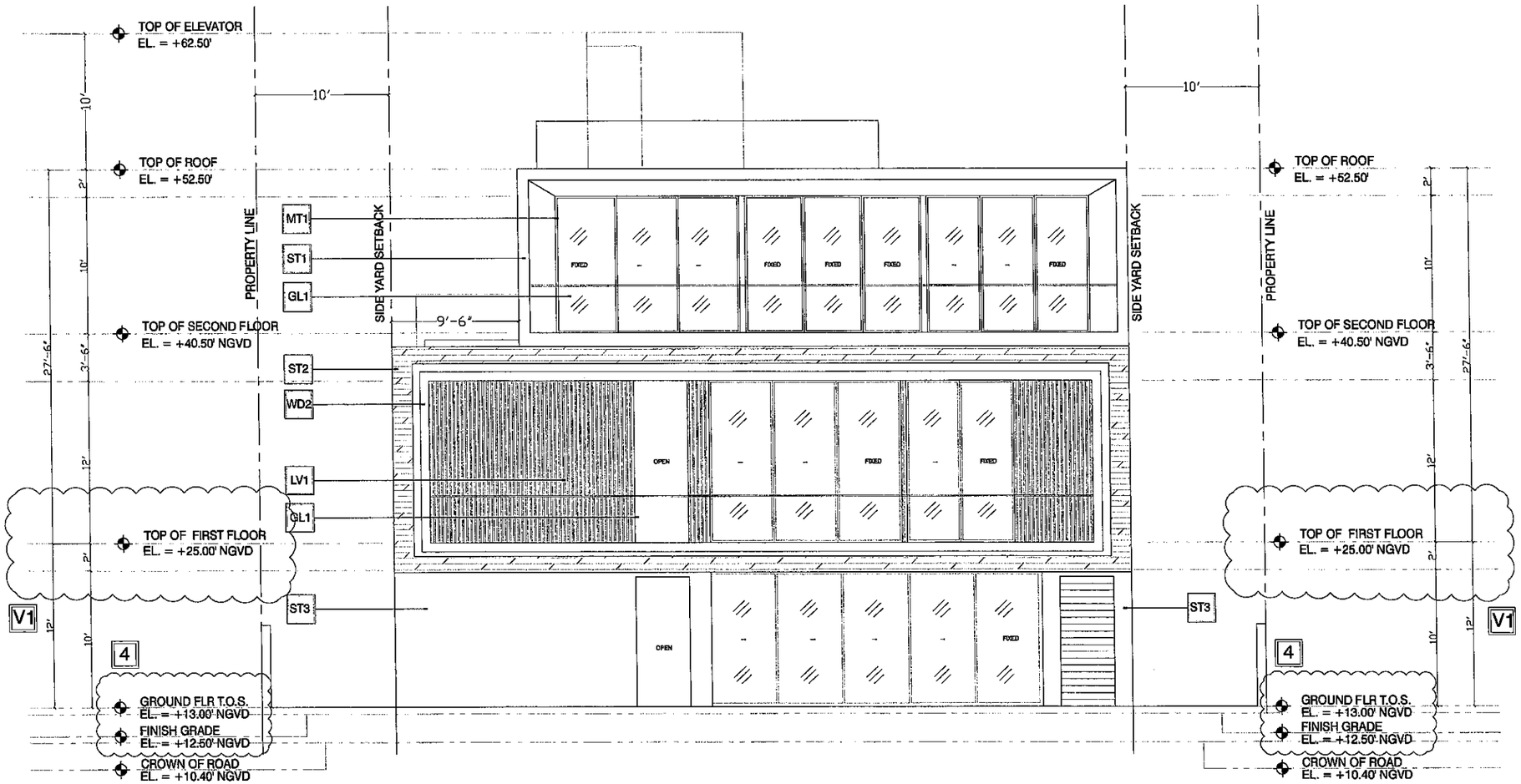
A-4

MAIN HOUSE WEST ELEVATION



2 MAIN HOUSE - WEST ELEVATION
SCALE - 1/4" = 1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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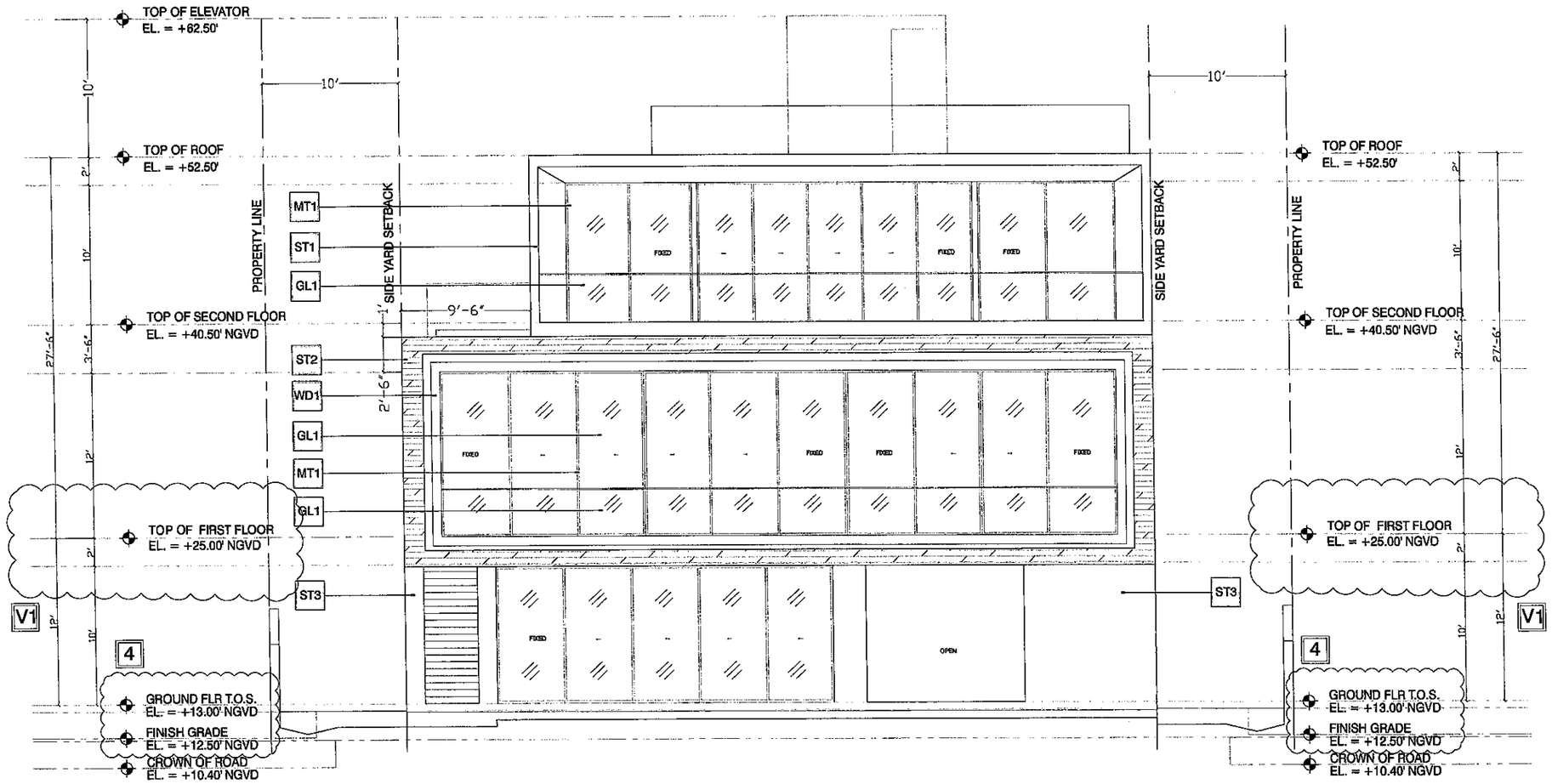
A-4.2

