



TOWN OF GOLDEN BEACH

**One Golden Beach Drive
Golden Beach, FL 33160**

**Official Agenda for the August 20, 2013
Special Town Council Meeting called for 7:00 P.M.**

A. MEETING CALLED TO ORDER

B. ROLL CALL

C. PLEDGE ALLEGIANCE

D. PRESENTATIONS / TOWN PROCLAMATIONS

Swearing-In of Part-time Police Officer Thomas Moran

Employee of the First & Second Quarter 2013

E. MOTION TO SET THE AGENDA

ADDITIONS/ DELETIONS/ REMOVAL OF ITEMS FROM CONSENT
AGENDA/ AND CHANGES TO AGENDA

F. GOOD AND WELFARE

G. MAYOR'S REPORT

H. COUNCIL COMMENTS

I. TOWN MANAGER REPORT

*CIP Report & Update

J. TOWN ATTORNEY REPORT

K. ORDINANCES – SECOND READING

None

L. ORDINANCES - FIRST READING

- 1. An Ordinance of the Town Council Amending the Town of Golden Beach Employees Pension Plan.**

AN ORDINANCE OF THE TOWN OF GOLDEN BEACH, FLORIDA, AMENDING THE TOWN OF GOLDEN BEACH EMPLOYEES PENSION PLAN (THE "PLAN") CODIFIED IN DIVISION 1 "GENERAL EMPLOYEES" OF ARTICLE II "RETIREMENT" OF CHAPTER 24 "PERSONNEL" IN THE TOWN'S MUNICIPAL CODE OF ORDINANCES TO CHANGE THE DEFINITION OF "FULL-TIME EMPLOYMENT" TO AT LEAST 40 HOURS PER WEEK AND AT LEAST SIX MONTHS PER YEAR; BY AMENDING SECTION 24-31 "DEFINITIONS" OF ARTICLE II "RETIREMENT"; PROVIDING FOR A REPEALER; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 1
Ordinance No. 557.13

Sponsor: Town Administration

Recommendation: Motion to Approve Ordinance No. 557.13

M. QUASI JUDICIAL RESOLUTIONS

2. A Resolution of the Town Council Approving a Variance Request for the Property Located at 298 South Parkway to Permit a Dock Extension.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 298 SOUTH PARKWAY, GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE DOCK TO EXTEND INTO AN OUTSIDE WATERWAY AT 17.4', WHERE 10' IS REQUIRED BY THE TOWNS CODE.

Exhibit: Agenda Report No. 2
Resolution No. 2296.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2296.13

3. A Resolution of the Town Council Approving a Variance Request for the Property Located at 298 South Parkway to permit the Wave Break Wall to Extend.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 298 SOUTH PARKWAY, GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE WAVE BREAK WALL TO EXTEND INTO AN OUTSIDE WATERWAY AT 39.5', WHERE 25' IS REQUIRED BY THE TOWNS CODE.

Exhibit: Agenda Report No. 3
Resolution No. 2297.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2297.13

4. A Resolution of the Town Council Approving a Variance Request for the Property Located at 357 Center Island Drive To Permit the Viewing Platform Structure to Encroach 13' Outside the D5 Triangle.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 357 CENTER ISLAND DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE VIEWING PLATFORM (DOCK) STRUCTURE TO ENCROACH 13' OUTSIDE THE D5 TRIANGLE, AND INTO THE 5' SIDE YARD SETBACK WHEREAS DOCKS ARE REQUIRED TO BE WITHIN THE D5 TRIANGLE AND MAINTAIN A 5' SIDE YARD SETBACK AS REQUIRED BY THE TOWN'S CODE.

Exhibit: Agenda Report No. 4
Resolution No. 2305.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2305.13

5. A Resolution of the Town Council Approving a Variance Request for the Property Located at 357 Center Island Drive To Permit the Elevation of the Viewing Platform Structure.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 357 CENTER ISLAND DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE ELEVATION OF THE VIEWING PLATFORM (DOCK) STRUCTURE TO BE AT A 5/5' NGVD

IN LIEU OF THE 5' NGVD ELEVATION REQUIRED BY THE TOWN'S CODE.

Exhibit: Agenda Report No. 5
Resolution No. 2306.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2306.13

6. A Resolution of the Town Council Approving a Variance Request for the Property Located at 132 South Island Drive to Permit the Dock to Extend Out.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 132 SOUTH ISLAND DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE DOCK TO EXTEND OUT INTO THE WATERWAY AT 8.67' WHERE 6' IS REQUIRED BY THE TOWNS CODE.

Exhibit: Agenda Report No. 6
Resolution No. 2307.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2307.13

7. A Resolution of the Town Council Approving a Variance Request for the Property Located at 44 Terracina Avenue for Construction of a Single-Family Residence on a Vacant Lot.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 44 TERRACINA AVENUE, GOLDEN BEACH, FLORIDA 33160 FOR THE CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE ON A VACANT LOT.

Exhibit: Agenda Report No. 7
Resolution No. 2308.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2308.13

8. A Resolution of the Town Council Approving a Variance Request for the Property Located at 277 Golden Beach Drive for Additions and Remodeling.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 277 GOLDEN BEACH DRIVE, GOLDEN BEACH, FLORIDA 33160 TO PERMIT ADDITIONS AND REMODELING OF THE EXISTING RESIDENCE.

Exhibit: Agenda Report No. 8
Resolution No. 2309.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2309.13

N. CONSENT AGENDA

9. Minutes of the June 24, 2013 Special Town Council Meeting

10. A Resolution of the Town Council Authorizing the Payment of \$1,000 to Florida International University Biscayne Bay Campus.

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING THE PAYMENT OF \$1,000.00 TO FLORIDA INTERNATIONAL UNIVERSITY BISCAYNE BAY CAMPUS IN MEMORIAM OF RICHARD FISHBEIN; PROVIDING FOR IMPLEMENTATION; AND PROVIDING AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 10
Resolution No. 2310.12

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2310.12

11. A Resolution of the Town Council Authorizing the Use of LETF Funds for the Implementation of Community Policing Initiatives.

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING THE USE OF LETF FUNDS FOR THE IMPLEMENTATION OF COMMUNITY POLICING INITIATIVES AND AWARENESS PROGRAMS; PROVIDING FOR IMPLEMENTATION; PROVIDING FOR AN

EFFECTIVE DATE.

Exhibit: Agenda Report No. 11
Resolution No. 2311.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2311.13

12. A Resolution of the Town Council Renewing the Agreement for a Comprehensive Health Insurance Plan for the Benefit of the Town of Golden Beach Employees.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, RENEWING THE AGREEMENT FOR A COMPREHENSIVE HEALTH INSURANCE PLAN FOR THE BENEFIT OF THE TOWN OF GOLDEN BEACH EMPLOYEES AND ELIGIBLE DEPENDENTS; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 12
Resolution No. 2312.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2312.13

13. A Resolution of the Town Council Renewing the Agreements for a Dental Insurance and a Vision Insurance Plan for the Benefit of the Town of Golden Beach Employees.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, RENEWING THE AGREEMENTS FOR A DENTAL INSURANCE AND A VISION INSURANCE PLAN FOR THE BENEFIT OF THE TOWN OF GOLDEN BEACH EMPLOYEES AND ELIGIBLE DEPENDENTS; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 13
Resolution No. 2313.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2313.13

14. A Resolution of the Town Council Accepting the Benefit Proposal for Short Term/Long Term Disability Insurance, Life, and Accidental Death and Dismemberment Insurance Submitted by Mutual of Omaha Insurance.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, ACCEPTING THE BENEFIT PROPOSAL FOR SHORT TERM/LONG TERM DISABILITY INSURANCE, LIFE AND ACCIDENTAL DEATH AND DISMEMBERMENT INSURANCE SUBMITTED BY MUTUAL OF OMAHA INSURANCE; PROVIDING FOR CONDITIONS; PROVIDING FOR IMPLEMENTATION; PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 14
Resolution No. 2314.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2314.13

15. A Resolution of the Town Council Declaring Certain Personal Property Owned by the Town to Have no Intrinsic Monetary Value.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, DECLARING CERTAIN PERSONAL PROPERTY (POLICE K-9 DOG) OWNED BY THE TOWN TO HAVE NO INTRINSIC MONETARY VALUE AND PROVIDING FOR DISPOSITION; AUTHORIZING THE TOWN MANAGER TO PROVIDE FOR THE DISPOSITION OF SUCH PERSONAL PROPERTY BY BILL OF SALE; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 15
Resolution No. 2315.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2315.13

O. TOWN RESOLUTIONS

16. A Resolution of the Town Council Ratifying the Maximum Proposed Millage Rate for F/Y 2013-2014.

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, RATIFYING THE MAXIMUM PROPOSED

MILLAGE RATE FOR F/Y 2013-2014 THAT WAS TRANSMITTED TO THE PROPERTY APPRAISER OF MIAMI-DADE COUNTY PURSUANT TO THE REQUIREMENTS OF FLORIDA STATUTES AND THE RULES AND REGULATIONS OF THE DEPARTMENT OF REVENUE OF THE STATE OF FLORIDA; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 16
Resolution No. 2316.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2316.13

P. DISCUSSION & DIRECTION TO TOWN MANAGER

Mayor Glenn Singer:
None Requested

Vice Mayor Amy Isackson-Rojas:
None Requested

Councilmember Judy Lusskin:
None Requested

Councilmember Kenneth Bernstein:
None Requested

Councilmember Bernard Einstein:
None Requested

Town Manager Alexander Diaz
**F/Y 2013-2014 Proposed Operating Budget
**New Stormwater Fee Rates
**New Building Permit Fees for F/Y 2013-2014

Q. ADJOURNMENT:

DECORUM:

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE COUNCIL SHALL BE BARRED FROM THE COUNCIL CHAMBERS BY THE PRESIDING OFFICER. NO CLAPPING, APPLAUDING, HECKLING OR VERBAL OUTBURSTS IN SUPPORT OR OPPOSITION TO A SPEAKER OR HIS OR HER REMARKS SHALL BE PERMITTED. NO SIGNS OR PLACE CARDS SHALL BE ALLOWED IN THE COUNCIL CHAMBERS. PERSONS EXITING THE COUNCIL CHAMBERS SHALL DO SO QUIETLY.

THE USE OF CELL PHONES IN THE COUNCIL CHAMBERS IS NOT PERMITTED. RINGERS MUST BE SET TO SILENT MODE TO AVOID DISRUPTION OF PROCEEDINGS.

PURSUANT TO FLORIDA STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT PURPOSE, AFFECTED PERSONS MAY

NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD SHALL INCLUDE THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.

IF YOU NEED ASSISTANCE TO ATTEND THIS MEETING AND PARTICIPATE, PLEASE CALL THE TOWN MANAGER AT 305-932-0744 EXT 224 AT LEAST 24 HOURS PRIOR TO THE MEETING.

RESIDENTS AND MEMBERS OF THE PUBLIC ARE WELCOMED AND INVITED TO ATTEND.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz, *Alex B*
Town Manager

Subject: **Ordinance No. 557.13** – Amending the Town of Golden Beach
Employee Pension Plan

Item Number:

1

Recommendation:

It is recommended that the Town Council adopt the attached Ordinance No. 557.13 as presented.

Background:

I am proposing that we change the definition of Employee for the purposed of determining which employees are pension eligible. The Ordinance currently allow those employees who work 20 hours per week to join the Town's Pension. We are recommending that we change it to 40 hours per week.

Fiscal Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

ORDINANCE NO. 557.13

AN ORDINANCE OF THE TOWN OF GOLDEN BEACH, FLORIDA, AMENDING THE TOWN OF GOLDEN BEACH EMPLOYEES PENSION PLAN (THE “PLAN”) CODIFIED IN DIVISION 1 “GENERAL EMPLOYEES” OF ARTICLE II “RETIREMENT” OF CHAPTER 24 “PERSONNEL” IN THE TOWN’S MUNICIPAL CODE OF ORDINANCES TO CHANGE THE DEFINITION OF “FULL-TIME EMPLOYMENT” TO AT LEAST 40 HOURS PER WEEK AND AT LEAST SIX MONTHS PER YEAR; BY AMENDING SECTION 24-31 “DEFINITIONS” OF ARTICLE II “RETIREMENT”; PROVIDING FOR A REPEALER; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Golden Beach (the “Town”) currently maintains a defined benefit pension plan for its general employees and police officers, which is known as the Town of Golden Beach Employees Pension Plan (the “Plan”) as provided for in Chapter 24 “Personnel” of the Town’s Municipal Code of Ordinances;

WHEREAS, the Town desires to change the definition of “full-time employment” from at least 20 hours per week and at least five months per year to at least 40 hours per week and at least six months per year and;

WHEREAS, the Town Council finds that it is in the best interest of the Town to change the definition of “full-time employment” on or after the ratification date of this Ordinance.

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA:¹

Section 1. Recitals Adopted. That the foregoing WHEREAS clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Ordinance upon adoption hereof.

Section 2. Town Code Amended. That Section 24-31 "Definitions" of Chapter 24 "Personnel" of the Town's Municipal Code of Ordinances is hereby amended as follows:

Sec. 24-31. - Definitions

* * *

Employee means any person who is employed by the City on a full-time basis and whose salary or wages are subject to withholding for purposes of federal income taxes and the Federal Insurance Contributions Act. For this purpose, "full-time employment" shall mean at least 40 hours per week and at least six months per year ~~at least 20 hours per week and at least five months per year~~. Persons employed under contract for a definite period or for the performance of a particular, special service shall not be eligible for participation in the Plan.

* * *

Section 3. Repeal. That all sections or parts of sections of the Town Municipal Code of Ordinances, all ordinances or parts of ordinances and all resolutions or parts of resolutions in conflict herewith, be and the same are hereby repealed to the extent of such conflict.

Section 4. Severability. That the provisions of this Ordinance are declared to be severable and if any section, sentence, clause or phrase of this Ordinance shall for any reason be held to be invalid or unconstitutional, such decision shall not effect the

¹ Proposed additions to existing Town Code text are indicated by an underline; proposed deletions from existing Town Code text are indicated by ~~strike through~~.

validity of the remaining sections, sentences, clauses, and phrases of this Ordinance, and they shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

Section 5. Inclusion in Code. That it is the intention of the Town Council that the provisions of this Ordinance shall become and be made a part of the Town Municipal Code of Ordinances and that the sections of this Ordinance may be renumbered or relettered and the word "Ordinances" may be changed to "Chapter," "Section," "Article," or such other appropriate word or phrase, the use of which shall accomplish the intentions herein expressed.

Section 6. Effective Date. That this Ordinance shall take effect upon adoption on second reading.

The Motion to adopt the foregoing Ordinance was offered by _____, seconded by _____, and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice-Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackon-Rojas	_____

PASSED AND ADOPTED on first reading this 20th, day of August, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

Retirement Plan for Employees of the Town of Golden Beach
Actuarial Impact of Proposed Amendment

The attached proposed **Town Of Golden Beach, Florida Ordinance No. XXX.13** would amend The Town Of Golden Beach Employees Pension Plan (The "Plan") Codified In Division 1 "General Employees" Of Article II "Retirement" Of Chapter 24 "Personnel" in the Town's Municipal Code Of Ordinances to change the definition of "full-time employment" for purposes of determining plan eligibility from "at least 20 hours per week and at least five months per year" to "at least 40 hours per week and at least six months per year".

The Town of Golden Beach has confirmed that no employees currently participating in the Retirement Plan would be affected by this change. Therefore, all current participants will meet the requirements for participation under the amended plan. So, in this instance there will be no immediate cost or savings to implementing the amendment.

The proposed amendment complies with my understanding of Chapter 112, Part VII, Florida Statutes and Section 14 Article X of the Florida Constitution.



Paul B. Burdulis, EA, ASA, FCA, MAAA
Senior Vice President / Consulting Actuary
PBurdulis@shdr.com
(864) 527-0630

August 14, 2013
Date



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

2

Subject: Resolution No. 2296.13 – Variance Request for 298 South Parkway Drive,
Golden Beach, FL 33160 (Dock)

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2296.13

Background and History:

The Town Code of Ordinances Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

The applicant is requesting that the dock be allowed to extend into the waterway at 17.4', where a maximum of 10' has been established by the code.

The Building Regulation Advisory Board met March 12, 2013 and recommended approval of the variance, the motion failed with a Board vote of 3-0. The motion failed for lack of an affirmative vote.

No one in attendance spoke in opposition to this item. Two letters of no objection were submitted from the property owners of 298 South Parkway and 304 South Parkway, Golden Beach, FL.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2296.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 298 SOUTH PARKWAY, GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE DOCK TO EXTEND INTO AN OUTSIDE WATERWAY AT 17.4', WHERE 10' IS REQUIRED BY THE TOWNS CODE.

WHEREAS, the applicant, Isaac and Patricia Almosny, (“the applicants”), filed a Petition for a Variance/exception, Article IV – Seawall and Docks: Section 46-84 General specifications for docks, allowing the dock to extend into the waterway at 17.4’, in lieu of the Town Codes requirement of 10’, at 298 South Parkway, Golden Beach, Florida 33160 (Golden Beach Section “D”, W ½ of Lot 26, all of Lot 27, and a Portion of Lot 28, Block G, as recorded in PB 10-10, of the Public Records of Miami-Dade County, (Folio No. 19-1235-004-0190) (the “Property”) and ;

WHEREAS, the Town’s Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended disapproval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain plans, S-1 through S-5, by Dynamic Engineering Solutions, Inc., John Omslaer, PE 52733, dated 2/13/2013, and the Sketch of Survey, by Cousins Surveyors, dated 12/20/2010, for the property located at 298 South Parkway, Golden Beach, FL 33160.