MAIN HOUSE EAST ELEVATION



1 MAIN HOUSE - EAST ELEVATION
SCALE - 1/4" =1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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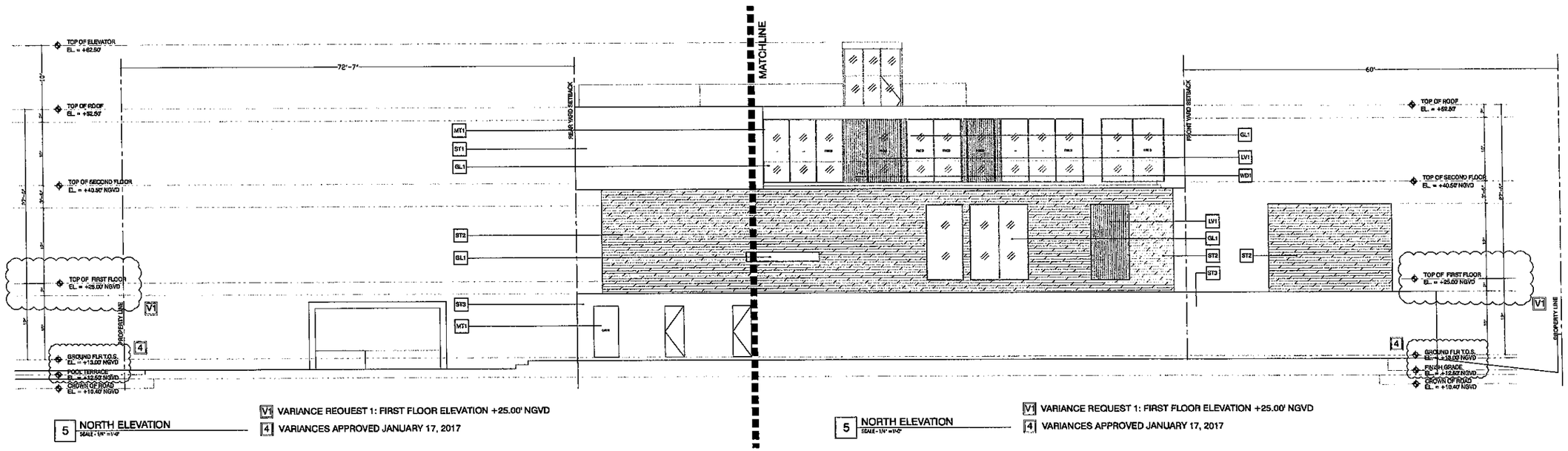
NORTH ELEVATION



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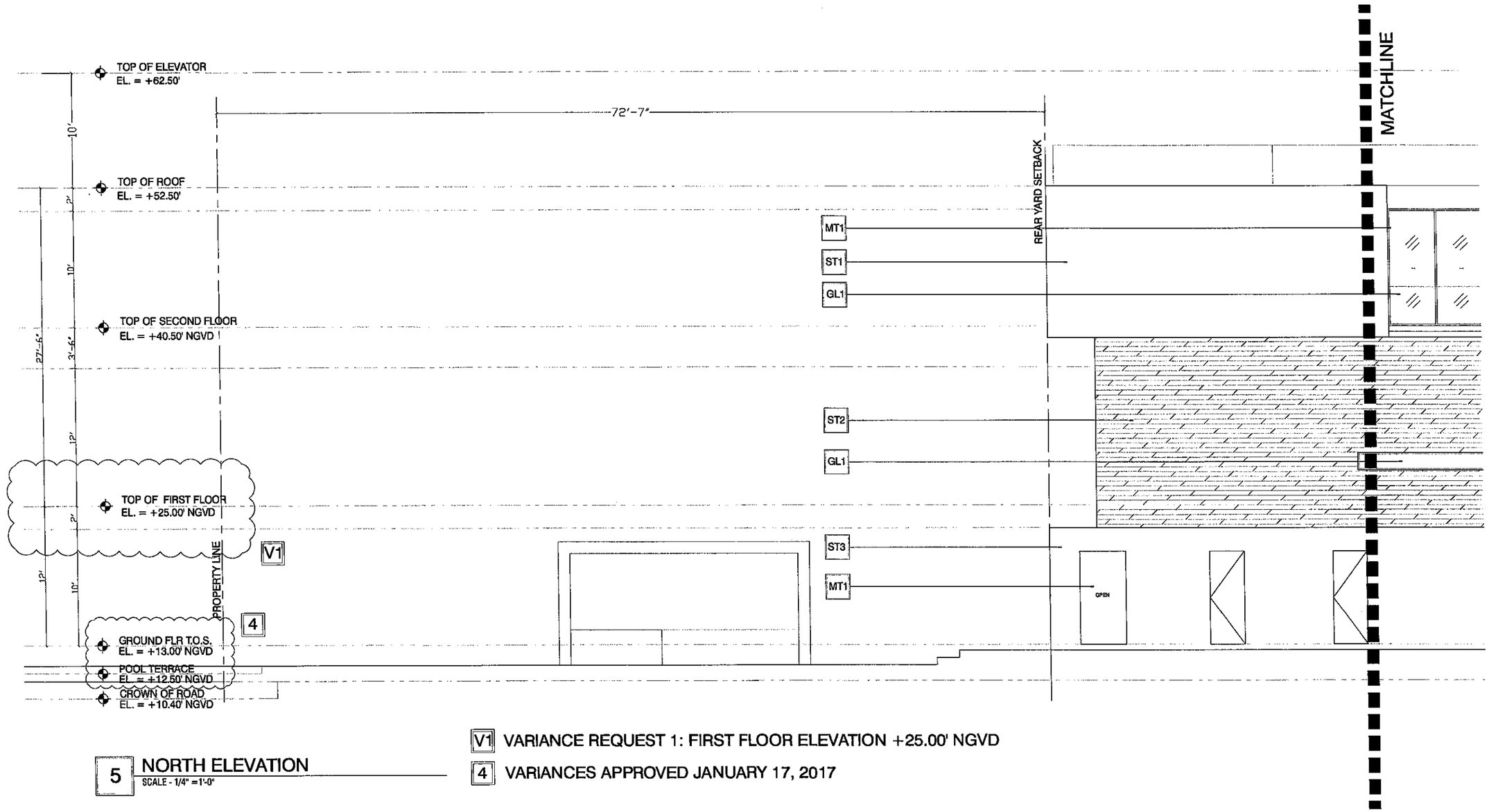
A-4

NORTH ELEVATION



5 NORTH ELEVATION
SCALE - 1/4" =1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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GOLDEN BEACH, FLORIDA

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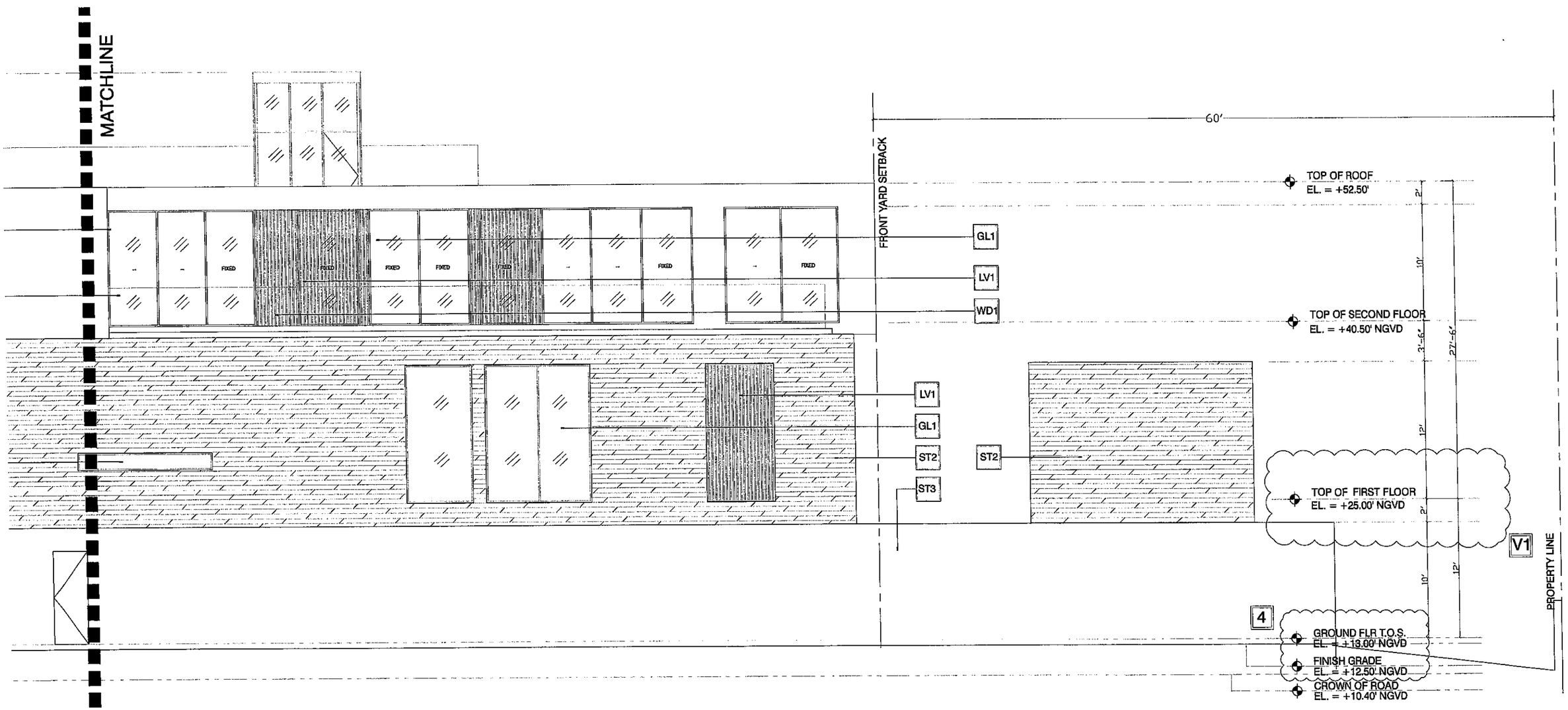
A-4.4A

NORTH ELEVATION



5 NORTH ELEVATION
SCALE - 1/4" = 1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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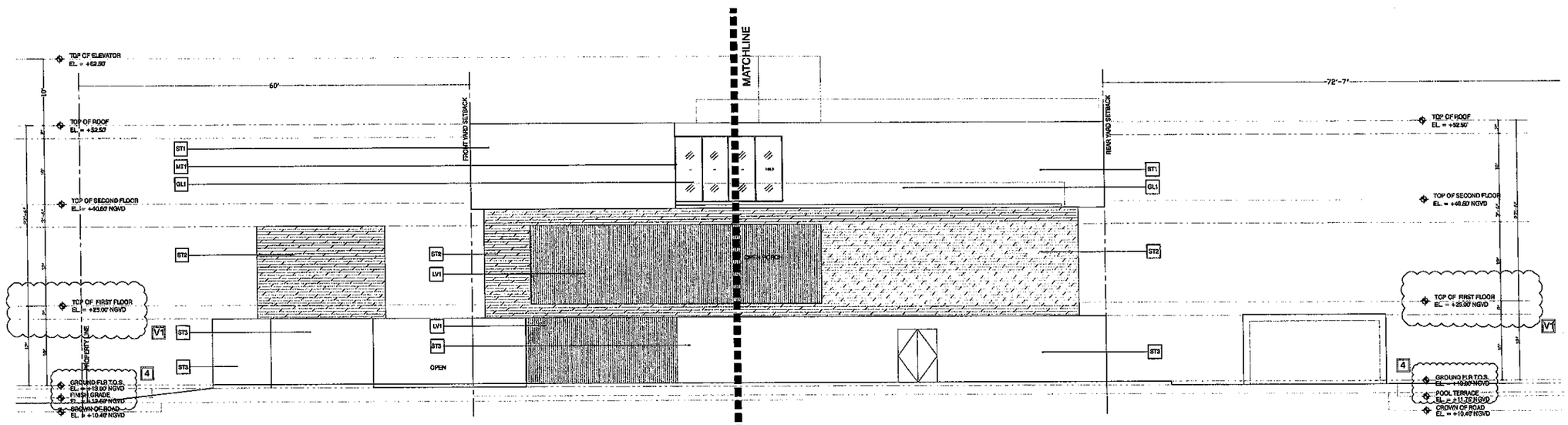
A-4.4B

SOUTH ELEVATION



6 SOUTH ELEVATION
SCALE = 1/4" = 1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

6 SOUTH ELEVATION
SCALE = 1/4" = 1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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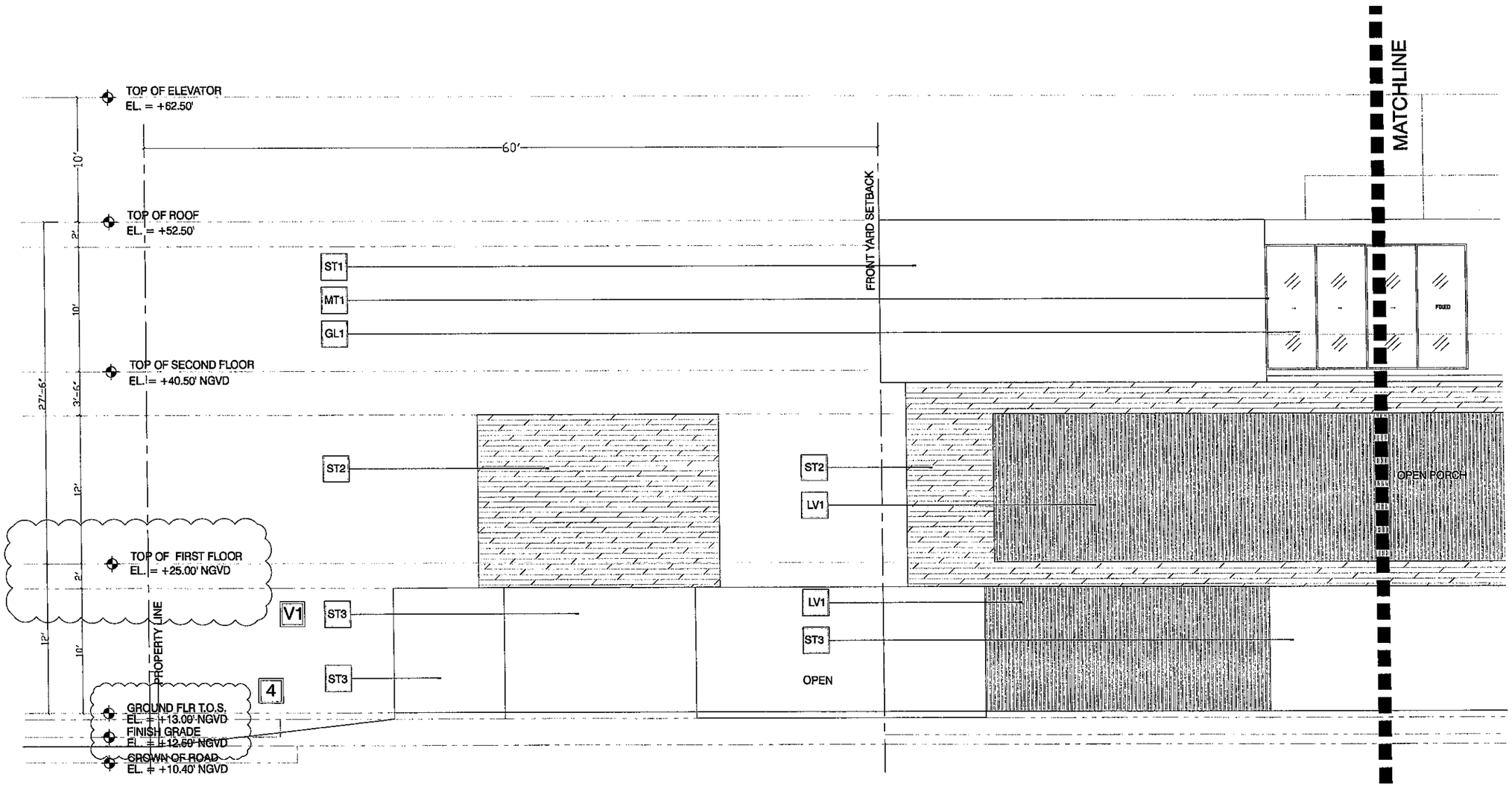
SOUTH ELEVATION



6 SOUTH ELEVATION
SCALE - 1/4" = 1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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GOLDEN BEACH, FLORIDA

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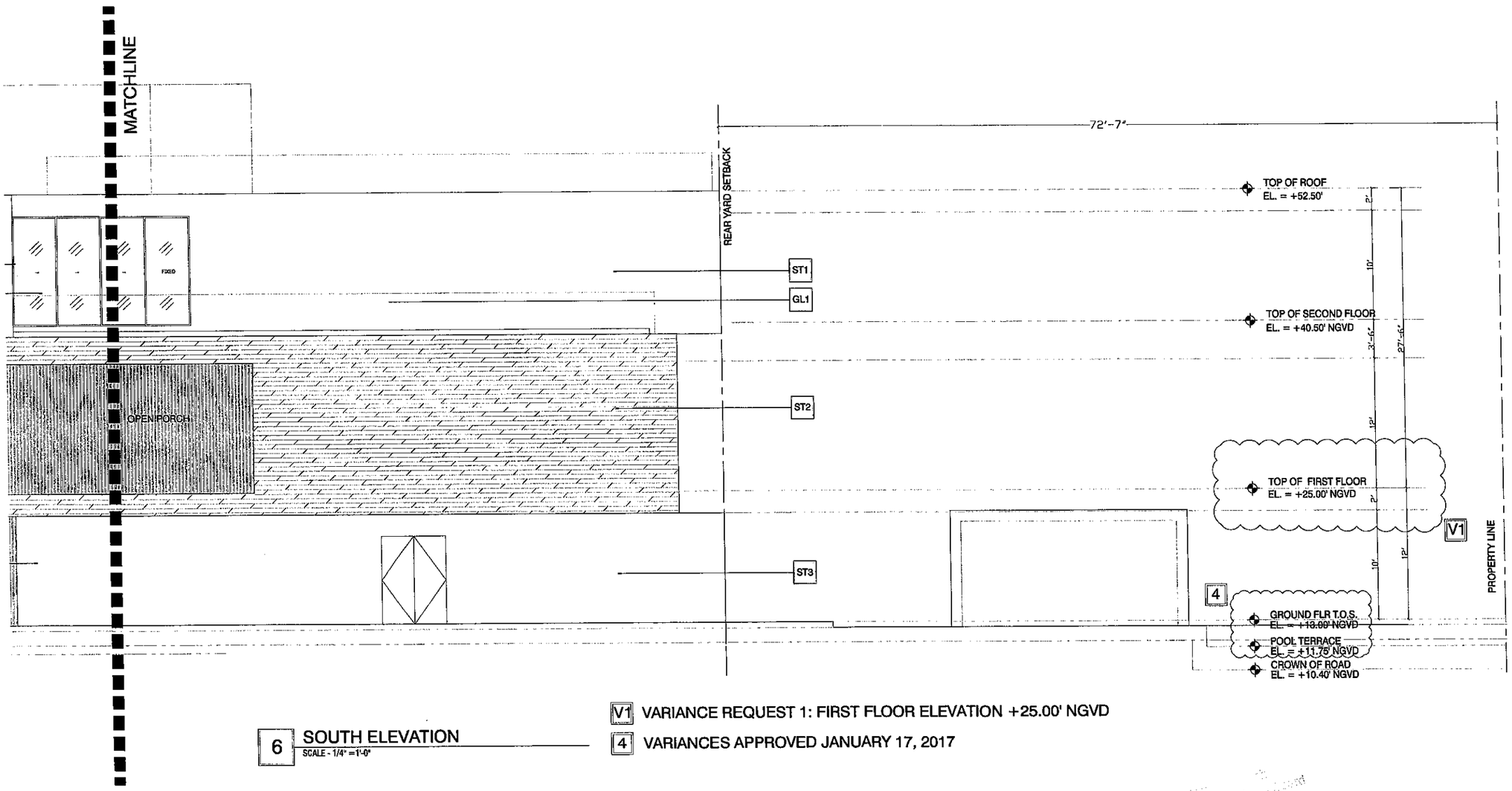
A-4.6A