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by Administration.

The Motion to adopt the foregoing Resolution was offered by _____, seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer _____
Vice Mayor Judy Lusskin _____
Councilmember Kenneth Bernstein _____
Councilmember Amy Isackson-Rojas _____
Councilmember Bernard Einstein _____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 21st day of May, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

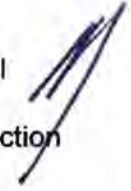
APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

Town of Golden Beach

MEMORANDUM

To: Building Regulation Advisory Board
From: Daniel B. Nieda, R.A. Building Official
Date: March 12, 2013
Re: Variance Petition for Boat Dock Projection
Almosny Residence
298 South Parkway



Background:

The applicant has submitted for approval a grandfathered 41 foot wide by 23.33 and 34.33 foot deep boat dock wave break measured to the seawall wetface and attached to an existing dock waterway cap. The formerly grandfathered dock structure has been demolished to acquire a Certificate of Completion for the renovated residence and reconstruction of the seawall cap. The owner wishes to reestablish the same lost rights the previous owner enjoyed for the requested boat dock and wave break projections. The dock structure was originally constructed as an encroaching projection into the waterway with an average of 3.62 feet beyond the property line.

The proposed boat dock is located on an external radial lot open to the Golden Isle Waterway, at 298 South Parkway, where the dock structure projects an average of 28.83 feet into the waterway from the seawall wetface. The proposed boat dock projects an average of 18.83 feet beyond the permitted 10 foot waterway projection, stipulated per Section 46-84, to cause this variance petition. The boat dock projects 17'-4" and the wave break projects 39'-5" when measured to the property line. The variance petition is mitigated by the 495 foot Golden Isle Waterway width and the requested average of 18.83 feet foot projection is 3.80%, where 25% maximum waterway projection is recommended for navigable waterways per Federal and State of Florida standards.

Waterway Projection

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance Petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, this petition constitutes a variance, since the applicant has requested to permit a proposed boat dock structure projecting an average of 18.83 feet and a total of 17.33 and 39.42 foot wave break projection, when measured from the property line, beyond the 10 foot maximum waterway projection permitted per Section 46-84 of the Code.
2. Yes, the land is peculiar in nature as it consists of a radial corner lot with a 235.5 foot waterway frontage on the 495 foot Golden Isle Waterway width, where the requested average 18.83 foot projection serves to mitigate adverse navigational impact.

3. Yes, the variance petition stems from the peculiar nature of the lot's location, historical encroachment into the waterway and placement of the proposed dock of the formerly grandfathered dock structure located at the southern most navigable portion of the radial lot.
4. Yes, the granting the variance would not confer upon the applicant any special privilege as the requested Golden Isle waterway boat dock projection allows use compatible with other lands in the same District.
5. Yes, the literal interpretation of the provision of the Zoning Code generated by the demolition of the formerly grandfathered dock structure may deprive the applicant the rights, the previous owners enjoyed as well as other properties in the same Zone 3 Residential District.
6. Yes, this variance petition is the minimum variance and compatibly appropriate petition which will permit the applicant reasonable use of the land.
7. Yes, the granting of the variance petition will be in harmony with the intent and purpose of this Chapter and the Variance will not be injurious to the area or detrimental to the public welfare.

In conclusion, the variance petition seeking relief from the maximum projection of 10 feet allowed into the waterway per Section 46-84 of the Code, where the applicant seeks placement for a proposed radial shaped wood dock structure projecting an average of 18.83 into the waterway and 17.33 and 39.42 feet measured to the property line, seems to rise to the standard required for granting of this variance petition. The Building Review Advisory Board needs to determine if a negative recommendation of this variance petition deprives the applicant of reasonable use of his land. Alternately, the Board could recommend that other stipulated conditions may be required to raise this variance petition to the standards required by Section 66-41 of the Code, where the variance petition may be favorably considered.



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10-1630

February 21, 2013

Ms. Linda Epperson
TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, FL 33160

RE: APPLICATION FOR VARIANCE FOR A DOCK AND WAVE BREAK PROJECT AT 298 SOUTH PARKWAY, IN THE TOWN OF GOLDEN BEACH, MIAMI-DADE COUNTY, FLORIDA

Dear Ms. Epperson:

On behalf of our client, Mr. Isaac Almosny, this is to respectfully submit a Letter of Intent for the Variance Application at 298 South Parkway, in the Town of Golden Beach, Miami-Dade County, Florida.

The Project proposes to reconstruct the previously-existing dock and wave break in substantially the same footprint (slightly less waterward than previously-existing structure). The original dock and wave break were recently demolished to make room for seawall cap repair / construction activities.

For your review and use, enclosed please find the following:

1. An executed Town of Golden Beach BRAB and Variance Application;
2. A check made payable to the Town of Golden Beach in the amount of \$472 (previously submitted);
3. Signed Letters of Consent from both adjacent neighboring properties;
4. A set of plans preliminarily stamped by Miami-Dade County RER/DERM;
5. A copy of the boundary survey; and
6. Two photographs of the previously-existing structure.

10-1630
Ms. Linda Epperson
February 21, 2013
Page 2

Thank you for your review of this information. We look forward to working with you on this variance. Should you have any questions or require additional information, please do not hesitate to contact me at (305) 921-9344.

Sincerely,
OCEAN CONSULTING, LLC



Kirk Lofgren
Principal

KL: CB
Enclosures

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: _____

Request hearing in reference to:

New residence/addition: _____ Variance(s): Dock to extend more than 10' into water from property line
Exterior alterations: _____ Other Structure: _____
Date application filed: _____ For hearing date: _____

1. Project information:

Project description: Replace existing dock within same footprint more than 10 feet into the water from the property line.

Legal Description: GOLDEN BEACH SEC D PB 10-10 W 1/2 OF LOT 26 & ALL LOT 27 BLK G & LOT 28 BLK G OF PB 8-122 LESS BEG NE COR OF LOT 28 TH N 53 DEG W 183.99FT SWLY AD 128.78FT S RS DEG E 190.76FT

Folio #: 19-1235-004-0190

Address of Property: 298 South Parkway, Golden Beach, FL 33160

2. Is a variance(s) required: Yes No _____ How Many? 1
(If yes, please submit variance application form for each request).

Owner's Name: Isaac Almonsy Phone _____ Fax _____

Owner's address: 298 South Parkway City/State Golden Beach, FL Zip 33160

Agent: Ocean Consulting, LLC Phone (305) 921-9344 Fax (305) 677-3254

Agent's address: 340 Minorca Ave. Suite 5 City/State Coral Gables, FL Zip 33134

Architect: _____ Phone _____ Fax _____

Contractor: Southeast Marine Construction Phone (954) 630-2300 Fax (954) 630-2381

3. Describe project and/ or reason for request of hearing: Replace existing dock in same footprint more than 10 feet into water from property line.

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual: _____ Preliminary: _____ Final: _____

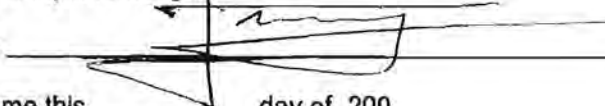
Other: _____

5. Estimated cost of work: \$ 29,000
Estimated market value of: Land \$ N/A
Building \$ N/A

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? No
7. Are there any structures on the property that will be demolished? No
8. Does legal description conform to plat? YES
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): 

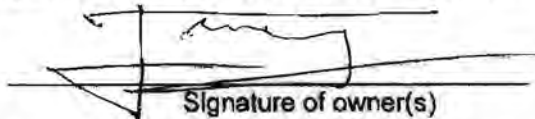
Acknowledged before me this _____ day of, 200_____

Type of identification:

Notary Public

Owner/Power of Attorney Affidavit:

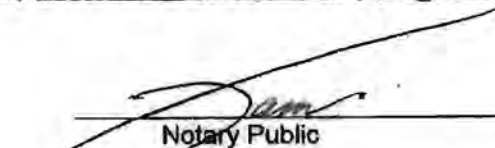
I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: Extension of dock more than 10 feet into the water from the property line relative to my property and I am hereby authorizing Kirk Lofgren, Ocean Consulting, LLC to be my legal representative before the Building Regulation Advisory Board and Town Council.


Signature of owner(s)

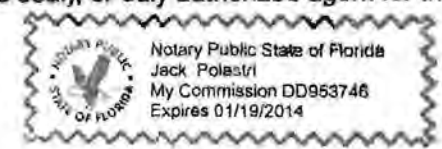
Acknowledged before me this 11 day September 2012

Type of identification:

F.O.L.


Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application.



TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 298 South Parkway, Golden Beach, FL 33160
Legal Description: GOLDEN BEACH SEC'D PD 10-10 W/1/2 OF LOT 26 & ALL LOT 27 BLK G & LOT 28 BLK G OFF PB 8-173 LESS BEG NE COR OF LOT 28 TH N 53 DEG W 143.99 FT SWLY AD J 28 TRPT S 45 DEG E 190.76 FT
Owner's Name: Isaac Almonsv Phone _____ Fax _____
Agent's Name: Kirk Lofgren, Ocean Consulting, LLC Phone 305-921-9344 Fax (305) 677-3254
Board Meeting of: _____

- NOTE: 1. Incomplete applications will not be processed.
2. Applicant and/or architect must be present at meeting.

Application for: Extension of dock more than 10 feet into the water from the property line
Lot size: 27,373 sq ft
Lot area: N/A
Frontage: N/A
Construction Zone: N/A
Front setback: N/A
Side setback: N/A
Rear setback: N/A
Coastal Construction: Yes No _____ East of coastal const. control line: Yes _____ No
State Road A1A frontage: N/A
Swimming pool: N/A Yes _____ No _____ Existing: _____ Proposed: _____
Fence Type: N/A Existing: _____ Proposed: _____
Finished Floor elevation N.G.V.D.: N/A
Seawall: N/A Existing: _____ Proposed: _____
Lot Drainage: N/A
How will rainwater be disposed of on site? N/A

Adjacent use (s): N/A
Impervious area: N/A
% of impervious area: N/A
Existing ground floor livable area square footage: N/A
Proposed ground floor livable area square footage: N/A
Existing 2nd floor livable area square footage: N/A
Proposed 2nd floor livable area square footage: N/A
Proposed % of 2nd floor over ground floor: N/A
Vaulted area square footage: N/A
Vaulted height: N/A
Color of main structure: N/A
Color of trim: N/A
Color & material of roof: N/A
Building height (above finished floor elevation): N/A
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum):
N/A
Existing trees in Lot: N/A in Swale: _____
Proposed trees in Lot: N/A in Swale: _____
Number & type of shrubs: N/A
Garage Type: N/A Existing: _____ Proposed: _____
Driveway width & type: N/A

Signature of Applicant:  Date: 9/12/12
BUILDING REGULATION ADVISORY BOARD APPLICATION (October 2008)
Page 8 of 11

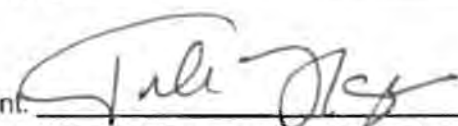
TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 298 South Parkway, Golden Beach, FL 33160
Legal Description: GOLDEN BEACH SEC 01 P19 01 W1/4 OF LOT 34 & ALL LOT 27 NE1/4 Q & LOT 28 NE1/4 Q OF P19 S122 LAMB SEC 06 COR OF LOT 28 T21 N 33 DR10 W 180 HWY ONLY AD COR TWP & S1 DR10 E 1/4 TWP
Owner's Name: Isaac Almonsv Phone _____ Fax _____
Agent's Name: Kirk Lofgren, Ocean Consulting, LLC Phone 305-921-9344 Fax (305) 677-3254
Board Meeting of: _____

- NOTE: 1. Incomplete applications will not be processed.
2. Applicant and/or architect must be present at meeting.

Application for: Extension of dock more than 10 feet into the water from the property line
Lot size: 27,373 sq ft
Lot area: N/A
Frontage: N/A
Construction Zone: N/A
Front setback: N/A
Side setback: N/A
Rear setback: N/A
Coastal Construction: Yes No _____ East of coastal const. control line: Yes _____ No
State Road A1A frontage: N/A
Swimming pool: N/A Yes _____ No _____ Existing: _____ Proposed: _____
Fence Type: N/A Existing: _____ Proposed: _____
Finished Floor elevation N.G.V.D.: N/A
Seawall: N/A Existing: _____ Proposed: _____
Lot Drainage: N/A
How will rainwater be disposed of on site? N/A

Adjacent use (s): N/A
Impervious area: N/A
% of impervious area: N/A
Existing ground floor livable area square footage: N/A
Proposed ground floor livable area square footage: N/A
Existing 2nd floor livable area square footage: N/A
Proposed 2nd floor livable area square footage: N/A
Proposed % of 2nd floor over ground floor: N/A
Vaulted area square footage: N/A
Vaulted height: N/A
Color of main structure: N/A
Color of trim: N/A
Color & material of roof: N/A
Building height (above finished floor elevation): N/A
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum):
N/A
Existing trees in Lot: N/A in Swale: _____
Proposed trees in Lot: N/A in Swale: _____
Number & type of shrubs: N/A
Garage Type: N/A Existing: _____ Proposed: _____
Driveway width & type: N/A

Signature of Applicant:  Date: 2-21-2013

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: _____

Fee: _____

I, Isaac Almosny hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 298 South Parkway, Golden Beach, FL Folio No. 19-1235-004-0190

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (list section number(s) of the Town of Golden Beach Code of Ordinances): Section 46-84

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

- a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Confirmed.

- b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. Existing, historic dock extended more than 10 feet from property line. This project proposes to replace the dock and wake break very close to the federal channel where passing vessels generate a large wake and can cause damage to a moored vessel. The dock is proposed to extend more than 10' from the property line, in part because the seawall was constructed waterward of the property line, at no fault of the current homeowner, Mr. Almosny.

- c. The special conditions and circumstances do not result from the actions of the applicant. The dock was existing prior to current owner's purchase of property. This is a re-construction of a previously existing dock, within substantially the same footprint.

- d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. The dock and wake break are historically existing/grandfathered. The seawall is existing outside the property, at no fault of the applicant. Goal is simply to replace the wake break in the same footprint.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal Interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. Grandfathered dock - only a replacement in same footprint. These grandfathered structures are typically authorized to be re-built in the same footprint.
4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Replacement of structure in same footprint; The Corps has requested a 7' adjustment on the north end, pulling the wake break in as tight as possible to the proposed marginal dock.
5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Confirmed.

Does the Variance being requested comply with all the above listed criteria?
 Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No.
Please attach any written letters of no objection to this petition.
7. Is this request related to new construction? Yes No
8. Is construction in progress? No
9. Is this request as a result of a code violation? No
10. Did this condition exist at the time property was acquired? Yes No
11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No
12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-004-0190 Address: 298 South Parkway

Legal Description: GOLDEN BEACH SEC D PB 10-10 W1/2 OF LOT 26 & ALL LOT 27 BLK G & LOT 28 BLK G
OF PB 8-122 LESS BEG NE COR OF LOT 28 TH N 53 DEG W 183.99FT SWLY AD 128.78FT S 85 DEG E 190.76FT

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of _____ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

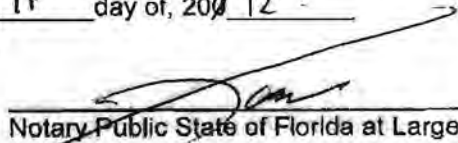
I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.



Signature of Owner or Legal Representative

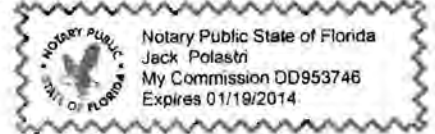
Sworn to and subscribed before me this 09/11 day of, 2012



Notary Public State of Florida at Large

Personally know to me

Produced Identification



LETTER OF CONSENT

Note: Please insert applicable information

Date: _____

Miami-Dade County DERM
Class I Permitting Program
701 NW 1st Court
Miami FL, 33136

Re: Letter of Consent for Miami-Dade County DERM Class I Permit Application Number
2011-CLI-PER-00037, (insert Class I Permit application number), for work proposed at
298 South Parkway, Golden Beach, Florida

(insert address of proposed work)

Ladies and Gentlemen:

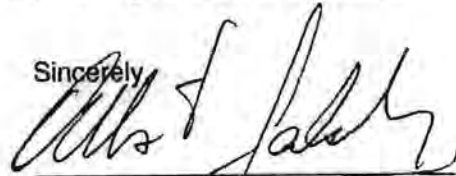
I, Alberto Galsky (insert name), am the owner of the property located at
296 S. Parkway Golden Bch FL 33160
(insert address of adjoining riparian property)

which is an adjoining riparian property to the above-referenced property. I have reviewed the
plans entitled Almosny Dock Project

(insert title of plans)

prepared by Dynamic Engineering dated _____, and preliminarily approved
by DERM on _____ for the above-referenced project. Pursuant to Section
24-48.3(1)(j)(iii) of the Code of Miami-Dade County, Florida, I hereby consent to the above-
referenced project.