SOUTH ELEVATION



6 SOUTH ELEVATION
SCALE - 1/4" = 1'-0"

V1 VARIANCE REQUEST 1: FIRST FLOOR ELEVATION +25.00' NGVD

4 VARIANCES APPROVED JANUARY 17, 2017

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GOLDEN BEACH, FLORIDA

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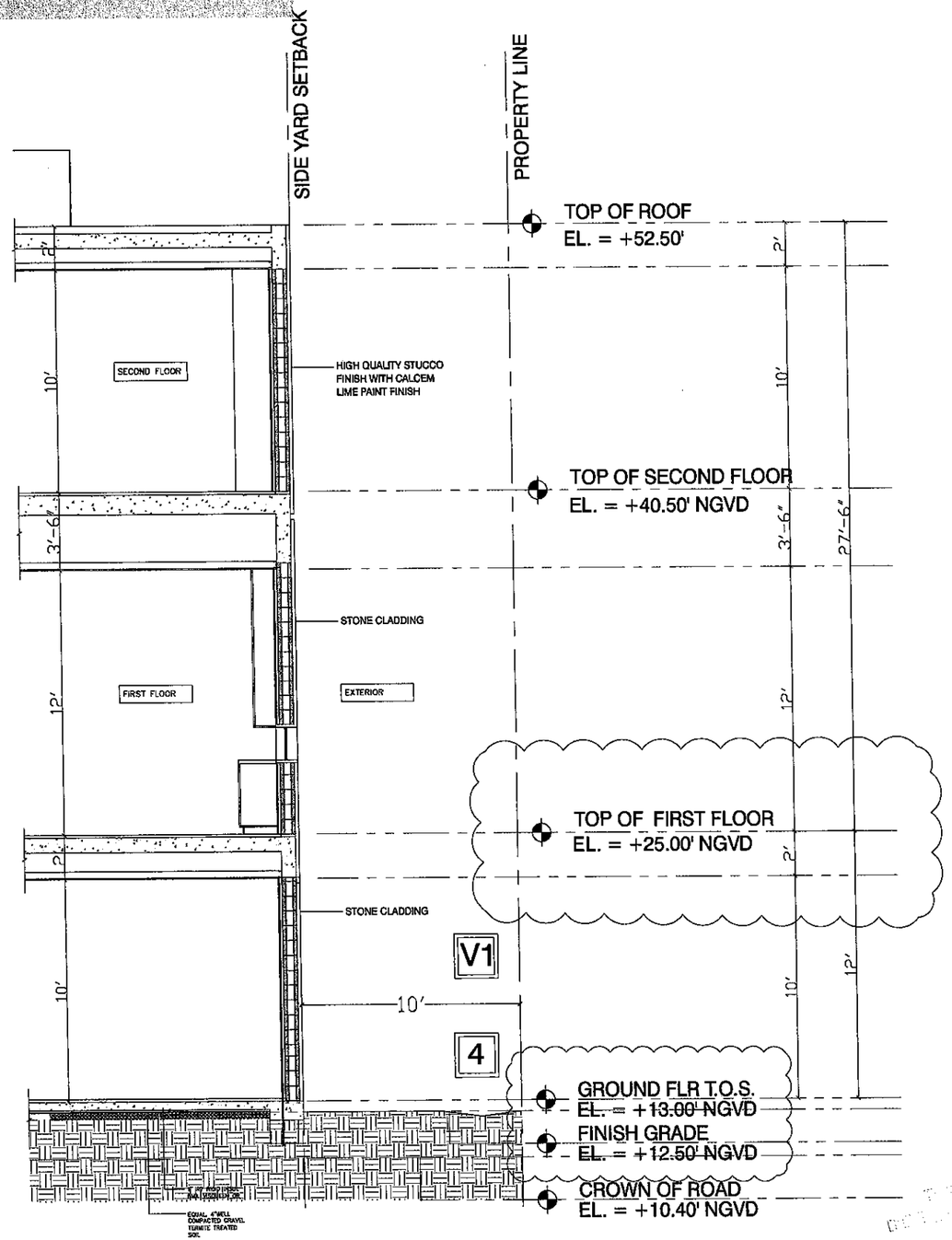
WALL SECTION



263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

03/06/17

A-60

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF GOLDEN BEACH, CITY OF NORTH MIAMI BEACH AND MIAMI-DADE COUNTY STANDARDS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.

3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.

4. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.

5. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.

6. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.

7. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.

8. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.

9. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.

10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.

2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.

3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.

4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT. (WITH THE EXCEPTION OF DRAINAGE AND WATER & SEWER APPROVALS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FDOT WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD.)

5. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.

6. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

THE ENGINEER SHALL REQUIRE A COLOR T.V. SURVEY AND SHALL REQUIRE AN EXFILTRATION/INFILTRATION TEST PRIOR TO ACCEPTANCE. THE SURVEY AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.

INSPECTIONS:
THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:

1.) STORM DRAINAGE
2.) SANITARY SEWER
3.) WATER SYSTEM SUBGRADE – SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
4.) LIMEROCK BASE – SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5.) ASPHALTIC CONCRETE
6.) FINAL WALK-THROUGH INSPECTION
7.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: WATER/SEWER MAIN PIPING AND ASSOCIATED FITTINGS, CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES

A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.

B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

2. TRAFFIC REGULATION

A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND FDOT.

B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF GOLDEN BEACH AND CITY OF NORTH MIAMI BEACH PUBLIC WORKS DEPARTMENT.

VI. PROJECT CLOSE OUT:

1. CLEANING UP

A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN.

B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.

C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.

D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.

E.. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.

2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.

B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

GENERAL

1. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.

2. SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 4'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 4'-0" SHALL BE NON-PERFORATED PIPE.

3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

4. THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

VII. PAVING

1. GENERAL

A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.

B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.

C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.

D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF GOLDEN BEACH AND CITY OF NORTH MIAMI BEACH STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.

E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.

F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.

G. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

1. PAVEMENT MARKINGS

A. INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.

B. MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.

2. TRAFFIC SIGNS

A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART II, IN LOCATIONS SHOWN ON PLANS.

B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.

Walter Lugo

263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

Digitally signed by Walter Lugo
DN: serialNumber=7zpr84cxgsgpz0cn, c=US, st=Florida, l=Miami, o=Walter M. Lugo, cn=Walter Lugo
Date: 2016.11.01 13:17:52 -04'00'

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N E W R E S I D E N C E
263 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160

GENERAL NOTES AND SPECIFICATIONS

seal

WALTER M. LUGO
LICENSE
NO. 61747
STATE OF FLORIDA
PROFESSIONAL ENGINEER

WALTER M. LUGO P.E.
FL PE# 61747

comm
1608

date:
07-18-2016

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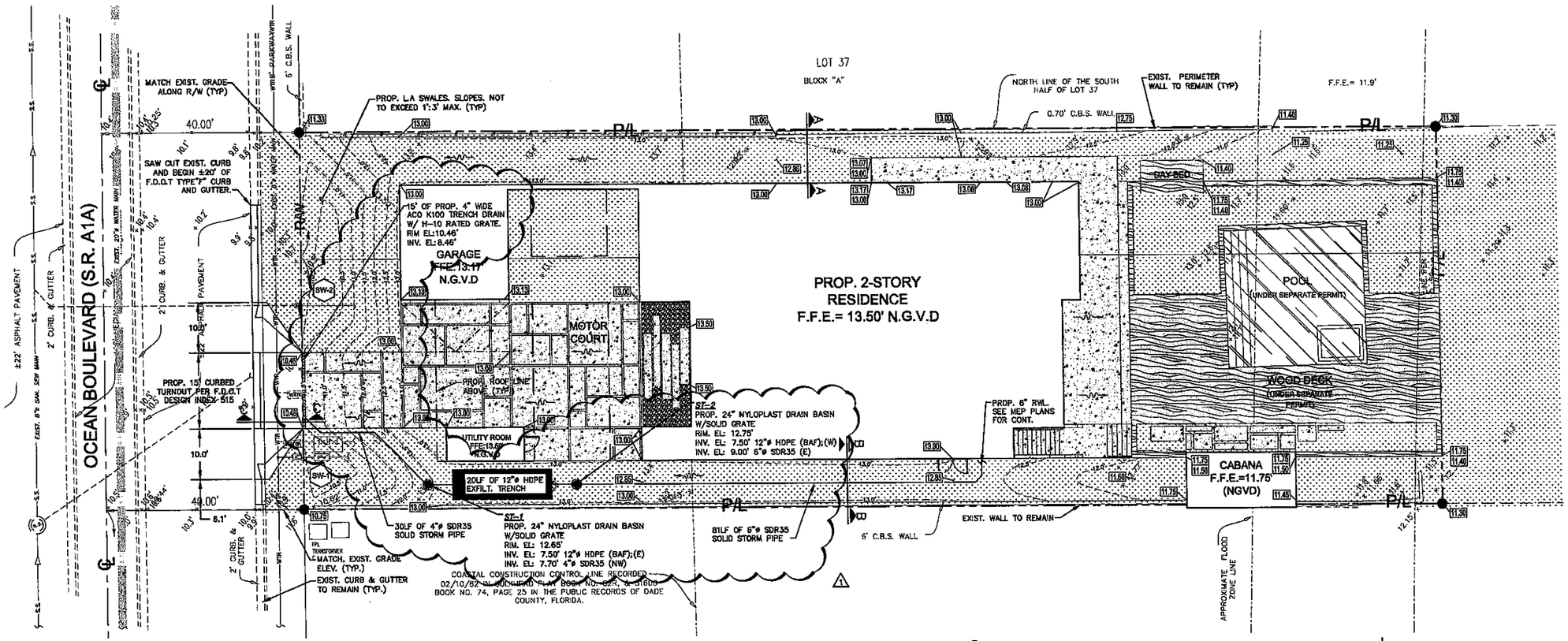

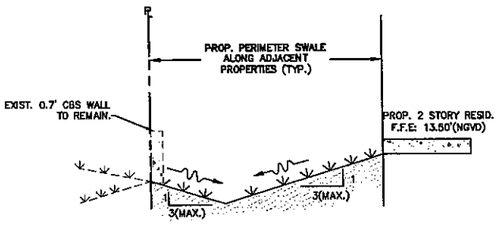

SECTION A-A
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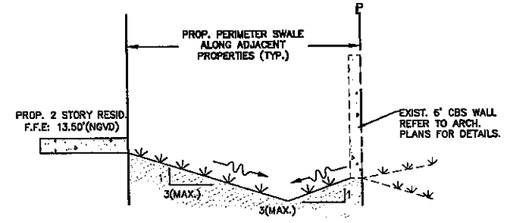

SECTION B-B
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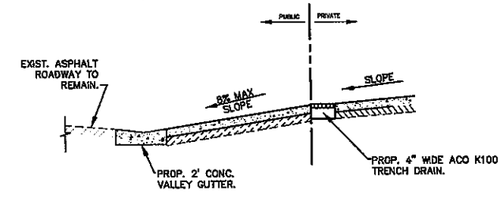

SECTION C-C
DRIVEWAY SECTION
N.T.S

GRAPHIC SCALE
0 5 10 20
(IN FEET)
1" = 10'

LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- x10.31' EXISTING ELEVATIONS (NGVD)
- DIRECTION OF SURFACE RUNOFF
- PROP. LANDSCAPE AREA. REFER TO LA PLAN FOR DETAILS.
- PROP. CONCRETE PAVING. (SEE ARCH. PLANS FOR DETAILS)
- PROP. WOOD DECK (SEE ARCH. PLANS FOR DETAILS)
- 8.10 PROP. GRADE ELEVATION (NGVD)
- SW-X PROP. SWALE AREA

NOTE:

1. ALL WALKWAYS TO BE CONSTRUCTED WITH 2% TRANSVERSE SLOPE.
2. ANY PROPOSED CONSTRUCTION JOINTS ARE TO BE SAW CUT AND MATCH PROPOSED GRADE ELEVATIONS.
3. ALL PROPOSED GRADING SHALL BE SLOPED TOWARDS THE NEAREST PROPOSED SWALE AREA.
4. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION MOST CURRENT DESIGN STANDARDS AND SPECIFICATIONS.

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SUITE 506 AA26002383

NEW RESIDENCE
263 OCEAN BOULEVARD
GOLDEN BEACH, FL 33160

PAVING, GRADING AND DRAINAGE PLAN

seal
WALTER M. LUGO LICENSE NO. 61747 STATE OF FLORIDA PROFESSIONAL ENGINEER
WALTER M. LUGO P.E.
FL PE# 61747

comm
1608

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07-18-2016

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1 02-07-2017 ADDRESS CITY COMMENTS

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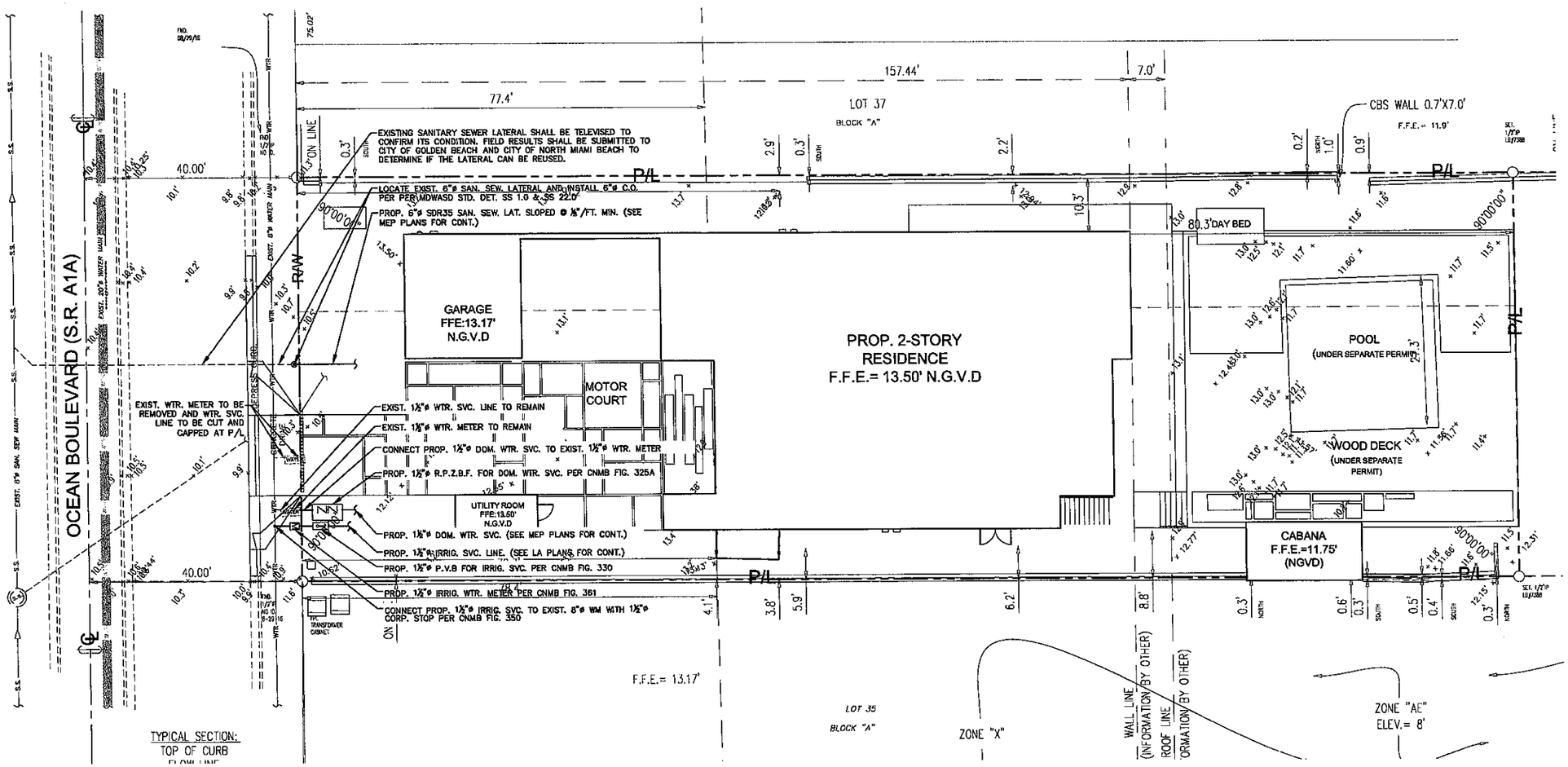
GOLDEN BEACH, FLORIDA



GRAPHIC SCALE

0 5 10 20

(IN FEET)
1" = 10'

LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- ×10.31' EXISTING ELEVATIONS (NGVD)

NOTES:

1. EXISTING 6"ø SANITARY SEWER LATERAL SHALL BE LOCATED AND TELEVISED FOR INSPECTIONS. FIELD RESULTS SHALL BE SUBMITTED TO THE CITY OF NORTH MIAMI BEACH (GOLDEN BEACH) PUBLIC WORKS SECTION FOR FINAL DETERMINATION OF USE APPROVAL.