Sincerely



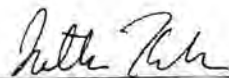
Adjoining Riparian Property Owner

SUBSCRIBED AND SWORN TO ME THIS 14th DAY OF September, 20 12

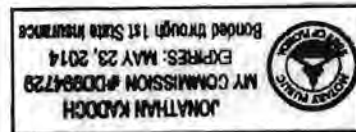
BY Alberto Galsky

PERSONALLY KNOWN PRODUCED IDENTIFICATION (PLEASE CHECK ONE)

TYPE OF ID PRODUCED FL DL



NOTARY PUBLIC



LETTER OF CONSENT

Note: Please insert applicable information

Date: _____

Miami-Dade County DERM
Class I Permitting Program
701 NW 1st Court
Miami FL, 33136

Re: Letter of Consent for Miami-Dade County DERM Class I Permit Application Number
2011-CLI-PER-00037, (insert Class I Permit application number), for work proposed at
298 South Parkway, Golden Beach, Florida

(insert address of proposed work)

Ladies and Gentlemen:

I, Alan Benenson (insert name), am the owner of the property located at
304 S. Parkway Golden Beach FL 33160,
(insert address of adjoining riparian property)

which is an adjoining riparian property to the above-referenced property. I have reviewed the
plans entitled Almosny Dock Project

(insert title of plans)

prepared by Dynamic Engineering dated _____, and preliminarily approved
by DERM on _____ for the above-referenced project. Pursuant to Section
24-48.3(1)(j)(iii) of the Code of Miami-Dade County, Florida, I hereby consent to the above-
referenced project.

Sincerely,



Adjoining Riparian Property Owner

SUBSCRIBED AND SWORN TO ME THIS 14th DAY OF September, 20 12

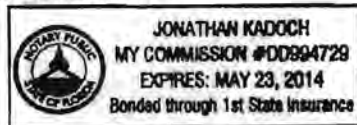
BY Alan Benenson

PERSONALLY KNOWN PRODUCED IDENTIFICATION (PLEASE CHECK ONE)

TYPE OF ID PRODUCED FL DL



NOTARY PUBLIC









DAVID AND ELLEN SUE BLOCK
240 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

JOSEPH NATOLI
310 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

SEMPER AUGUSTOS INC.
238 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

RICHARD AND LAINIE GINSBURG
318 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

DEBRA E. ELENSON
276 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

DAVID W. HODGE
322 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

OUR RILEY LLC
288 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

GREGG D. AND SUSAN SCHNEIDER
288 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

LAURENT GROLL
284 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

ISAAC AND PATRICIA ALMOSNY
298 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

DAVID AND SUSAN HARRAR
300 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

ALAN AND GAY BENENSON
304 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

STEVEN BLOCK TRUST
140 SOUTH COLUMBIA AVE.
COLUMBUS, OH 43208



TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, Fl. 33160

SUMMARY MINUTES
BUILDING REGULATION ADVISORY BOARD
March 12, 2013 at 6:00pm

APPROVED
4/9/2013

- A. **CALL MEETING TO ORDER:** 6:15pm
- B. **BOARD ATTENDANCE:** Eric Cohen, Jerome Hollo and Fred Chouinard
- C. **STAFF ATTENDANCE:** Daniel Nieda Building Official and Linda Epperson-Building and Zoning Director.
- D. **APPROVAL OF MINUTES:** January 22, 2013 and February 12, 2013

A motion to approve the January 22, 2013 minutes by Fred Chouinard,
Seconded by Eric Cohen
On roll call: Eric Cohen-Aye, Jerome Hollo-Aye, Fred Chouinard-Aye
Motion passed 3 – 0

A motion to table the February 12, 2013 minutes by Eric Cohen, Seconded
by Fred Chouinard
On roll call: Eric Cohen-Aye, Jerome Hollo-Aye, Fred Chouinard-Aye
Motion passed 3 – 0

E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS

- 1. Michelle Judd
288 Ocean Boulevard
Golden Beach, FL. 33160

Property Address: 288 Ocean Blvd., Golden Beach, FL. 33160
Folio No.: 19-1235-003-0470
Legal Description: Lot 19, Block 5, GB Section C, PB 9-52

Addition and remodel to an existing residence

A motion was made by Fred Chouinard to table this item, Seconded by Eric
Cohen
On roll call: Eric Cohen-Aye, Jerome Hollo-Aye, Fred Chouinard-Aye
Motion passed 3 – 0

F. VARIANCE REQUEST(S):

- 2. Isaac Almosny and Patricia Almosny
298 South Parkway
Golden Beach, FL. 33160

Property Address: 298 South Parkway, Golden Beach, FL. 33160
Folio No: 19-1235-004-0190
Legal Description: Port of Lot 26, all of 27 and 28, Blk G, GB Sect. D,
PB 10-10

Building Official Nieda read his comments into the record.
Kirk Lofgren, Ocean Consulting spoke on this items

Demolition of an existing dock and construction of a new dock and wake break wall.

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Relief from Town Code Section 46-87 Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Request is to allow the dock to extend out into the waterway outside the 10' required and the wave break wall to extend past the 25' by the code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion to recommend approval was made by Eric Cohen for the dock to extend out from the property line into the waterway at 17'-4", Seconded by Fred Chouinard

On roll call: Eric Cohen-Nay, Jerome Hollo-Nay, Fred Chouinard-Nay
The motion failed 3 – 0

A motion to recommend approval was made by Eric Cohen to approve the Wave Break Wall to extend out from the property line into the waterway at 39'-5", Seconded by Fred Chouinard

On roll call: Eric Cohen-Nay, Jerome Hollo-Nay, Fred Chouinard-Nay
The motion failed 3 – 0

3. Michael Newman
1160 N.W. 163rd Drive
Miami, FL. 33169

Property Address: 434 Golden Beach Drive, Golden Beach, FL. 33160
Folio No: 19-1235-005-0490
Legal Description: Lot 42 & N ½ of Lot 43, Block F, GB Sect E, PB 8-122

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on the applicants behalf

Proposed construction of a new dock.

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway 10' in lieu of the 6' which is required by the code.

A motion to recommend approval was made by Fred Chouinard for the dock to extend out from the property line into the waterway at 10',, Seconded by Fred Chouinard

On roll call: Eric Cohen-Nay, Jerome Hollo-Nay, Fred Chouinard-Nay
The motion failed 3 – 0

G. OLD BUSINESS:

H. NEW BUSINESS

4. Alan Rotter and Karen Gross
439 Center Island Drive
Golden Beach, FL. 33160

Property Address: 439 Center Island Drive, Golden Beach, FL. 33160
Folio No: 19-1235-005-1020
Legal Description: Lot 15, Block L, GB Sect. E, PB 8-122

Building Official Nieda read his comments into the record
Steve Sanders spoke on behalf of the applicants.

Construction of a new dock

A motion was made by Eric Cohen to approve the dock as submitted,
Seconded by Fred Chouinard.

On roll Call: Eric Cohen – Aye, Jerome Hollo-Aye, Fred Chouinard-Aye
The motion passed 3 – 0

5. Enfi Enterprises LP
199 Golden Beach Drive
Golden Beach, FL. 33160

Property Address: 199 Golden Beach Drive, Golden Beach, FL. 33160
Folio No: 19-1235-004-1260
Legal Description: Lot 40 Block 6, GB Sect. D, PB 10-10

Building Official Nieda read his comments into the record.
Martin Littman – Architect , spoke on behalf of the applicants

Renovation of entry portico and building façade.

A motion was made by Eric Cohen to approve this items, Seconded by
Fred Chouinard

On roll Call: Eric Cohen – Aye, Jerome Hollo-Aye, Fred Chouinard-Aye
The motion passed 3 – 0

I. ITEMS FOR DISCUSSION AND BOARD APPROVAL

J. ADJOURNMENT

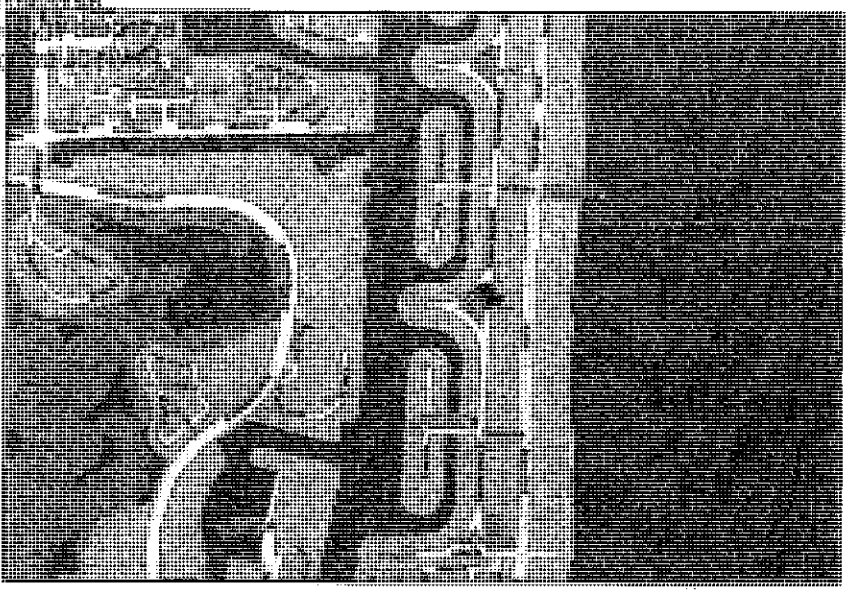
PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.

VARIANCE REQ: _____
 DISAPPROVED _____
 APPROVED _____

ALMOSNY DOCK PROJECT

MAR 12 2013

HEARING DATE
 HEARING BOARD
 TOWN OF GOLDEN BEACH



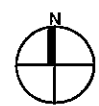
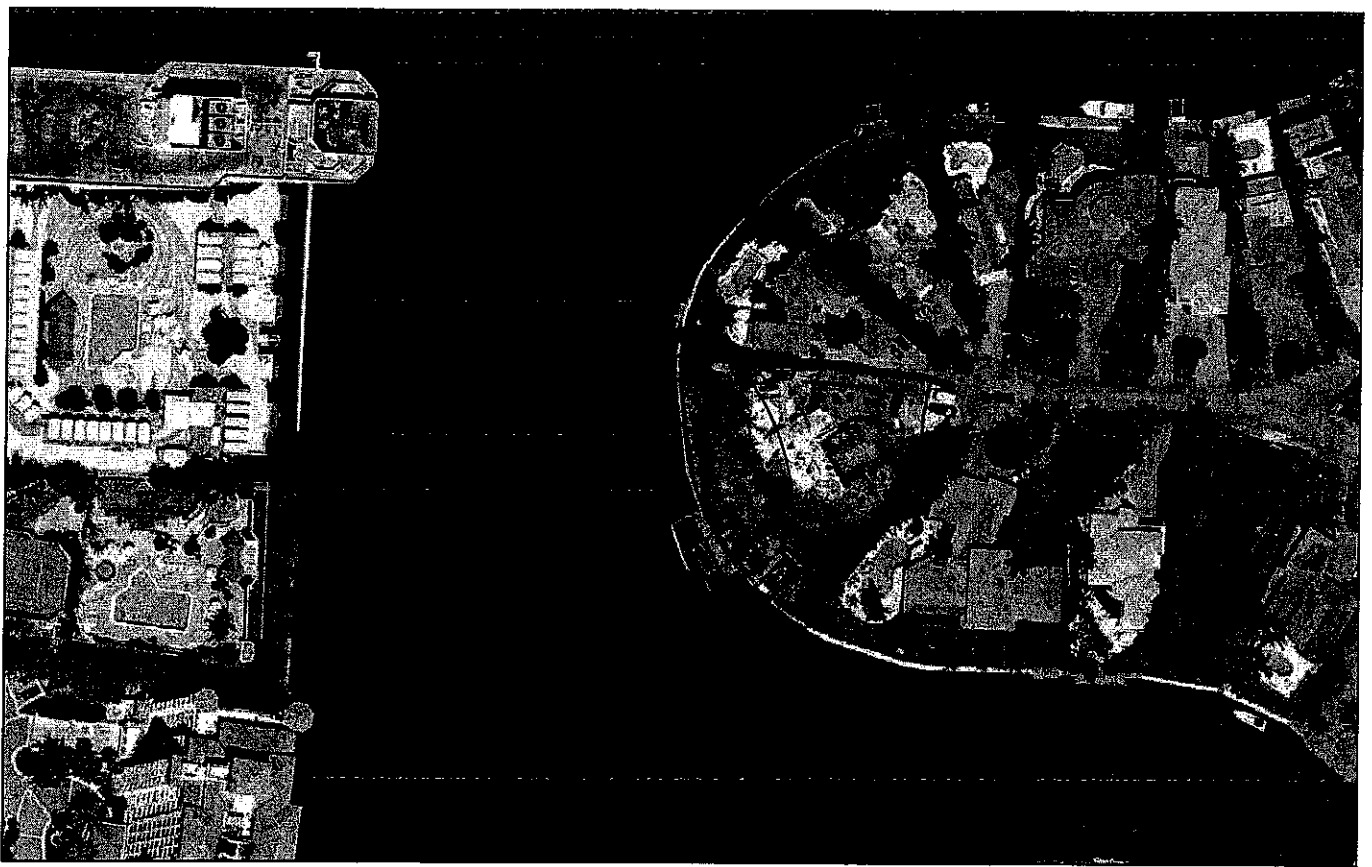
LOCATION MAP

PROJECT SITE LOCATION:
 298 SOUTH PARKWAY
 TOWN OF GOLDEN BEACH, FL 33160

LATITUDE: 25 DEG 57'47.33"N
LONGITUDE: 80 DEG 7'24.37"W

PROJECT SITE LEGAL DESCRIPTION:
 GOLDEN BEACH SEC D PB 10-10 W1/2 OF LOT 26 & ALL LOT 27 BLK G & LOT 28 BLK G OF PB 8-122 LESS BEG NE COR OF LOT 28 TH N 53 DEG W 183.99FT SWLY AD 128.78FT S 85 DEG E 190.76FT

AERIAL MAP



GENERAL NOTES

1. Construction to follow 2010 Florida Building code and amendments as applicable and all local, state, and federal laws.
2. Contractor shall verify the existing conditions prior to commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawings shall be brought to the attention of the Engineer prior to the commencement of the work. Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Contractor to pay for all permit fees, inspections, and testing required.
5. Contractor to verify location of existing utilities prior to commencing work.
6. Contractor to obtain all permits as necessary from all local, state, and federal agencies.
7. Contractor to properly fence and secure area with barricades.
8. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
9. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
10. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
11. Licensed contractor shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
12. The licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
13. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each pertaining circumstance.
14. Licensed contractor to verify location of existing utilities prior to commencing work.
15. All elevations shown refer to national geodetic vertical datum(NGVD) of 1929.

DOCK & WAKE BREAK

16. Contractor to construct a new, 60'x8', wood platform type boat dock, supported by (6) new wood dock piles, built in historic footprint, as follows:
 - 16.1. Provide and drive (6) new, 12", 2.5, CCA, marine treated, wood piles to support wake break around perimeter of boat dock area. Wave break framing to be .40, ACQ, marine treated, #1, pressure treated lumber secured with hot-dipped galvanized hardware.
 - 16.2. Decking to be IPE, Brazilian hardwood, 1"x6", decking boards secured with stainless steel decking screws.
 - 16.3. (6) new wood dock piles will be furred with 1"x3", IPE furring strips and topped with new copper caps.
 - 16.4. Dock: LL 60 PSF.

TOWN OF GOLDEN BEACH
 BUILDING ADVISORY BOARD
 HEARING DATE

MAR 12 2013

APPROVED _____
 DISAPPROVED _____
 VARIANCE REQ: _____

ALMOSNY DOCK PROJECT

Golden Beach, FL 33160

CLIENT:
Mr. ISAAC ALMOSNY
 298 South Parkway
 Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
 340 Minorca Avenue, Suite 5
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE CONSTRUCTION, INC.
 404 NE 38th Street
 Oakland Park, Florida 33334
 Tel: (954) 630-2300
 Fax: (954) 630-2381

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
 950 N. Federal Highway, Suite 212
 Pompano Beach, FL 33062
 Tel: (954) 545-1740
 Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
 John Omslaer
 PE 62733, EB 26829

CONSTRUCTION DRAWINGS

Issue #	Issue Date
①	November 9, 2012
②	November 20, 2012
③	February 13, 2013

PROJECT: 10-1630

LOCATION MAP GENERAL NOTES

SCALE : AS SHOWN
 SHEET NO.