2. TWO COPIES OF THE VIDEO INSPECTION DOCUMENTS ARE TO BE SUBMITTED TO THE CITY OF NORTH MIAMI BEACH–PUBLIC WORKS DEPARTMENT FOR REVIEW AND FINAL CONNECTION APPROVAL.

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WATER AND SEWER PLAN

seal

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LICENSE NO. 61747
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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FL PE# 61747

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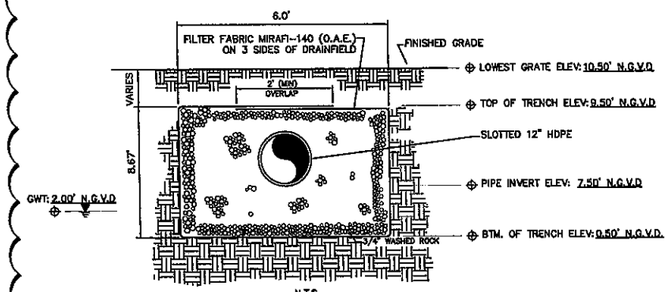
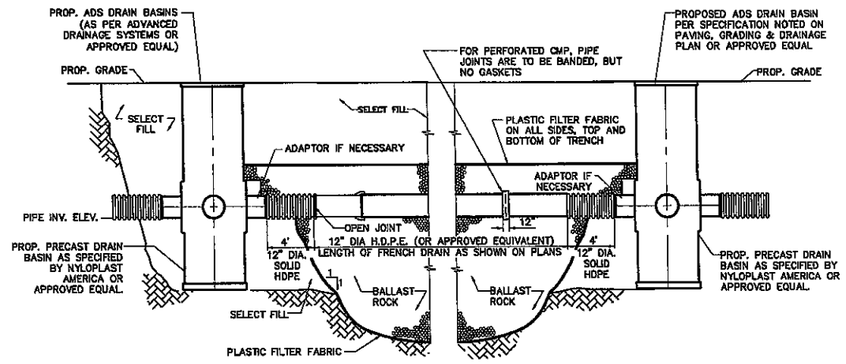


N.T.S.

EXFILTRATION TRENCH FOR 12" SLOTTED H.D.P.E.



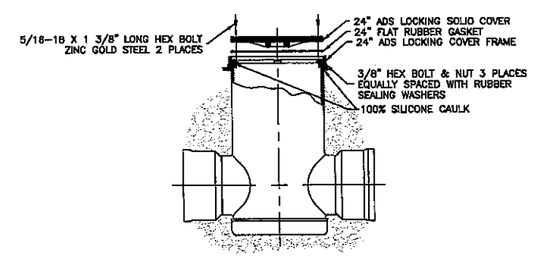
LONGITUDINAL SECTION

N.T.S.

NOTE:

AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.

TYPICAL CATCH BASIN AND EXFILTRATION TRENCH DETAIL



FRAME ATTACHMENT TO DRAINAGE BASIN DETAIL

N.T.S.

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DRAINAGE DETAILS

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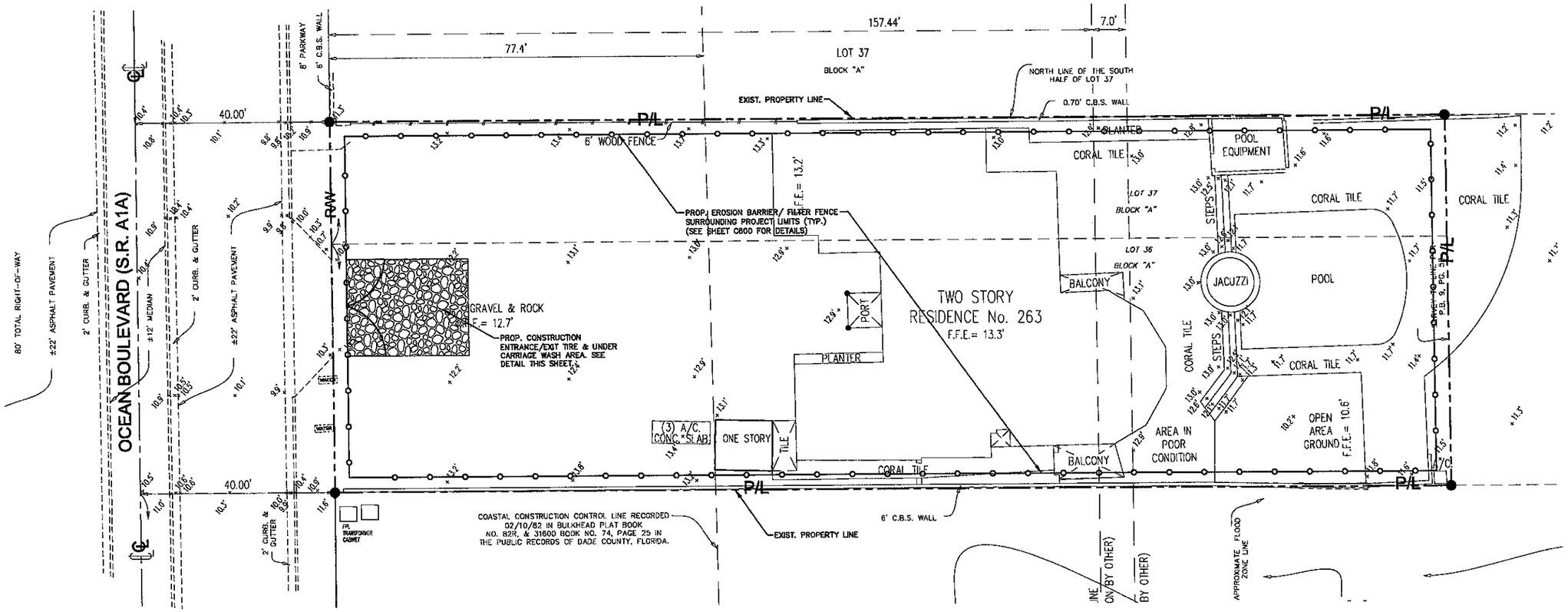

GRAPHIC SCALE

0 5 10 20

(IN FEET)
1" = 10'

LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- ×8.00' EXISTING ELEVATIONS (NGVD)
- PROP. EROSION BARRIER PER CMB DETAIL SES13. (SEE CIVIL SHT. C600 FOR DETAILS)

NOTES:

1. CONTRACTOR SHALL INSTALL GEOTEXTILE FABRIC IN EACH CATCH BASIN, FLOOR DRAIN OR TRENCH DRAINS IN THE EFFORTS TO PROTECT THE PROPOSED STORM WATER MANAGEMENT SYSTEM FROM DEBRIS AND SEDIMENTATION.
2. IN ACCORDANCE TO FDEP NPDES PERMIT REQUIREMENTS, EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED.

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SEDIMENTATION AND EROSION CONTROL PLAN

seal

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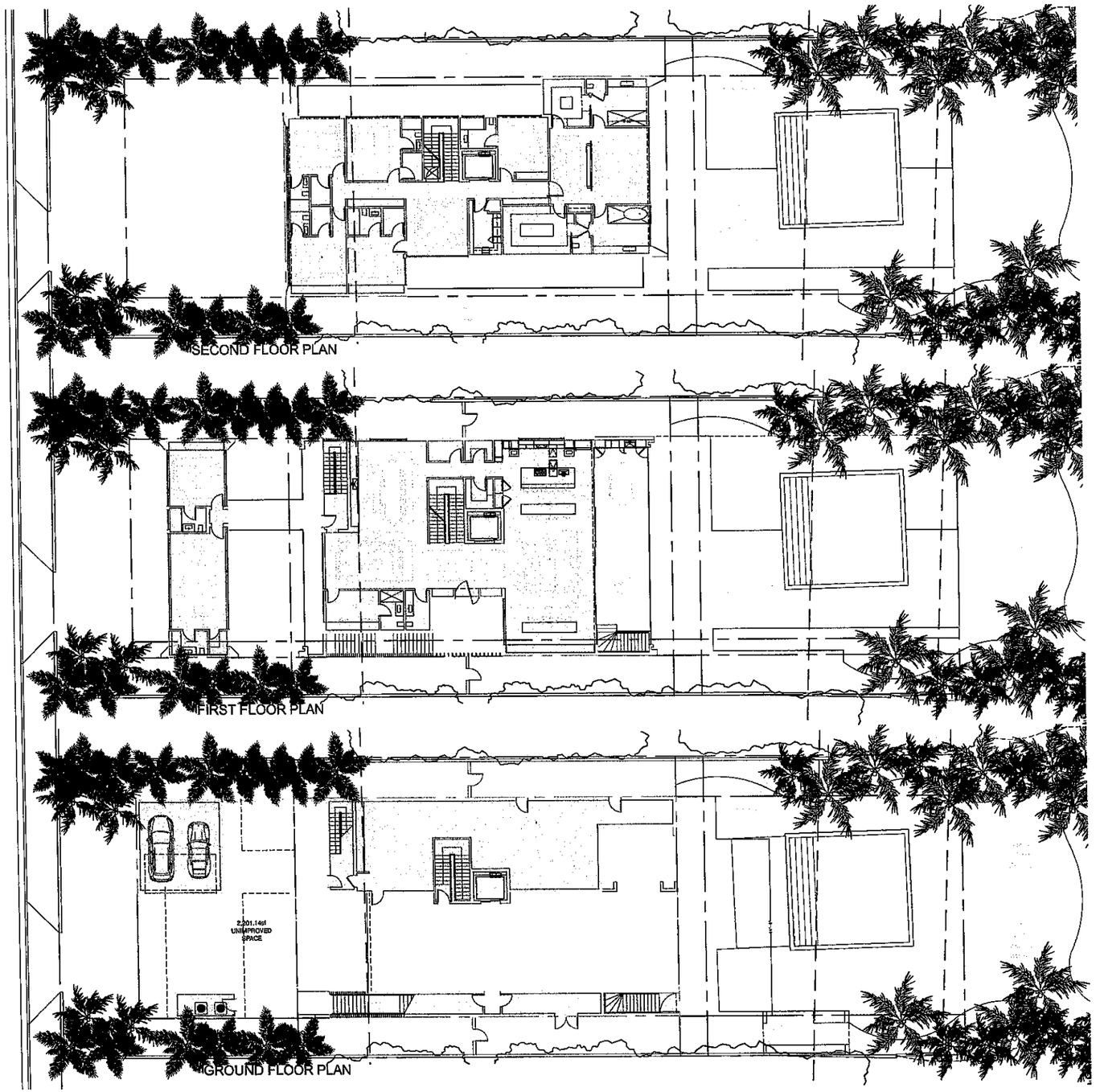
263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

AREA CALCULATIONS DIAGRAMS



SECOND FLOOR	
MAIN HOUSE	3,922 SF
FIRST FLOOR	
MAIN HOUSE	3,416 SF
CARRIAGE HOUSE	880 SF
GROUND FLOOR	
MAIN HOUSE	2,653 SF
GARAGE	445 SF
TOTAL AREA	**11,316 SF**

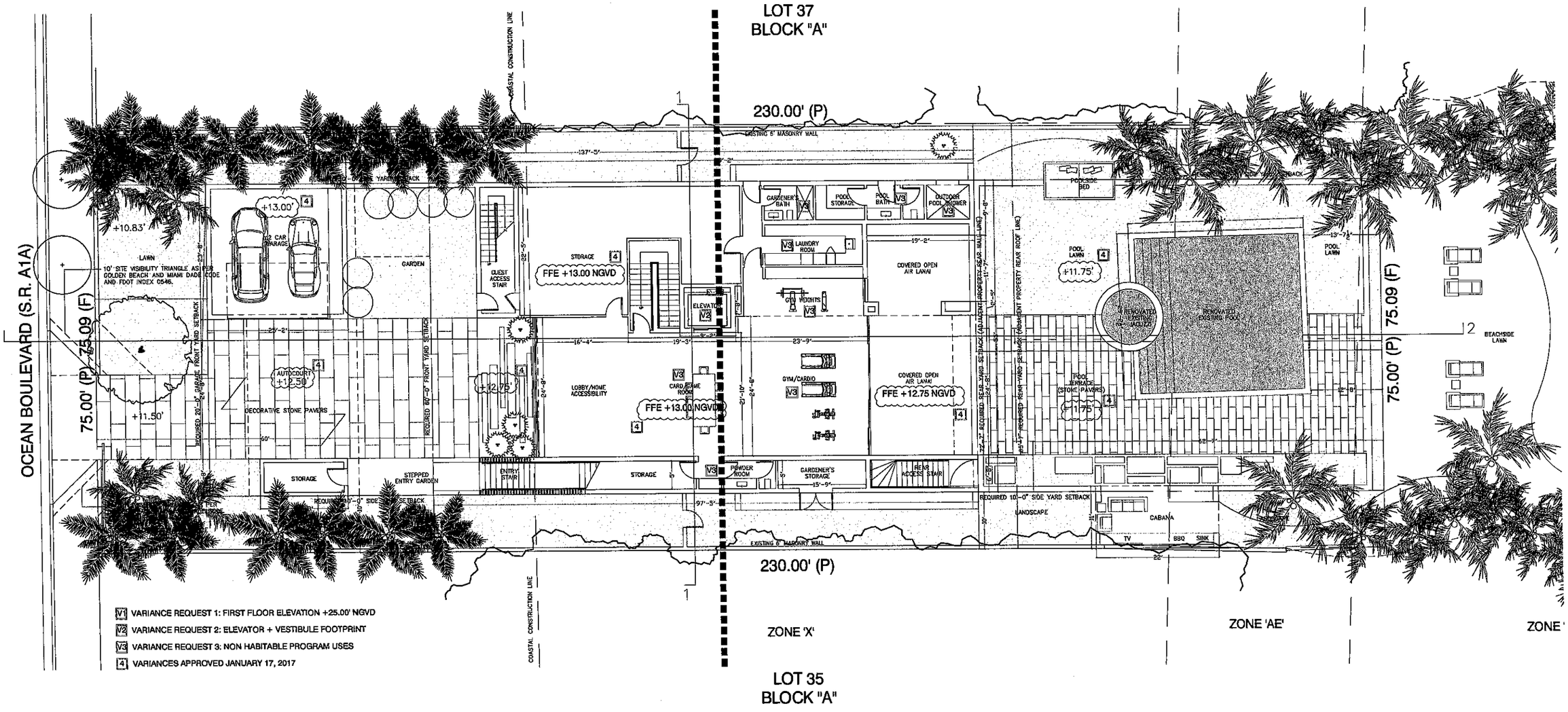
03/06/17

263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

DOMO ARCHITECTURE + DESIGN
ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING
A26002383

A.6.1

PERVIOUS AREA CALCULATIONS DIAGRAM



NORTH

PERVIOUS AREA PLAN

263 OCEAN BOULEVARD

SCALE: 3/8"=1'-0"

LOT AREA:	17,250 SF
PERVIOUS AREA:	6,624.7 SF
%PERVIOUS AREA:	38.4%

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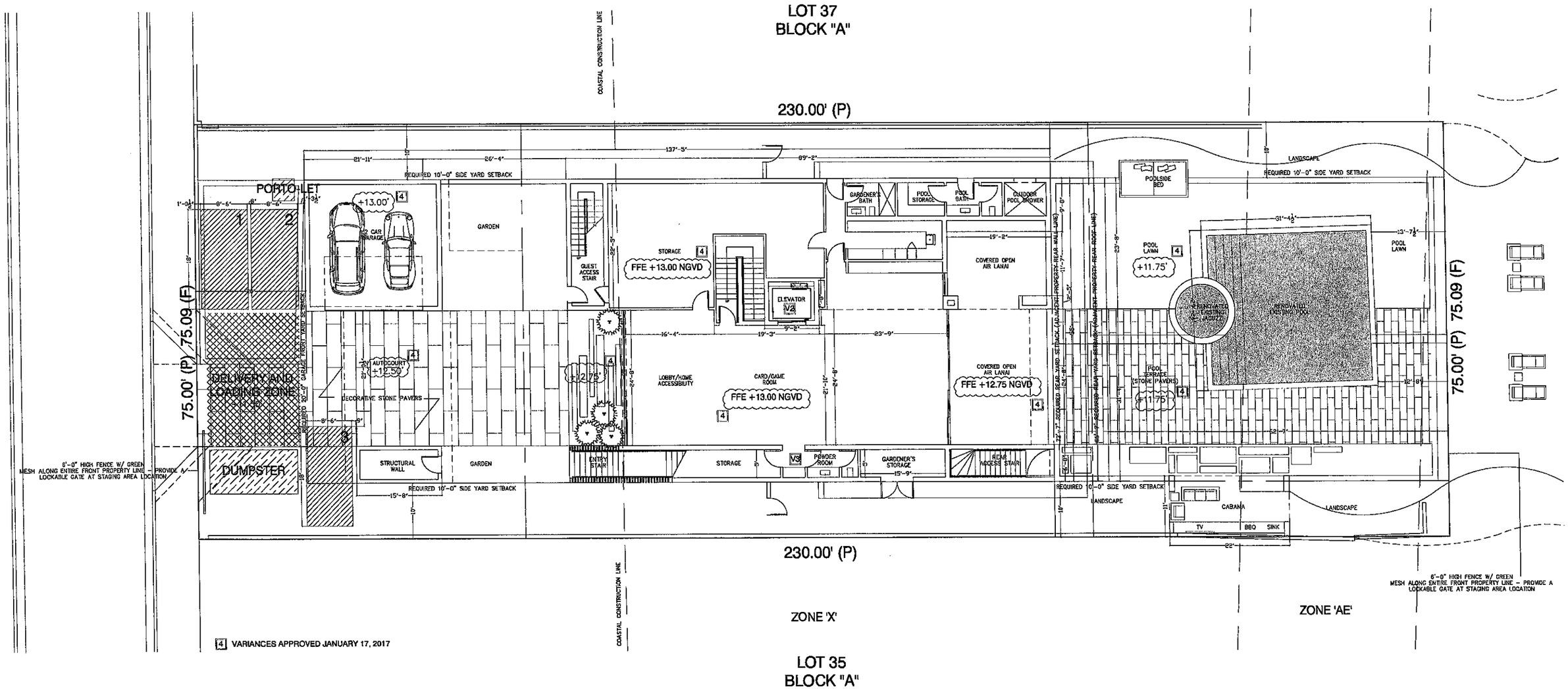
A.6.2