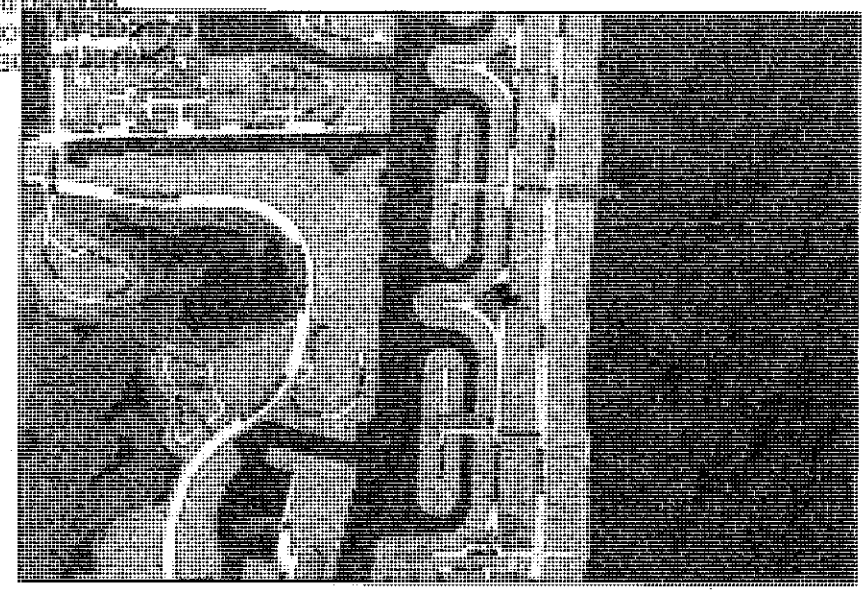
S-1

VARIANCE REQ: _____
 DISAPPROVED _____
 APPROVED _____

ALMOSNY DOCK PROJECT

MAR 12 2013

HEARING DATE
 BUILDING ADVISORY BOARD
 GOLDEN BEACH



LOCATION MAP

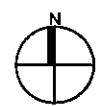
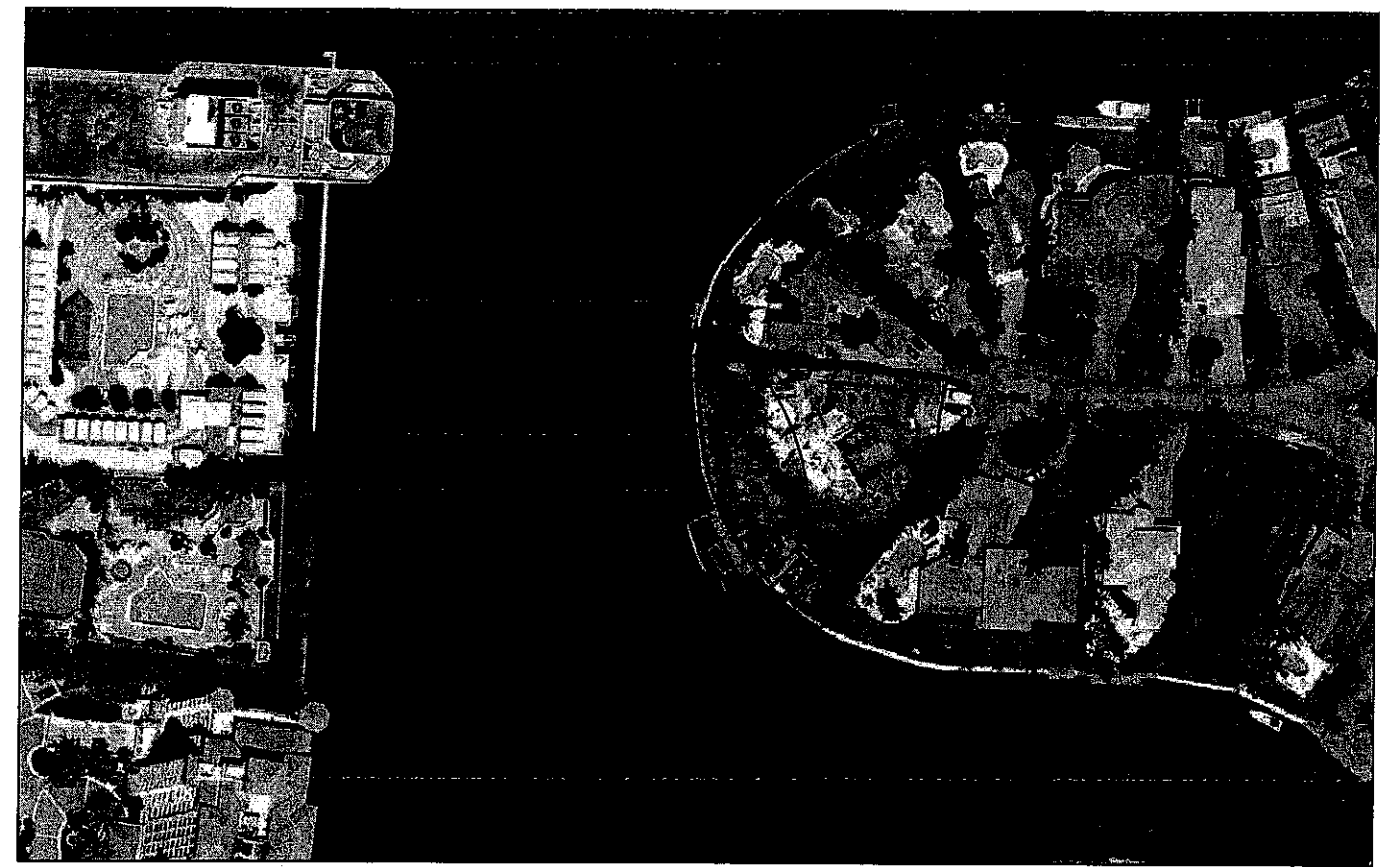
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TOWN OF GOLDEN BEACH
 BUILDING ADVISORY BOARD
 HEARING DATE

MAR 12 2013

APPROVED _____
 DISAPPROVED _____
 VARIANCE REQ: _____

ALMOSNY DOCK PROJECT

Golden Beach, FL 33160

CLIENT:
Mr. ISAAC ALMOSNY
 298 South Parkway
 Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
 340 Minorca Avenue, Suite 5
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE CONSTRUCTION, INC.
 404 NE 38th Street
 Oakland Park, Florida 33334
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 Fax: (954) 630-2381

PROJECT ENGINEER:
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 Tel: (954) 545-1740
 Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
 John Omslaer
 PE #2733, EB 26829

CONSTRUCTION DRAWINGS

Issue #	Issue Date
①	November 9, 2012
②	November 20, 2012
③	February 13, 2013

PROJECT: 10-1630

LOCATION MAP GENERAL NOTES

SCALE : AS SHOWN
 SHEET NO.

S-1

**ALMOSNY
DOCK
PROJECT**

Golden Beach, FL 33160

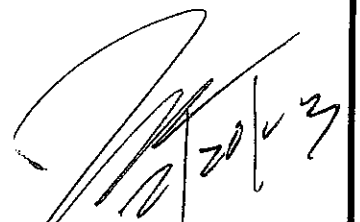
CLIENT:
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SEAL / SIGNATURE / DATE


John Omslaer
FE 52733, EB 26829

**CONSTRUCTION
DRAWINGS**

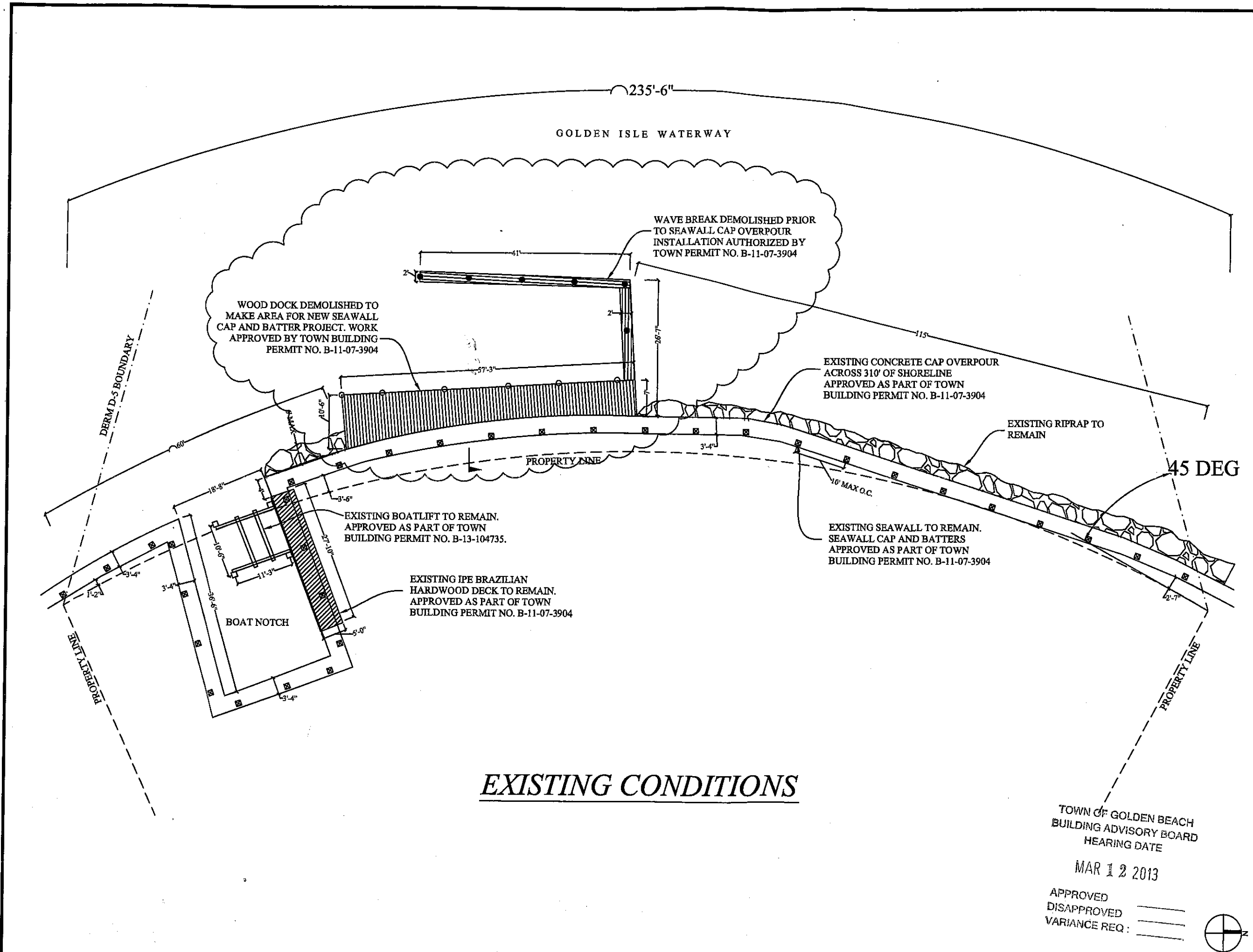
Issue #	Issue Date
①	November 9, 2012
②	November 20, 2012
③	February 13, 2013

PROJECT: 10-1630

**EXISTING
CONDITIONS**

SCALE: AS SHOWN
SHEET NO.

S-2



TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

MAR 12 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____



ALMOSNY DOCK PROJECT

Golden Beach, FL 33160

CLIENT:

Mr. ISAAC ALMOSNY
298 South Parkway
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:

OCEAN CONSULTING, LLC
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PE 52733, EB 26829

CONSTRUCTION DRAWINGS

Issue #	Issue Date
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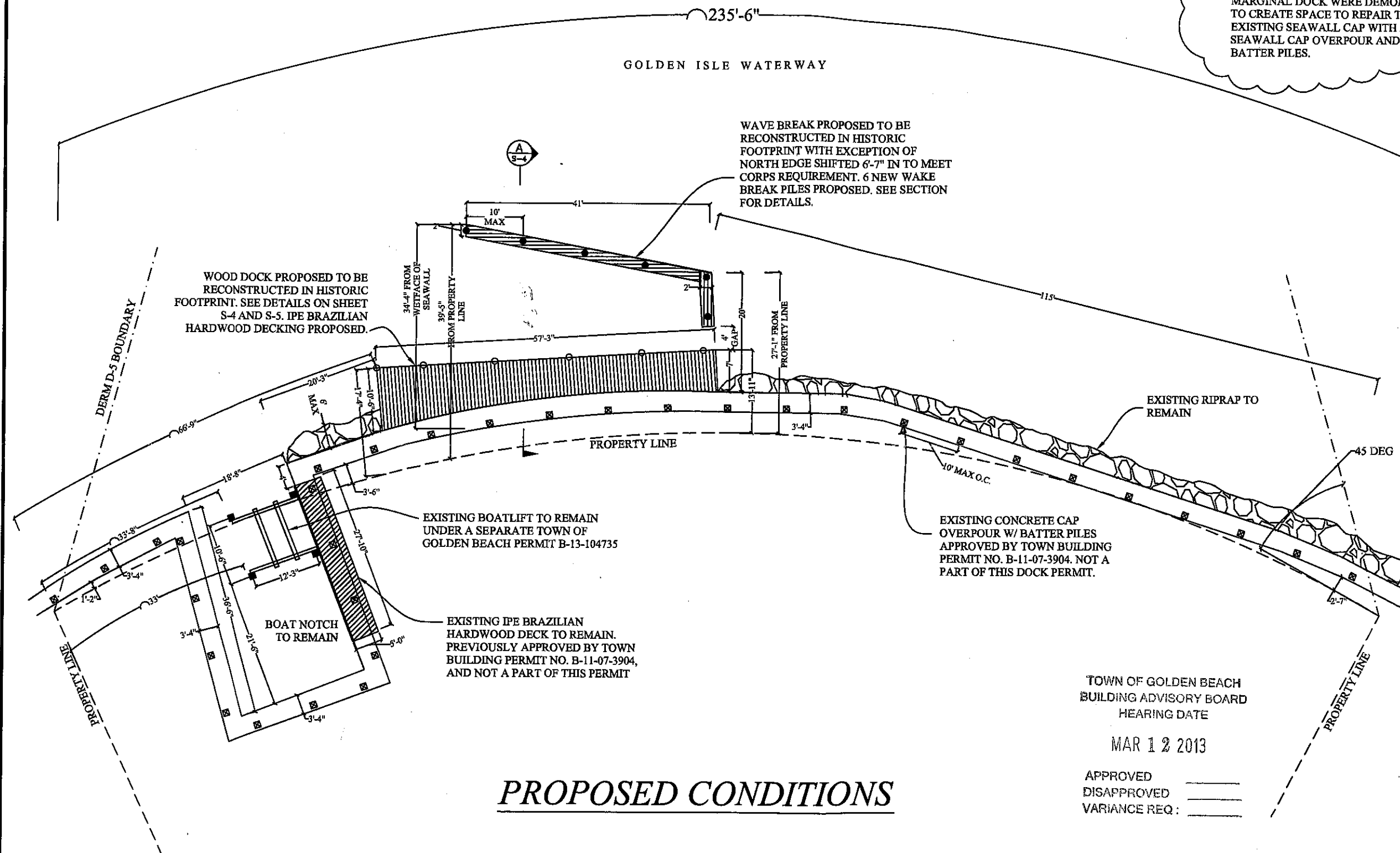
PROJECT: 10-1630

PROPOSED CONDITIONS

SCALE: AS SHOWN
SHEET NO.

S-3

NOTE THAT THE PREVIOUSLY EXISTING WAVE BREAK AND MARGINAL DOCK WERE DEMOLISHED TO CREATE SPACE TO REPAIR THE EXISTING SEAWALL CAP WITH A NEW SEAWALL CAP OVERPOUR AND BATTER PILES.



WAVE BREAK PROPOSED TO BE RECONSTRUCTED IN HISTORIC FOOTPRINT WITH EXCEPTION OF NORTH EDGE SHIFTED 6-7" IN TO MEET CORPS REQUIREMENT. 6 NEW WAKE BREAK PILES PROPOSED. SEE SECTION FOR DETAILS.

WOOD DOCK PROPOSED TO BE RECONSTRUCTED IN HISTORIC FOOTPRINT. SEE DETAILS ON SHEET S-4 AND S-5. IPE BRAZILIAN HARDWOOD DECKING PROPOSED.

EXISTING BOATLIFT TO REMAIN UNDER A SEPARATE TOWN OF GOLDEN BEACH PERMIT B-13-104735

EXISTING IPE BRAZILIAN HARDWOOD DECK TO REMAIN. PREVIOUSLY APPROVED BY TOWN BUILDING PERMIT NO. B-11-07-3904, AND NOT A PART OF THIS PERMIT

EXISTING CONCRETE CAP OVERPOUR W/ BATTER PILES APPROVED BY TOWN BUILDING PERMIT NO. B-11-07-3904. NOT A PART OF THIS DOCK PERMIT.

PROPOSED CONDITIONS

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

MAR 12 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

NOTES:
1. TOTAL SQUARE FOOTAGE OF DOCK: 422 S.F.
2. TURBIDITY CURTAIN TO SURROUND ALL IN-WATER WORK.



ALMOSNY DOCK PROJECT

Golden Beach, FL 33160

CLIENT:

Mr. ISAAC ALMOSNY

298 South Parkway
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:

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CONSTRUCTION DRAWINGS

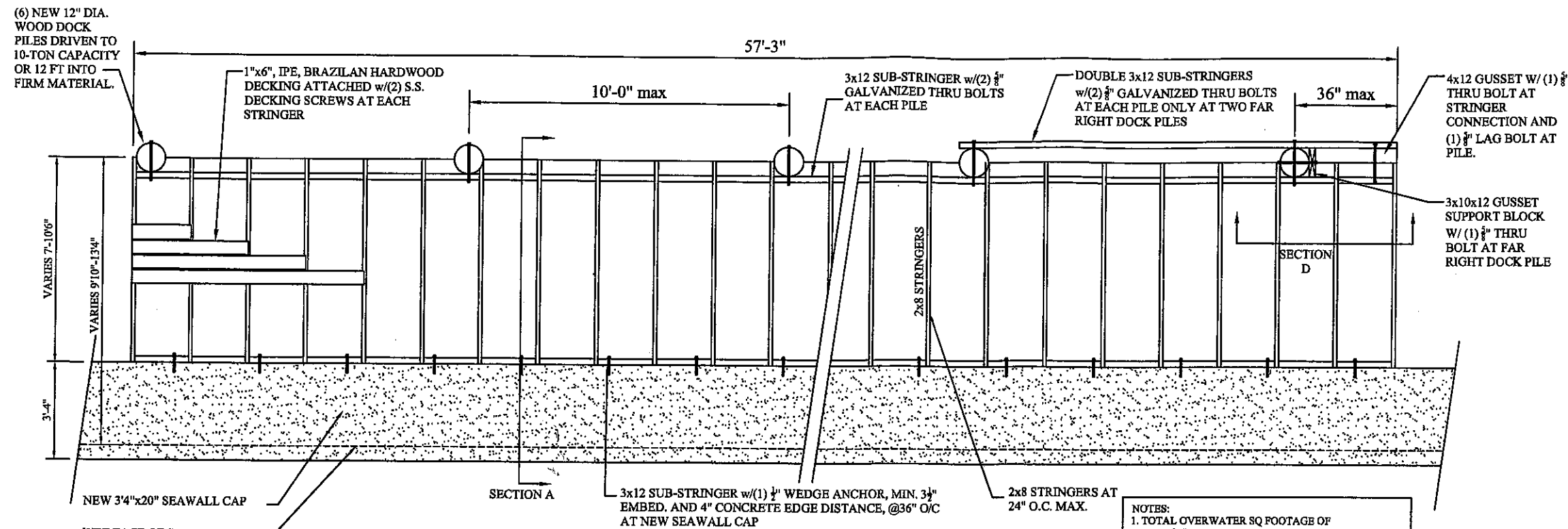
Issue #	Issue Date
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PROJECT: 10-1630

TYP. DOCK SECTION

SCALE: AS SHOWN
SHEET NO.