CONSTRUCTION PERSONNEL PARKING PLAN



NORTH

CONSTRUCTION PARKING PLAN

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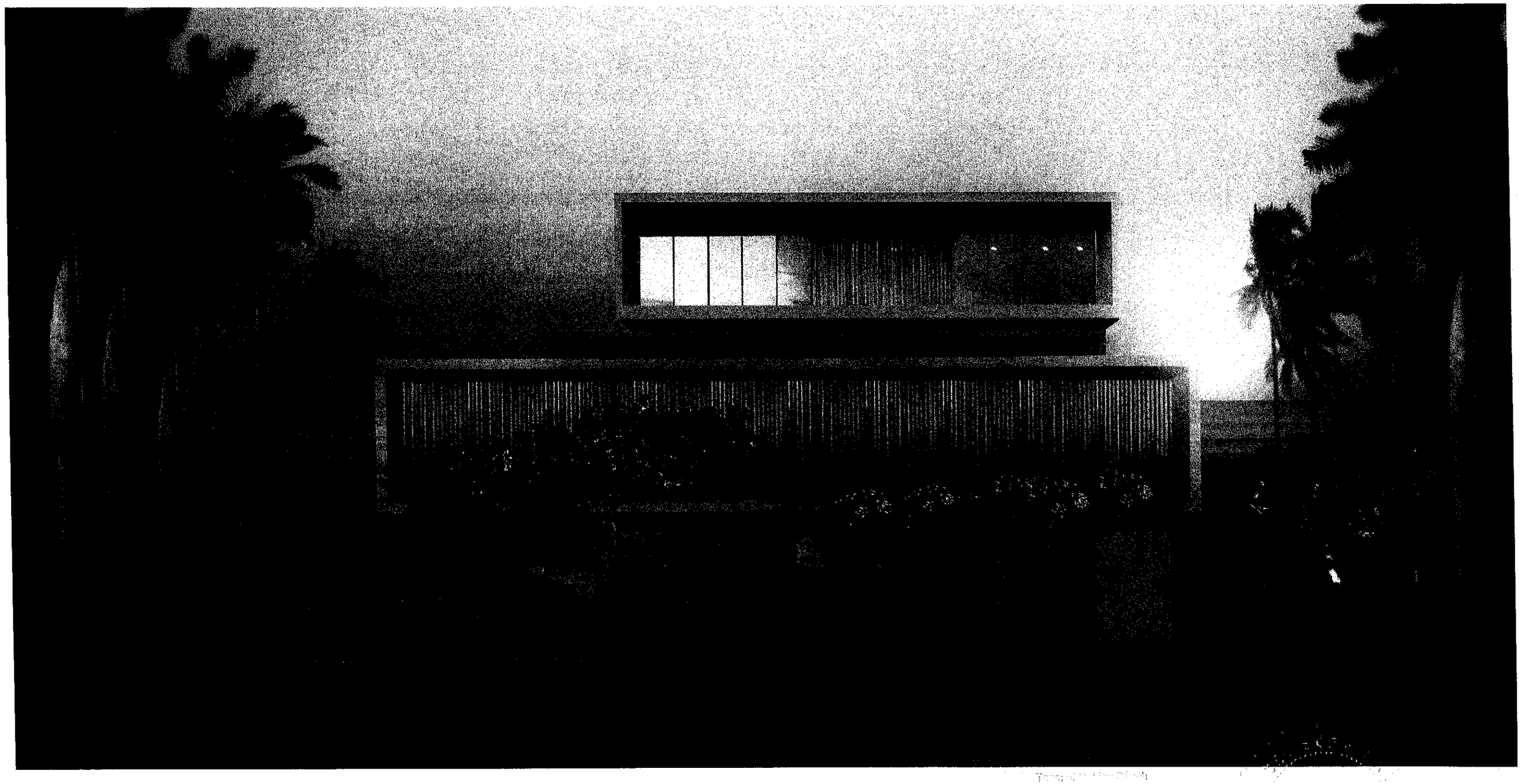
A-6.3

RENDERING



STREET VIEW

263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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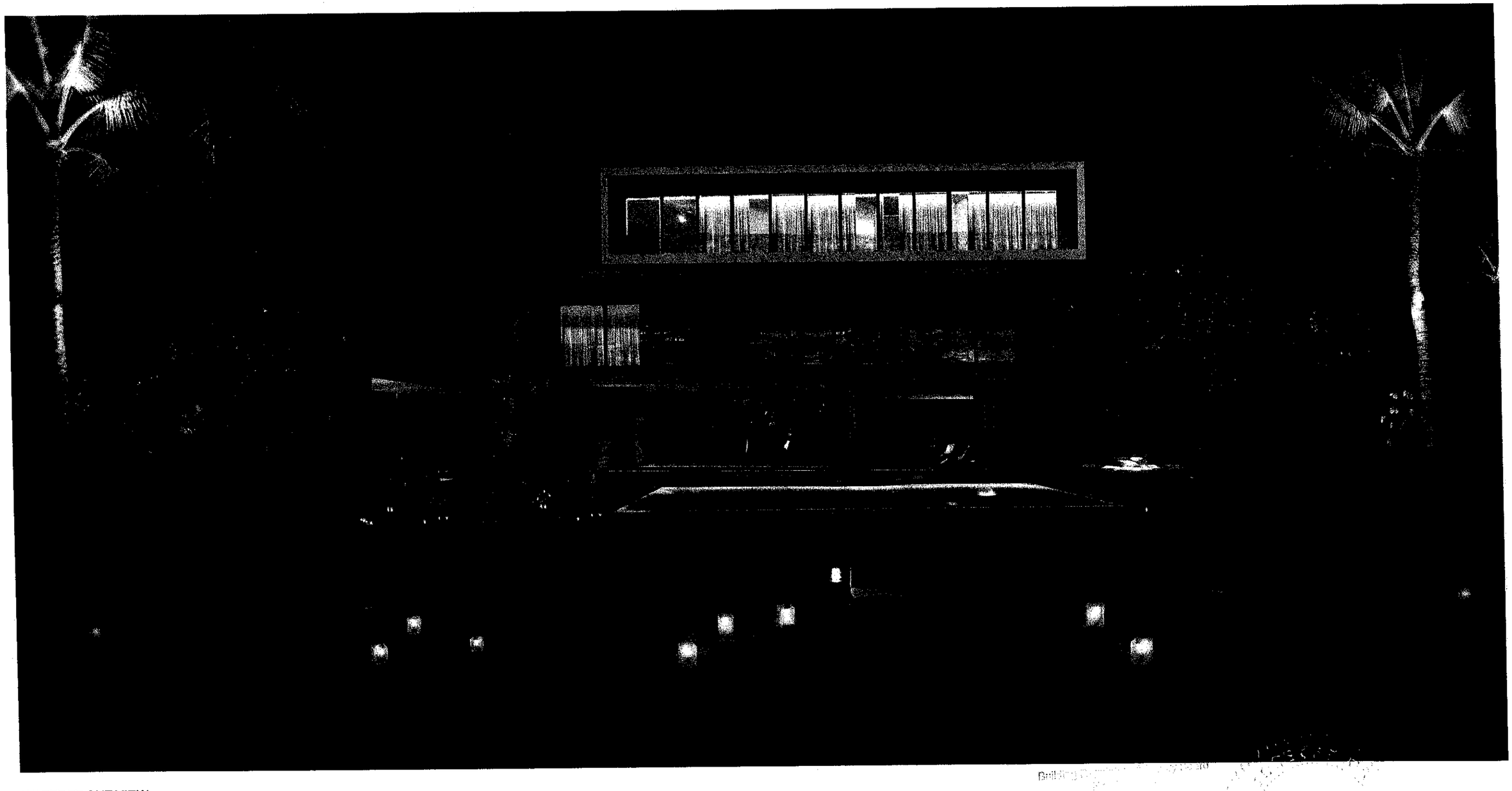
A-7.0



WATERFRONT VIEW

263 OCEAN BLVD
GOLDEN BEACH, FLORIDA

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