S-4

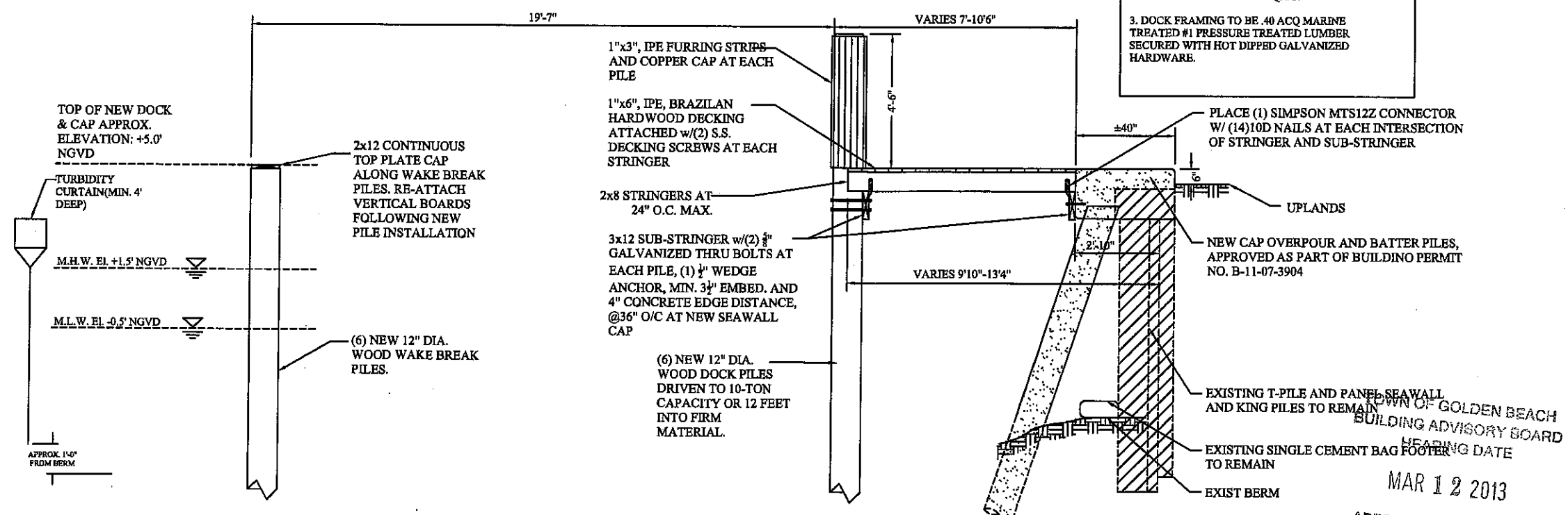


DOCK FRAMING PLAN

SCALE: 1/4"=1'-0"

NOTES:
1. TOTAL OVERWATER SQ FOOTAGE OF MARGINAL DOCK AND WAVE BREAK IS APPROXIMATELY 530 SQ. FT.
2. TOTAL OVERWATER SQ FOOTAGE OF CAP OVERHANG IS 74 SQ. FT.
3. DOCK FRAMING TO BE .40 ACQ MARINE TREATED #1 PRESSURE TREATED LUMBER SECURED WITH HOT DIPPED GALVANIZED HARDWARE.

TOTAL OVERWATER SQUARE FOOTAGE OF CAP OVERHANG, DOCK, AND BREAKWATER = 604 SQ. FT.

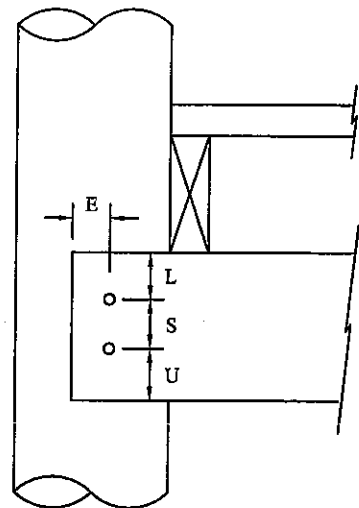


A TYP SECTION OF DOCK AND WAKE BREAK

SCALE: 1/4"=1'-0"

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

MAR 12 2013
TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

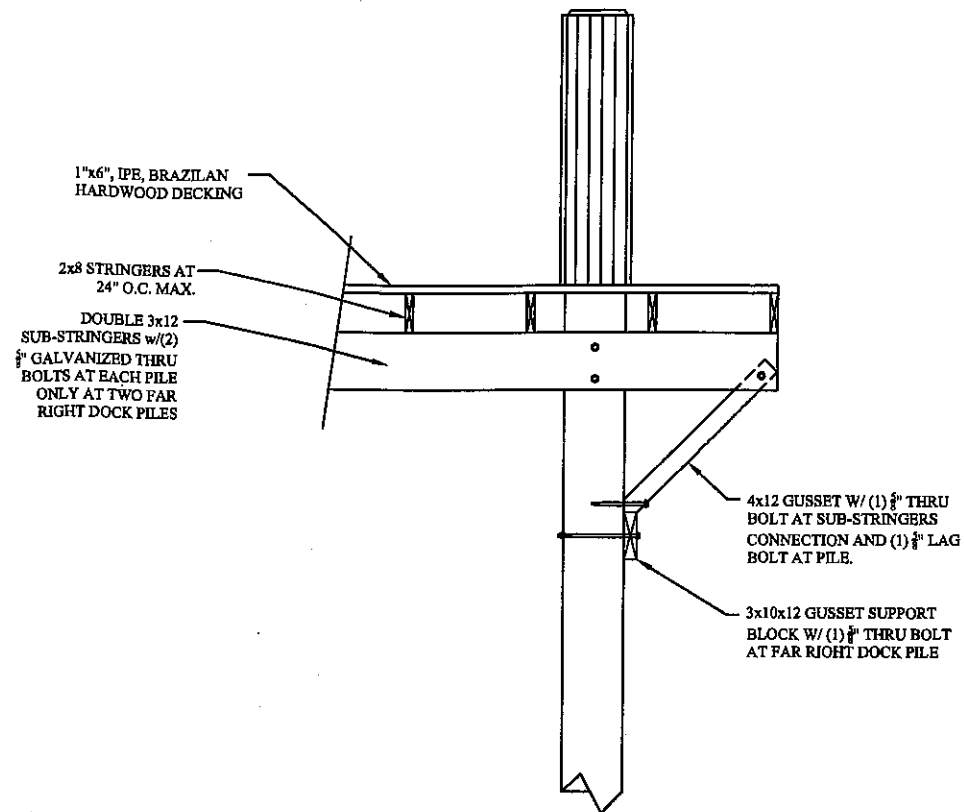


PILE CONNECTION

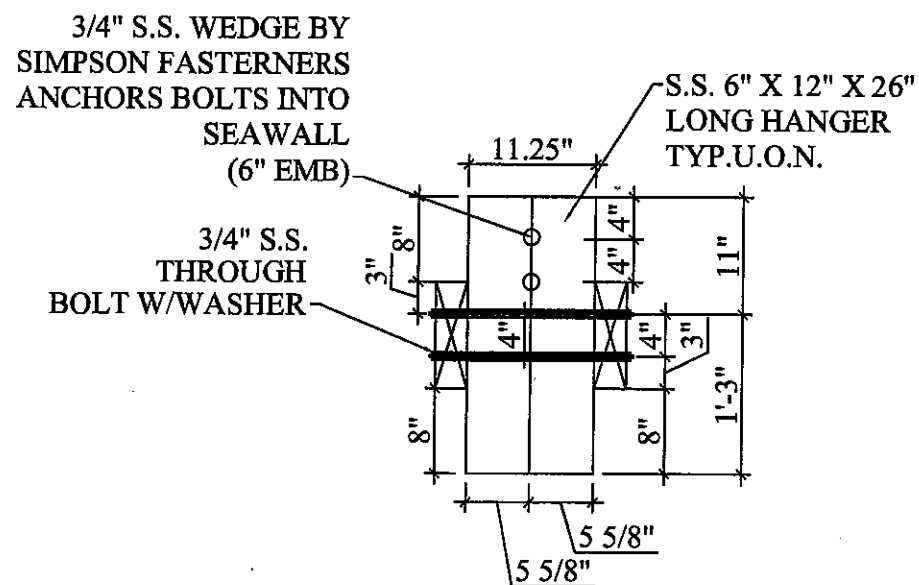
Bolt Diameter	1/2"	5/8"	3/4"	1"
E = End Dist = 4D	2	2 1/2"	3	4
L = Edge Dist, Loaded = 4D	2	2 1/2"	3	4
S = Spacing = 4D	2	2 1/2"	3	4
U = End Dist, Unloaded = 1.5D	3/4	15/16	1 1/8	1 1/2

NDS BOLT SPACING REQUIREMENTS

not to scale



D SECTION OF GUSSET SUPPORT
SCALE: 3/8"=1'-0"



TYP. HANGER BLOCK DETAIL

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED CAPACITY A MINIMUM OF 6 FEET INTO ROCK OR A MINIMUM OF 10 FEET INTO YIELDING MATERIAL.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE WEIGHT OF THE HAMMER IS NO LESS THAN 3000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FEET.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAXIMUM VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3 INCHES.
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT THE PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

STRUCTURAL TIMBER NOTES

- ALL STRUCTURAL TIMBER FRAMING SHALL BE #2 GRADE, PRESSURE TREATED SOUTHERN PINE UNLESS OTHERWISE NOTED.
- ALL DECKING SHALL BE #1 GRADE, PRESSURE TREATED SOUTHERN PINE UNLESS OTHERWISE NOTED.

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

MAR 12 2013

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ALMOSNY DOCK PROJECT

Golden Beach, FL 33160

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PROJECT: 10-1630

TYP. DETAILS & NOTES

SCALE: AS SHOWN
SHEET NO.

S-5

SKETCH OF SURVEY

PORTION OF LOT 28
BLOCK "G"
"SECTION "E" OF GOLDEN BEACH"
(P.B. 8, PG. 122, M/D.C.R.)

PORTION OF LOT 28
BLOCK "G"
"SECTION "E" OF GOLDEN BEACH"
(P.B. 8, PG. 122, M/D.C.R.)

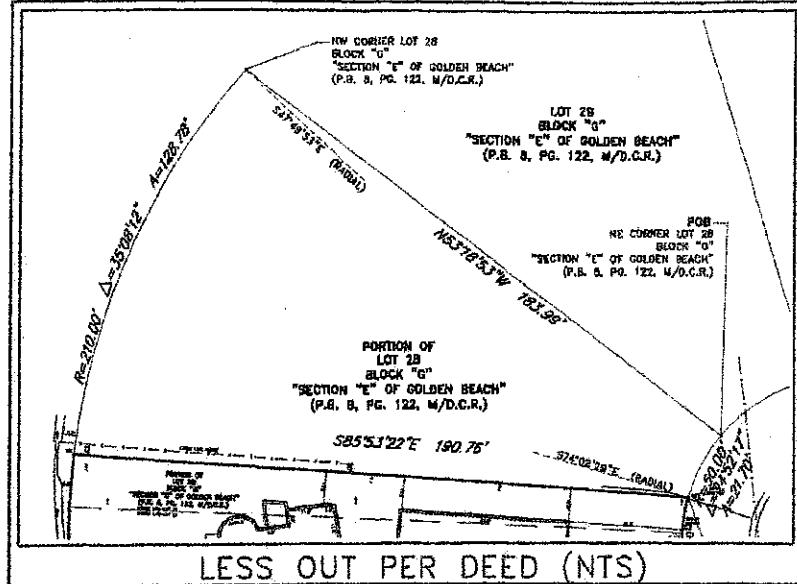
LOT 27
BLOCK "G"
"SECTION "D" OF GOLDEN BEACH"
(P.B. 10, PG. 10, M/D.C.R.)

ONE & TWO STORY
CBS RESIDENCE
(BUILDING UNDER CONSTRUCTION)
FORM BOARD SURVEY
ELEVATIONS ON FORM = 7.00'

PORTION OF LOT 26
BLOCK "G"
"SECTION "D" OF GOLDEN BEACH"
(P.B. 10, PG. 10, M/D.C.R.)

PORTION OF LOT 26
BLOCK "G"
"SECTION "D" OF GOLDEN BEACH"
(P.B. 10, PG. 10, M/D.C.R.)

SITE AREA:
27,307 SQ.FT.
0.6269 ACRES



LAND DESCRIPTION:
THE WEST 1/2 OF LOT 26, ALL OF LOT 27, BLOCK "G", "SECTION "D" OF GOLDEN BEACH", PLAT BOOK 10, AT PAGE 10, MIAMI-DADE COUNTY, FLORIDA, AND ALL OF LOT 28, BLOCK "G", MIAMI-DADE COUNTY, FLORIDA, LESS A PORTION OF THE SAID LOT 28, BLOCK "G" AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 28, THENCE RUN NORTH 53 DEGREES 18 MINUTES 53 SECONDS WEST FOR 183.99 FEET TO THE NORTHWEST CORNER OF SAID LOT 28. THIS POINT IS ALSO IN A NON-TANGENT CURVE CONCAVE TO THE SOUTHEAST (A RADIAL LINE OF SAID CURVE THROUGH SAID POINT BEARS SOUTH 47 DEGREES 49 MINUTES 53 SECONDS EAST). THENCE RUN SOUTHWESTERLY ALONG SAID CURVE HAVING A RADIUS OF 210.00 FEET THROUGH A CENTRAL ANGLE OF 35 DEGREES 08 MINUTES 12 SECONDS FOR 128.78 FEET TO A POINT. THENCE RUN SOUTH 85 DEGREES 53 MINUTES 22 SECONDS EAST IN A NON RADIAL LINE FOR 190.76 FEET TO A POINT IN A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST (A RADIAL LINE OF SAID CURVE IN THIS POINT BEARS SOUTH 74 DEGREES 02 MINUTES 29 SECONDS EAST); THENCE RUN NORTHEASTERLY ALONG SAID CURVE HAVING A RADIUS OF 50.00 FEET TO A CENTRAL ANGLE OF 24 DEGREES 52 MINUTES 17 SECONDS FOR 21.70 FEET TO THE POINT OF BEGINNING.

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120642
PANEL NUMBER	0153 L
ZONE	AE
BASE FLOOD ELEVATION	7
EFFECTIVE DATE	09/11/09

- LEGEND:**
- CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - SIR SET 5/8" IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #8448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - M/D.C.R. MIAMI/DADE COUNTY RECORDS
 - X- CHAIN LINK/ WOOD FENCE
 - CBS CONCRETE BLOCK STRUCTURE
 - A/C AIR CONDITIONER
 - FPL FLORIDA POWER & LIGHT
 - E- OVERHEAD UTILITY LINES
 - CLF CHAIN LINK FENCE
 - ELEVATION ELEVATION
 - POB POINT OF BEGINNING
 - R RADIUS
 - A ARC DISTANCE
 - Δ CENTRAL ANGLE
 - H HEIGHT
 - C CANDPY
 - FPL PAD FPL TRANSFORMER

- NOTES :**
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - BENCHMARK DESCRIPTION : NORTH RIM OF MANHOLE AT POINT OF INTERSECTION OF RAVENNA AVENUE AND GOLDEN BEACH DRIVE. ELEVATION=3.14'
 - BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF "SECTION "D" OF GOLDEN BEACH", (P.B. 10, PG. 10, M/D.C.R.) SAID LINE BEARS N87°23'36"W.

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN DECEMBER, 2010. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 81017 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: *Richard E. Cousins*
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 12/20/10

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7786 FAX (954) 689-7799

CLIENT :
MR. EDUARDO DARER

298 SOUTH PARKWAY
GOLDEN BEACH, FL 33160

SKETCH OF SURVEY

REVISIONS	DATE	FB/PG	OWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	08/07/09	DATA/CDL	AV	REC
FORM BOARD SURVEY	04/30/10	DATA/CDL	AV	REC
ADDED FPL TRANSFORMER	12/20/10	DATA/CDL	JD	REC

PROJECT NUMBER : 6310-09
SCALE : 1" = 10'

SHEET
1 OF
1 SHEET



TOWN OF GOLDEN BEACH RE-NOTICE OF PUBLIC HEARING

The **Town Council** of the Town of Golden Beach will hold a Public hearing on the following proposal:

 X Variance Request(s)
 X Accessory Structures

Re-construction of a new dock and wake break wall.

Relief from Town Code Section 46-84 General specifications for docks

No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Relief from Town Code Section 46-87 Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

- (1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.
- (2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Request is to allow the dock to extend out into the waterway outside the 10' maximum required by code, and for the wave break wall to extend outside the 25' maximum that is required by the code.

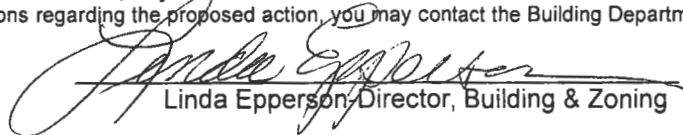
JOB ADDRESS: 298 South Parkway, Golden Beach, FL. 33160
 OWNER ADDRESS: 298 South Parkway, Golden Beach, FL. 33160
 REQUESTED BY: Isaac and Patricia Almosny
 LEGAL DESCRIPTION: W ½ of lot 26 and all of lot 27, and portion of Lot 28
 FOLIO NO.: 19-1235-004-0190

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
 1 GOLDEN BEACH DR., GOLDEN BEACH, FL
 DATE: August 20, 2013 at 7:00pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: August 9, 2013


 Linda Epperson, Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

3

Subject: Resolution No. 2297.13 – Variance Request for 298 South Parkway Drive,
Golden Beach, FL 33160 (Wave Break Wall)

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2297.13

Background and History:

The Town Code of Ordinances - Sec. 46-87(b) (1) Proximity of Lot Lines or other structures that are moored or installed at a dock or seawall.

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

The applicant is requesting that the wave break wall be allowed to extend into the waterway at 39.5', where a maximum of 25' has been established by the code.

The Building Regulation Advisory Board met March 12, 2013 and recommended approval of the variance, the motion failed with a Board vote of 3-0. The motion failed for lack of an affirmative vote.

No one in attendance spoke in opposition to this item. Two letters of no objection were submitted from the property owners of 298 South Parkway and 304 South Parkway, Golden Beach, FL.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2297.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 298 SOUTH PARKWAY, GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE WAVE BREAK WALL TO EXTEND INTO AN OUTSIDE WATERWAY AT 39.5', WHERE 25' IS REQUIRED BY THE TOWNS CODE.

WHEREAS, the applicant, Isaac and Patricia Almosny, (“the applicants”), filed a Petition for a Variance/exception, Article IV – Seawall and Docks: Section 46-87 Proximity of lot lines, allowing the wave break wall to extend into the waterway at 39.5’, in lieu of the Town Codes requirement of 25’ at 298 South Parkway, Golden Beach, Florida 33160 (Golden Beach Section “D”, W ½ of Lot 26, all of Lot 27, and a Portion of Lot 28, Block G, as recorded in PB 10-10, of the Public Records of Miami-Dade County, (Folio No. 19-1235-004-0190) (the “Property”) and ;

WHEREAS, the Town’s Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended disapproval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain plans, S-1 through S-5, by Dynamic Engineering Solutions, Inc., John Omslaer, PE 52733, dated 2/13/2013, and the Sketch of Survey, by Cousins Surveyors, dated 12/20/2010, for the property located at 298 South Parkway, Golden Beach, FL 33160.

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by Administration.

The Motion to adopt the foregoing Resolution was offered by _____, seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer _____
Vice Mayor Judy Lusskin _____
Councilmember Kenneth Bernstein _____
Councilmember Amy Isackson-Rojas _____
Councilmember Bernard Einstein _____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this _____ day of _____, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

4

Subject: Resolution No. 2305.13 – Variance Request for 357 Center Island Drive,
Golden Beach, FL 33160 (Viewing Platform (dock))

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2305.13

Background and History:

The Town Code of Ordinances Section 46-87 Proximity of lot lines.

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

The applicant is requesting that the viewing platform (dock) be allowed to extend outside the D-5 Triangle and into the side yard setback, where the code states the structure shall be within the D-5 Triangle and maintain a 5' side yard setback.

The Building Regulation Advisory Board met August 13, 2013 and recommended approval of the variance, the motion failed with a Board vote of 5 - 0. The motion failed for lack of an affirmative vote.

No one in attendance spoke in opposition to this item.
One letter of consent was included from the County permitting package.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2305.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 357 CENTER ISLAND DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE VIEWING PLATFORM (DOCK) STRUCTURE TO ENCROACH 13' OUTSIDE THE D5 TRIANGLE, AND INTO THE 5' SIDE YARD SETBACK WHEREAS DOCKS ARE REQUIRED TO BE WITHIN THE D5 TRIANGLE AND MAINTAIN A 5' SIDE YARD SETBACK AS REQUIRED BY THE TOWN'S CODE

WHEREAS, the applicant, Jonathan Brief, ("the applicants"), filed a Petition for a Variance/exception, Article IV – Seawall and Docks: Section 46-87 Proximity of lot lines, allowing the viewing platform (dock) structure to encroach 13' into the D5 Triangle and into the 5' side yard setback, in lieu of the Town Codes requirement to be within the D5 Triangle and maintain a 5' setback for the viewing platform (dock), at 357 Center Island Dr., Golden Beach, Florida 33160, Golden Beach Section "E", Portions of Lots 14 & 15, Block K, as recorded in PB 8-122, of the Public Records of Miami-Dade County, (Folio No. 19-1235-005-0850 (the "Property")) and ;

WHEREAS, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended disapproval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain plans, S-1 through S-9, by Dynamic Engineering Solutions, Inc., John Omslaer, PE 52733, dated 5/3/2013, and the Sketch of Survey, by Cousins Surveys, dated 06/15/2011, for the property located at 357 Center Island Dr., Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____, seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Bernard Einstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida, this 20th day August, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

Town of Golden Beach
MEMORANDUM

FOR
8/13/2013
BRAB

To: Building Regulation Advisory Board
From: Daniel B. Nieda, R.A. Building Official
Date: June 11, 2013
Re: Variance Petitions for viewing platform projection,
Proximity to lot lines and Dock height
Brief Residence
357 Center Island Drive

4 PAGES
VIA EMAIL

Background:

The applicant has submitted for approval a 19.7 foot wide by 10.7 foot deep viewing platform attached to seven new wood pile supports projecting 10.7 feet into the inter-coastal waterway. The proposed viewing platform is located on a radial lot open to the inter-coastal waterway, at 357 Golden Island Drive, where the viewing platform is to be replaced on the existing footprint projecting 10.7 feet into the waterway from the property line. The proposed viewing platform projects 9 inches beyond the maximum permitted 10 foot waterway projection stipulated per Section 46-84 to cause the variance petition. In addition, the proposed application generates two other variance petitions, one from Section 46-87(b)(1) for proximity to lot lines and the other from Section 46-85 for height of docks. The variance petitions appear to be owner driven requests to reuse the viewing platform footprint in the existing non-conforming location.

1. Viewing Platform Waterway Projection:

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance Petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, this petition constitutes a variance, since the applicant has requested to permit a new viewing platform structure projecting 10.7 feet or 9 inches beyond the permitted 10 foot waterway projection stipulated per Section 46-84 of the Code for lots with 100 feet or more of waterway width.
2. Yes, the land is peculiar in nature consisting of radial lot with frontage of 76.6 feet on the inter-coastal waterway at 357 Center Island Drive.
3. No, the variance petition is not generated by the peculiar nature of the lot's location in relation to water depth or submerged waterway grasses, but driven by the actions of the applicant. The applicant wishes to maintain the existing non-conforming viewing platform footprint, contrary to requirements generated by a replacement cost in excess of 50% of the value of the existing structure.
4. Yes, the granting the variance would confer upon the applicant a special privilege that is denied to other lands or structures with compliant dock projections on lots with 100 feet or more of waterway width.

357 CID

5. No, the literal interpretation of the provision of the Zoning Code for the requested viewing platform projection rights of 10.7 feet does not appear to deprive the applicant the rights commonly enjoyed by other properties with 10 foot deep viewing platforms in the same Zone 3 Residential District.
6. No, rejection of this variance petition will not deprive the applicant of reasonable use of his land.
7. No, the granting of the requested viewing platform projection variance petition may not be in harmony with the intent and purpose of the Zoning Code and may be injurious to the area and detrimental to the public welfare by the reduction of the canal's width for appropriate navigation.

In conclusion, the variance petition seeking relief from the maximum allowed viewing platform projection of 10.7 feet allowed into the waterway per Section 46-84 of the Code, **where the applicant seeks placement for a proposed viewing platform projecting 9 inches into the waterway, does not seem to rise to the standard required for granting of this variance petition.** The Building Review Advisory Board needs to determine if a negative recommendation of this variance petition deprives the applicant of reasonable use of his land. Alternately, the Board could recommend that other stipulated conditions may be required to raise this variance petition to the standards required by Section 66-41 of the Code, where the variance petition may be favorably considered.

2. Viewing Platform Proximity to Lot Lines:

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance Petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, this petition constitutes a variance, since the applicant has requested to permit a new viewing platform structure encroaching 13 feet into the Golden Beach D-5 triangle requiring that docks be setback 5 feet from the side property line as stipulated by requirements of Section 46-87(b)(1) for proximity to side lot lines.
2. Yes, the land is peculiar in nature consisting of radial lot with frontage of 76.6 feet on the inter-coastal waterway at 357 Center Island Drive.
3. No, the variance petition is not generated by the peculiar nature of the lot's location in relation to water depth or submerged waterway grasses, but driven by the actions of the applicant. The applicant wishes to maintain the existing non-conforming viewing platform footprint, contrary to requirements generated by a replacement cost in excess of 50% of the value of the existing structure.
4. Yes, the granting the variance would confer upon the applicant a special privilege that is denied to other lands or structures with compliant side yard projections on lots with 100 feet or more of waterway width.

- 357 CID
5. No, the literal interpretation of the provision of the Zoning Code for the requested viewing platform encroachment of 13 feet does not appear to deprive the applicant the rights commonly enjoyed by other properties from compliance with the D-5 triangle five foot side yard setback in the same Zone 3 Residential District.
 6. No, rejection of this variance petition will not deprive the applicant of reasonable use of his land.
 7. No, the granting of the requested viewing platform 13 foot encroachment variance petition may not be in harmony with the intent and purpose of the Zoning Code and may be injurious to the area and detrimental to the public welfare by the reduction of the canal's width for appropriate navigation and intrusive to the privacy of the adjacent property.

In conclusion, the variance petition seeking relief from the minimum allowed viewing platform D-5 triangle setback of 5 feet required per Section 46-87(b)(1) of the Code, **where the applicant seeks placement for a proposed viewing platform encroaching 13 feet into the side yard setback projection, does not seem to rise to the standard required for granting of this variance petition.** The Building Review Advisory Board needs to determine if a negative recommendation of this variance petition deprives the applicant of reasonable use of his land. Alternately, the Board could recommend that other stipulated conditions may be required to raise this variance petition to the standards required by Section 66-41 of the Code, where the variance petition may be favorably considered.

3. Viewing Platform Height:

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance Petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, this petition constitutes a variance, since the applicant has requested to permit a new viewing platform structure height with finish floor elevation of 5.5' NGVD, where the requirements of Section 46-85 require a maximum elevation of 5.0' NGVD.
2. Yes, the land is peculiar in nature consisting of radial lot with frontage of 76.6 feet on the inter-coastal waterway at 357 Center Island Drive.
3. Yes, the variance petition is generated by the existing nature of the lot's configuration with an existing pool deck elevation of 5.5' NGVD, where the applicant wishes to maintain the useable rear yard entertainment area reduced by the radial lot's configuration and promotes the safety of the deck area without the need for floor level changes.
4. Yes, the granting the variance would confer upon the applicant a special privilege that is denied to other lands or structures with compliant maximum dock height elevation of 5.5' NGVD on lots with 100 feet or more of waterway width.

357 CDD

5. No, the literal interpretation of the provision of the Zoning Code for the requested viewing platform finish floor elevation of 5.5' NGVD does not appear to deprive the applicant the rights commonly enjoyed by other properties from compliance with the D-5 triangle five foot side yard setback in the same Zone 3 Residential District. However, the requested 6 inch increase over the maximum elevation of 5.0' NGVD promotes the safety of the rear yard deck area without level changes and is not adverse to adjacent properties.
6. No, rejection of this variance petition will not deprive the applicant of reasonable use of his land.
7. Yes, the granting of the requested viewing platform finish floor height increase to 5.5' NGVD is minimal and may in harmony with the intent and purpose of the Zoning Code and may not be injurious or intrusive to the privacy adjacent properties.

In conclusion, the variance petition seeking relief from the maximum allowed viewing platform height with finish floor elevation of 5.5' NGVD, ***where the requirements of Section 46-85 requires a maximum elevation of 5.0' NGVD, seems to rise to the standard required for granting of this variance petition.*** The Building Review Advisory Board needs to determine if a negative recommendation of this variance petition deprives the applicant of reasonable use of his land. Alternately, the Board could recommend that other stipulated conditions may be required to raise this variance petition to the standards required by Section 66-41 of the Code, where the variance petition may be favorably considered



**TOWN OF GOLDEN BEACH
RE-NOTICE OF PUBLIC HEARING**

The Building Regulation Board and the Town Council of the Town of Golden Beach will hold a Public hearing on the following proposal:

- X Variance Request(s)
- X Accessory Structures

Construction of a viewing platform

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Relief from Town Code Section 46-87 Proximity of Lot Lines
(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

- (1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.
- (2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Relief from Town Code Section 46-85. - Height of sea walls and docks and extension of deck of dock.
No seawall and no deck of any dock shall exceed an elevation of five feet above the National Geodetic Vertical Datum (N.G.V.D.). Dock decks shall not extend more than six feet behind the seawall and no cover shall be permitted to be erected in connection with any dock. The minimum elevation of the top of any seawall shall be four feet above the N.G.V.D.

Request is to allow the viewing platform (dock) to extend out into the waterway outside the 10' maximum, outside the D-5 triangle, and to be elevated higher than the 5' HGVD elevation required by code.

JOB ADDRESS:	357 Center Island Drive, Golden Beach, FL. 33160
OWNER ADDRESS:	P.O. Box 800008, Aventura, FL. 33280
REQUESTED BY:	Jonathan Brief
LEGAL DESCRIPTION:	Portions of lots 14 & 15, Block K, GB Sect E, PB 8-122
FOLIO NO.:	19-1235-005-0850

The **BUILDING REGULATION ADVISORY BOARD** will consider this item:

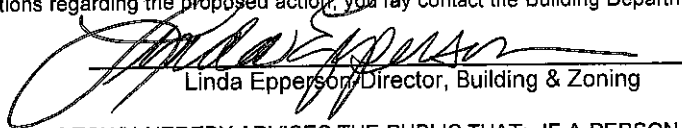
PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL
DATE: August 13, 2013 at 6:00pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL
DATE: August 20, 2013 at 7:00pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: August 1, 2013



Linda Epperson, Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 357 Center Island Dr., Golden Beach, FL Meeting Date: 6-11-13
Variance Hearing Dates: Advisory Board _____ Town Council _____

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Applicant: File application and submit 8 complete packages, shall consist of an application, survey, and drawings. (7 half size sets, and 1 full size set), as directed by the Building Official or Building Director. For a zoning variance, 16 sets of plans with applications attached are required, (15 half size, and 1 full size set.)

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days, prior to scheduled meeting, (**not including the day of the meeting**), to allow for preliminary review and public notice in order to be heard.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the regularly scheduled Town Council meeting.

Please see page 5 for required documents.

*****NOTICE*****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date.
2. The Building Director and/ or the Building Official will review the application package. If the application is incomplete, according to the requirements as specified in the application, it will not be accepted.
3. During the three (3) week period from deadline date to hearing date, the following events shall take place in proper order:
 - a. During the first week of submittal, the Building Official, or agent shall review the application. The processor specifying deficiencies, if any will complete a critique sheet.
 - b. The critique sheet will be faxed, or mailed, to the applicant as soon as the review is completed.
 - c. If the deficiencies are substantial the applicant shall be informed that the corrections shall be submitted within a week of the notification.
 - d. If the deficiencies are minor, the applicant shall be given the option of resubmitting the corrections within a week of notification, or to present them at the B.R.A.B. meeting/hearing.
4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package shall be given to the processor and one copy shall be delivered to each Board member. The Building Dept shall retain all originals for the records.
6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
7. After the meeting, three (3) copies of the approved items (full size) shall be obtained by the applicant for inclusion into the building permit package, and one retained for their records

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>
1. Residence (new construction)..... (must include complete landscape plan)	\$300.00
2. Addition/Remodel of existing structure..... (must include landscape plan)	\$300.00
3. Alteration to existing residence..... (fencing, site walls, driveways, etc.)	\$150.00
4. Accessory Building (Zone 1 only)...	\$150.00
5. Swimming pools	\$100.00
6. Pool deck...	\$100.00
7. Docks	\$100.00
8. Boat Lifts	\$100.00
9. Carports, awnings.....	\$100.00
10. Landscape plan revision.....	\$ 50.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception. (Includes \$122.00 for certified, return receipt and regular mailings costs)	\$372.00
b. Per additional variance/exception, when requested at same time as first one...	\$150.00
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, per each Section to be verified.....	\$100.00

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of \$200.00

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of \$200.00

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of \$500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the second time period \$250.00

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
	<p>If a zoning variance is applied for, the petition for variance shall be submitted with the application and shall include:</p> <ul style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
	<p>Eight (8) property surveys, building plans, and applications (1 original, 7 copies). Survey not older than six (6) months old. Completed sets are to be submitted as follows: Seven (7) copies at ½ size & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies at ½, and 1 original at full size). One completed package shall consist of 1 each of an application, survey, and building plans.</p>	
	<p>Conceptual construction drawings prepared and signed by a design professional that shall include, at a minimum, the following:</p> <ul style="list-style-type: none"> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Independent from the Site Plan, provide a proposed Landscaping Plan for new construction. For existing structures, submit existing Landscaping Plan and proposed improvements, if any. c. Proposed Floor Plan views, at a scale not less than ¼"=1'-0" d. Cross and longitudinal sections preferably through vaulted areas, if any. e. Typical exterior wall cross section. f. Full elevations showing roof ridge height and any other higher projections. g. Details of roofing and construction materials. h. Existing and proposed ground floor elevations (NGVD). i. Grading & Drainage Calculations 	
	<p>Green area calculations with copies of Site Plan marking the geometrical areas used to calculate the pervious areas. (1 copy only)</p>	
	<p>First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.</p>	
	<p>Colored rendering showing new or proposed addition work. This rendering may be submitted the day of the hearing.</p>	
	<p>Estimated cost of proposed work.</p>	
	<p>Estimated fair market value of property showing separately the value of the land and the value of the structure.</p>	

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: _____

Request hearing in reference to:

New residence/addition: _____ Variance(s): Yes - Viewing Platform
Exterior alterations: _____ Other Structure: Dock, Decking, Boatlift
Date application filed: _____ For hearing date: _____

1. Project information:

Project description: This project proposes a replacement of the existing elevated viewing platform in the same footprint requiring a variance, and the installation of an elevated marginal dock with boatlift, as well as a new seawall cap with batter piles

Legal Description: GOLDEN BEACH SEC E PB 8-122 PORT OF LOTS 14 & 15

Folio #: 19-1235-005-0850

Address of Property: 357 CENTER ISLAND DR

2. Is a variance(s) required: Yes No How Many? 2
(If yes, please submit variance application form for each request).

Owner's Name: Jonathan Brief Phone _____ Fax _____

Owner's address: 357 Center Island Dr. City/State Golden Beach, FL Zip 33160

Agent: Kirk Lofgren Phone 305-457-5573 Fax 305-677-3254

Agent's address: 340 Minorca Avenue #5 City/State Coral Gables, FL Zip 33134

Architect: _____ Phone _____ Fax _____

Contractor: Southeast Marine Construction Phone 954-630-2300 Fax _____

3. Describe project and/ or reason for request of hearing: This project proposes a replacement of the existing elevated viewing platform in the same footprint requiring a variance, and the installation of an elevated marginal dock with boatlift, as well as a new seawall cap with batter piles
4. The following information is submitted for assisting in review:

Building Plans:

Conceptual: _____ Preliminary: _____ Final: _____

Other: _____

5. Estimated cost of work: \$ 40,000
- Estimated market value of: Land \$ _____
Building \$ _____

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

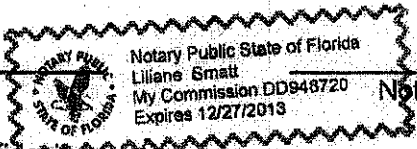
6. Is hearing being requested as a result of a Notice of Violation? No
7. Are there any structures on the property that will be demolished? Yes
8. Does legal description conform to plat? Yes
9. **Owner Certification:** I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): _____

Acknowledged before me this 20th day of, 200 Sept. 2012

Type of identification: Pers. Known

[Signature]
Notary Public



Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: BRAB Hearing relative to my property and I am hereby authorizing Kirk Lofgren to be my legal representative before the Building Regulation Advisory Board and Town Council.

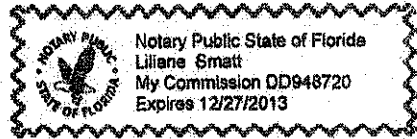
[Signature]
Signature of owner(s)

Acknowledged before me this 20th day Sept 2012

Type of identification: Pers. Known

[Signature]
Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application.



TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING


Property Address: 357 Center Island Drive, Golden Beach, FL
Legal Description: GOLDEN BEACH SEC E PB 8-122 PORT OF LOTS 14 & 15 IN BLK K
Owner's Name: Jonathan Brief Phone _____ Fax _____
Agent's Name: Kirk Lofgren Phone 305-457-5573 Fax 305-677-3254
Board Meeting of: _____

- NOTE: 1. Incomplete applications will not be processed.
2. Applicant and/or architect must be present at meeting.

Application for: BRAB Hearing
Lot size: 13,340 SQ FT
Lot area: _____
Frontage: _____
Construction Zone: _____
Front setback: _____
Side setback: _____
Rear setback: _____
Coastal Construction: Yes No East of coastal const. control line: Yes _____ No X
State Road A1A frontage: _____
Swimming pool: _____ Yes _____ No Existing: _____ Proposed: _____
Fence Type: _____ Existing: _____ Proposed: _____
Finished Floor elevation N.G.V.D.: _____
Seawall: _____ Existing: X Proposed: _____
Lot Drainage: _____
How will rainwater be disposed of on site? _____

Adjacent use (s): _____
Impervious area: _____
% of impervious area: _____
Existing ground floor livable area square footage: _____
Proposed ground floor livable area square footage: _____
Existing 2nd floor livable area square footage: _____
Proposed 2nd floor livable area square footage: _____
Proposed % of 2nd floor over ground floor: _____
Vaulted area square footage: _____
Vaulted height: _____
Color of main structure: _____
Color of trim: _____
Color & material of roof: _____
Building height (above finished floor elevation): _____
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum): _____

Existing trees in Lot: _____ in Swale: _____
Proposed trees in Lot: _____ in Swale: _____
Number & type of shrubs: _____
Garage Type: _____ Existing: _____ Proposed: _____
Driveway width & type: _____

Signature of Applicant:  Date: 5/8/2013

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: _____

Fee: _____

I, Jonathan Brief hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 357 Center Island Drive Folio No. 19-1235-005-0850

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (list section number(s) of the Town of Golden Beach Code of Ordinances): Extension into waterway, elevation of structure over seawall cap, and sideyard setback

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):
 - a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Confirmed

 - b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. Grandfathered Viewing Platform Structure that extends more than 6' into waterway, and that is elevated to meet existing pool deck to +5.5' NGVD, and proposed to be replaced in the same footprint. New marginal dock is proposed to be elevated to match pool deck elevation and height for safety.

 - c. The special conditions and circumstances do not result from the actions of the applicant. Current Owner bought property as-is, with existing condition of viewing platform exceeding sideyard setback, and elevated +5.5' NGVD. New marginal dock is proposed to match this elevation for safety and transition to existing pool deck.

 - d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. Confirmed. Existing condition of viewing platform is being replaced in same footprint. Neighbor to the east has signed a letter of consent.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. Confirmed. The viewing platform is a grandfathered structure at +5.5' NGVD.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Confirmed. Replacing viewing platform in same footprint, and installation of a marginal dock within the Zoning Triangle that is elevated to +5.5' NGVD to match pool elevation.

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Confirmed. Adjacent property owner has signed a letter of consent

Does the Variance being requested comply with all the above listed criteria?
 Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No.
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? Yes No

8. Is construction in progress? No

9. Is this request as a result of a code violation? No

10. Did this condition exist at the time property was acquired? Yes No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No

12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-005-0850 Address: 357 Center Island Dr.

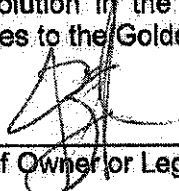
Legal Description: Golden Beach Sec E PB 8-122 Port of Lots 14 & 15 in Blk K Desc

BEG SE COR OF LOT 15 TH SW 150 FT SELY AD 83.20 FT N 31 DEG E 150.14 FT NWLY AD 21.06 FT TO

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of _____ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.



Signature of Owner or Legal Representative

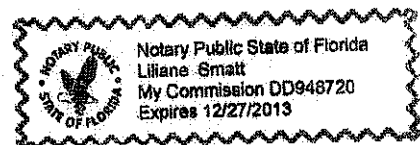
Sworn to and subscribed before me this 26 day of, 200 Sept. 2012



Notary Public State of Florida at Large

Personally know to me

Produced Identification



LETTER OF CONSENT

Note: Please insert applicable information

Date: 4/22/13

Miami-Dade County DERM
Class I Permitting Program
701 NW 1st Court
Miami FL, 33136

Re: Letter of Consent for Miami-Dade County DERM Class I Permit Application Number
CLI-2012-0295 (insert Class I Permit application number), for work proposed at
357 Center Island Drive, Golden Beach, FL 33160

(insert address of proposed work)

Ladies and Gentlemen:

I, Ralph Velocci (insert name), am the owner of the property located at
349 Center Island Drive, Golden Beach, FL 33160

(insert address of adjoining riparian property)

which is an adjoining riparian property to the above-referenced property. I have reviewed the
plans entitled 357 Center Island Rd Dock & Seawall Improvement Project

(insert title of plans)
prepared by Dynamic Engineering Solutions dated January 28, 2013, and preliminarily approved
by DERM on January 30, 2013 for the above-referenced project. Pursuant to Section
24-48.3(1)(j)(iii) of the Code of Miami-Dade County, Florida, I hereby consent to the above-
referenced project.

Sincerely,

[Handwritten signature]

Adjoining Riparian Property Owner

SUBSCRIBED AND SWORN TO ME THIS 22nd DAY OF APRIL, 2013
BY Ralph Velocci
PERSONALLY KNOWN PRODUCED IDENTIFICATION (PLEASE CHECK ONE)
TYPE OF ID PRODUCED
[Signature] NOTARY PUBLIC
JENIFER M KRIEGER
MY COMMISSION # DD 869222
EXPIRES: July 11, 2013
Bonded Thru Notary Public Underwriters

357 CENTER ISLAND DRIVE DOCK & SEAWALL IMPROVEMENT PROJECT

357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL


CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE CONSTRUCTION, INC.
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
950 N. Federal Highway, Suite 212
Pompano Beach, Florida 33062
Tel: (954) 545-1740
Fax: (954) 5451-1721

SEAL / SIGNATURE / DATE



John Omislaer
PE 52733, EB 26829

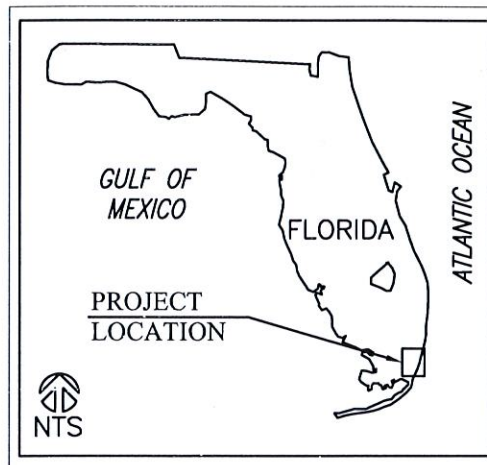
PERMIT SKETCHES

Issue #	Issue Date
⑤	January 7, 2013
⑥	January 25, 2013
⑦	February 21, 2013
⑧	May 3, 2013

PROJECT: 12-2485

COVER SHEET & EXISTING CONDITIONS
SCALE: AS SHOWN
SHEET NO.

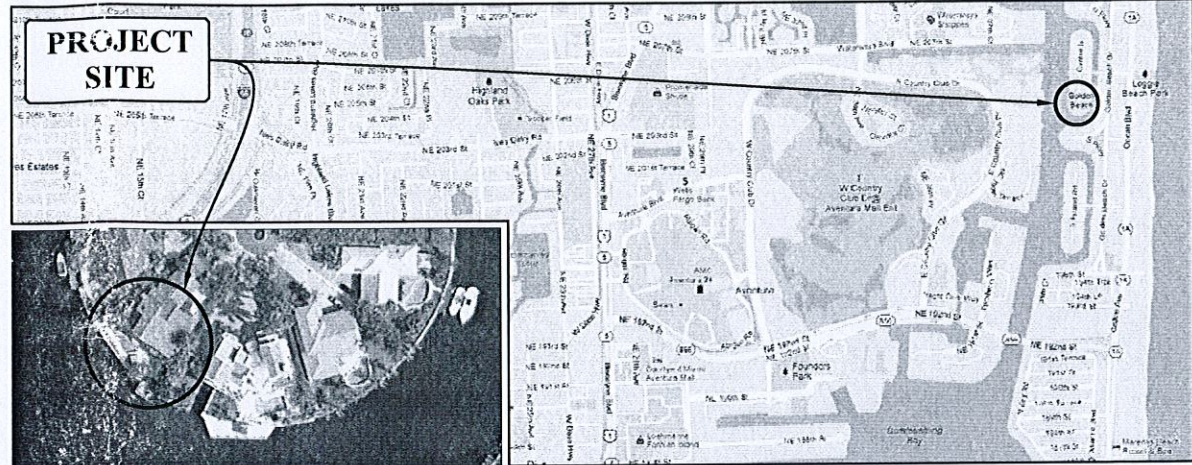
S-1



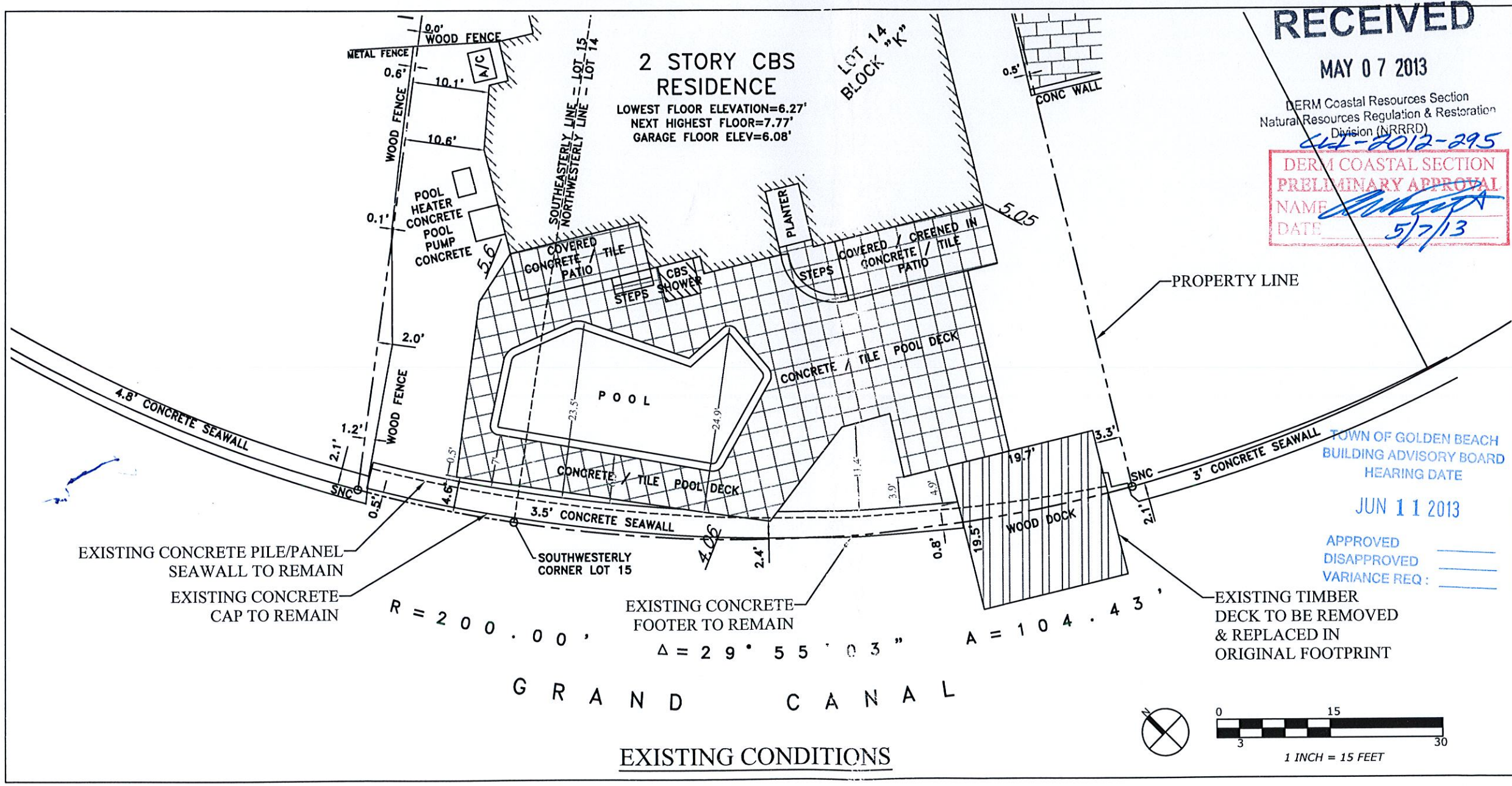
LOCATION:
357 CENTER ISLAND ROAD
GOLDEN BEACH, FL 33160

LAT/LONG:
25°57'52.33"N / 80° 7'22.18"W

LEGAL DESCRIPTION:
GOLDEN BEACH SEC E PB 8-122 PORT OF LOTS 14 & 15 IN BLK K DESC BEG SE COR OF LOT 15 TH SW150FT SELY AD 83.20FT N 31 DEG E 150.14FT NWLY AD 24.06FT TO



KEY MAP



NOTES:

1. TURBIDITY CURTAIN SHALL BE PROPERLY INSTALLED DURING ALL CONSTRUCTION ACTIVITIES.
2. BASED ON THE DECEMBER 18, 2012 GEOTECHNICAL REPORT CONDUCTED BY DYNATECH ENGINEERING CORP., ALL PILES ARE TO BE DRIVEN TO 25'-28' B.E.L.S. TO ACHIEVE 25-TON CAPACITY IN COMPRESSION.
3. AZEK DECKING TO BE SILVER OAK COLOR

RECEIVED

MAY 07 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *[Signature]*
DATE 5/7/13

357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL

CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:

OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

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DYNAMIC ENGINEERING SOLUTIONS, INC.
950 N. Federal Highway, Suite 212
Pompano Beach, Florida 33062
Tel: (954) 545-1740
Fax: (954) 5451-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omlaer
PE 52733, EB 26829

PERMIT SKETCHES

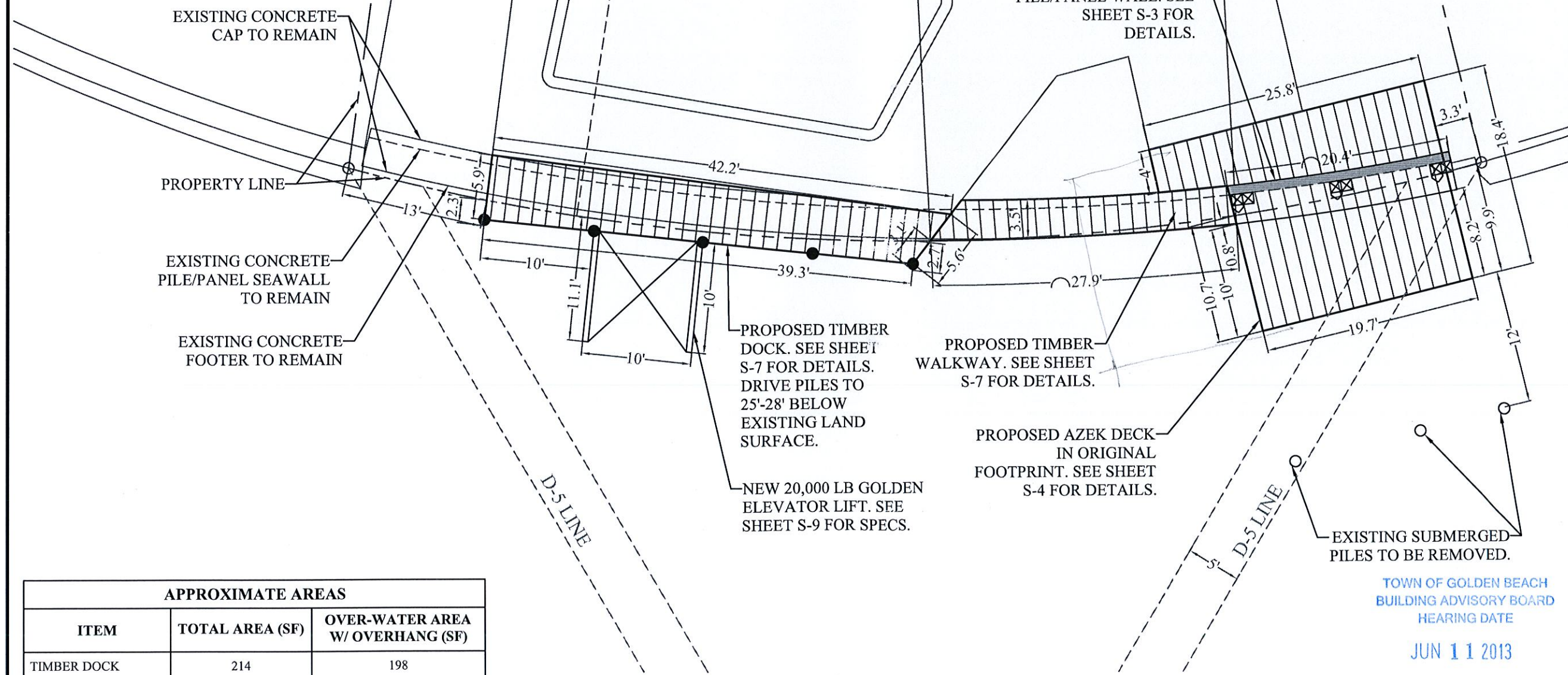
Issue #	Issue Date
⑤	January 7, 2013
⑥	January 25, 2013
⑦	February 21, 2013
⑧	May 3, 2013

PROJECT: 12-2485

PROPOSED SITE PLAN

SCALE: AS SHOWN
SHEET NO.

S-2



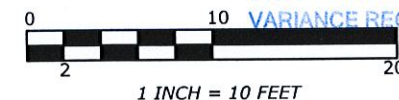
APPROXIMATE AREAS		
ITEM	TOTAL AREA (SF)	OVER-WATER AREA W/ OVERHANG (SF)
TIMBER DOCK	214	198
TIMBER WALKWAY	91	0
TIMBER DECK	389	230
CONCRETE CAP	91	72
TOTAL	785	500

PROPOSED CONDITIONS

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED
DISAPPROVED
VARIANCE REQ:



357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL

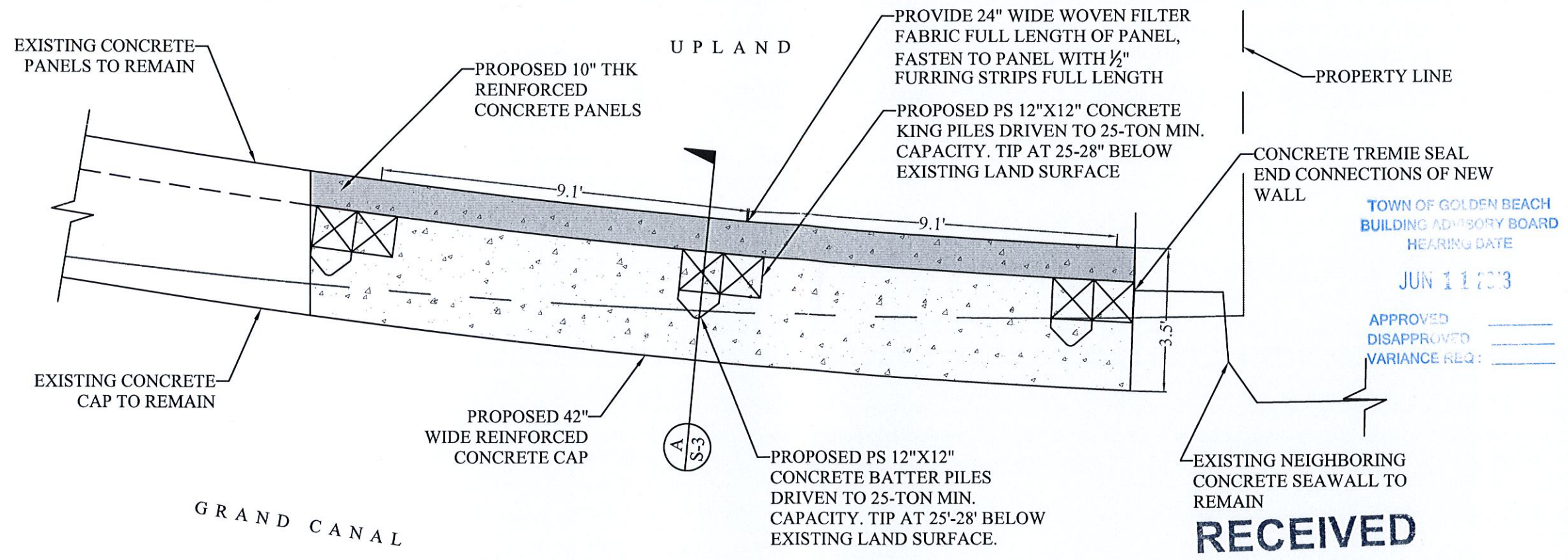
CLIENT:
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950 N. Federal Highway, Suite 212
Pompano Beach, Florida 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE



TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE
JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

RECEIVED

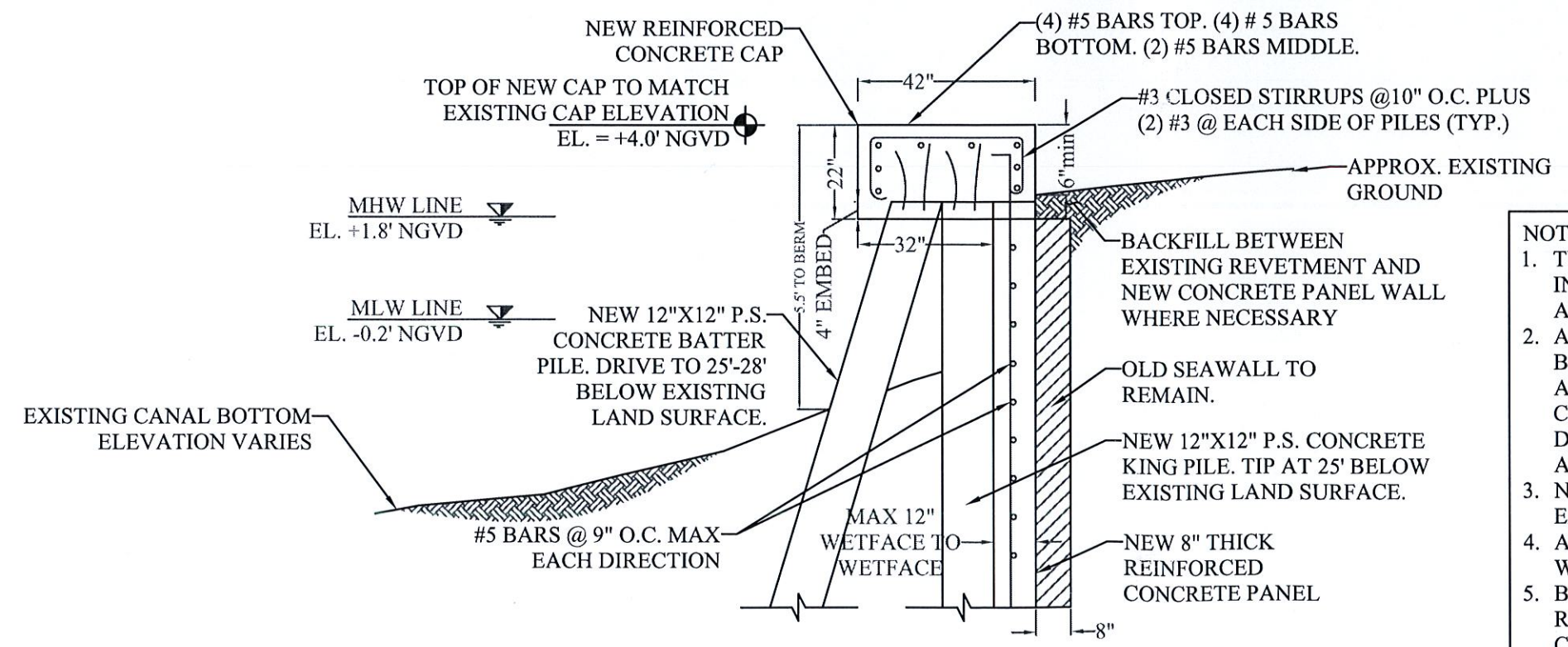
MAY 07 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME: *[Signature]*
DATE: **5/7/13**

GRAND CANAL

PROPOSED CONCRETE SEAWALL PLAN (TYP) **1**
SCALE: 1/3" = 1'-0" **S-2**



- NOTES:
1. TURBIDITY CURTAIN SHALL BE PROPERLY INSTALLED DURING ALL CONSTRUCTION ACTIVITIES.
 2. ANY EXISTING REVETMENT AND/OR SEAWALL TO BE REMOVED OR DEMOLISHED AS NECESSARY TO ACCOMMODATE CONSTRUCTION OF NEW CONCRETE SEAWALL AND CAP ALONG SAME DELINEATION AS EXISTING ADJACENT SEAWALL AND CAP.
 3. NEW CONCRETE CAP DIMENSIONS ARE TO MATCH EXISTING ADJACENT CONCRETE CAP DIMENSIONS.
 4. ALL PILE / PANEL CONNECTIONS TO BE SEALED WITH CONCRETE GROUT.
 5. BASED ON DECEMBER 18, 2012 GEOTECHNICAL REPORT CONDUCTED BY DYNATECH ENGINEERING CORP., ALL PILES ARE TO BE DRIVEN TO 25'-28' B.E.L.S. TO ACHIEVE 25-TON CAPACITY IN COMPRESSION.

PROPOSED CONCRETE SEAWALL SECTION (TYP) **A**
SCALE: 1/3" = 1'-0" **S-3**

John Ormslaer
PE 52733, EB 26829

PERMIT SKETCHES

Issue #	Issue Date
⑤	January 7, 2013
⑥	January 25, 2013
⑦	February 21, 2013
⑧	May 3, 2013

PROJECT: 12-2485

PROPOSED CONCRETE SEAWALL

SCALE: AS SHOWN
SHEET NO.

S-3

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL

CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:

OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE CONSTRUCTION, INC.
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
950 N. Federal Highway, Suite 212
Pompano Beach, Florida 33062
Tel: (954) 545-1740
Fax: (954)5451-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaer
PE 52733, EB 26829

PERMIT SKETCHES

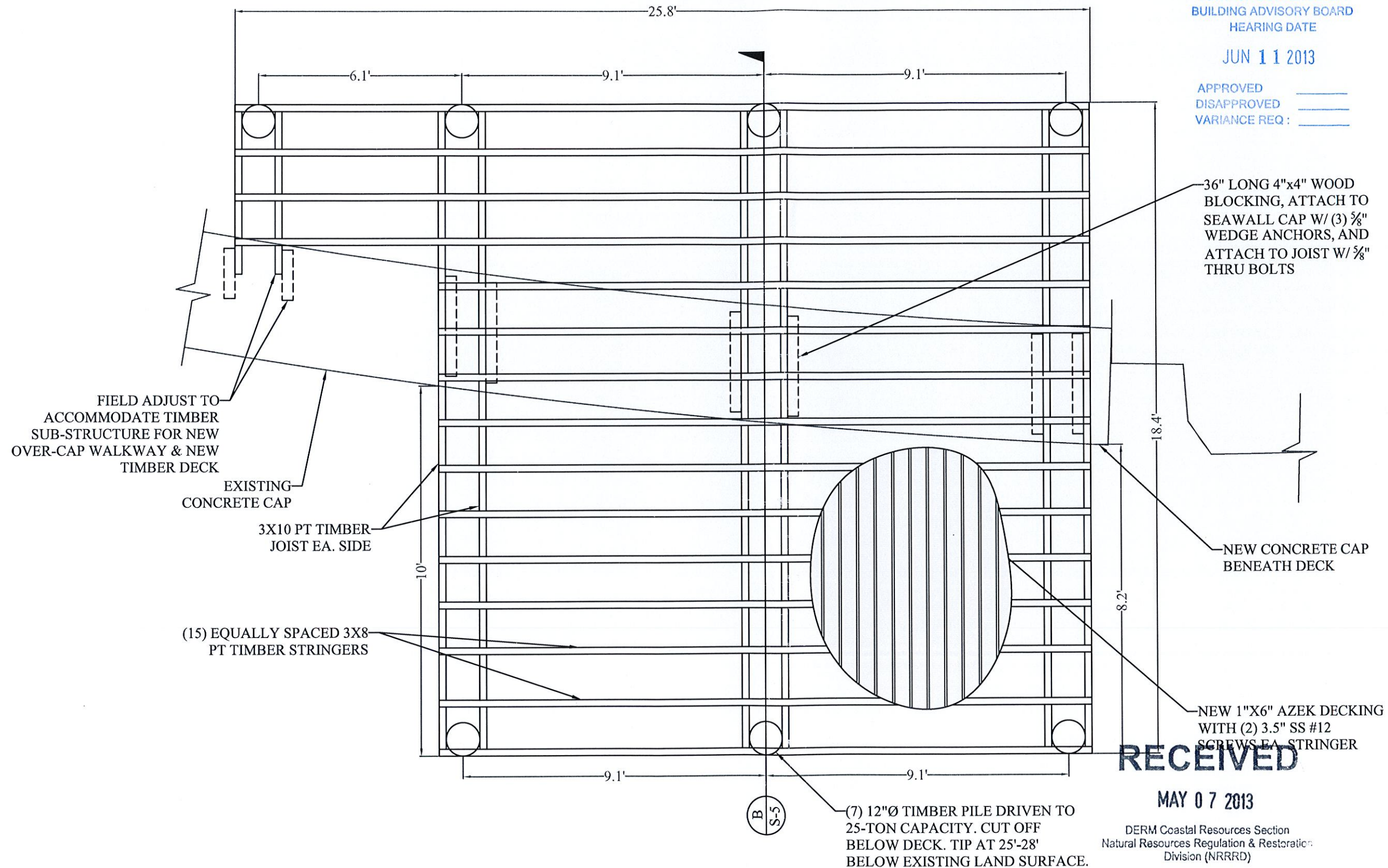
Issue #	Issue Date
⑤	January 7, 2013
⑥	January 25, 2013
⑦	February 21, 2013
⑧	May 3, 2013

PROJECT: 12-2485

PROPOSED TIMBER DECK PLAN

SCALE: AS SHOWN
SHEET NO.

S-4



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MAY 07 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *[Signature]*
DATE 5/7/13

PROPOSED TIMBER DECK PLAN (TYP)

SCALE: 1/3" = 1'-0"

2
S-2

(7) 12"Ø TIMBER PILE DRIVEN TO 25-TON CAPACITY. CUT OFF BELOW DECK. TIP AT 25'-28' BELOW EXISTING LAND SURFACE.

357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL

CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
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APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

ENVIRONMENTAL CONSULTANT:

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Fax: (954) 5451-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaer
PE 52753, EB 26829

PERMIT SKETCHES

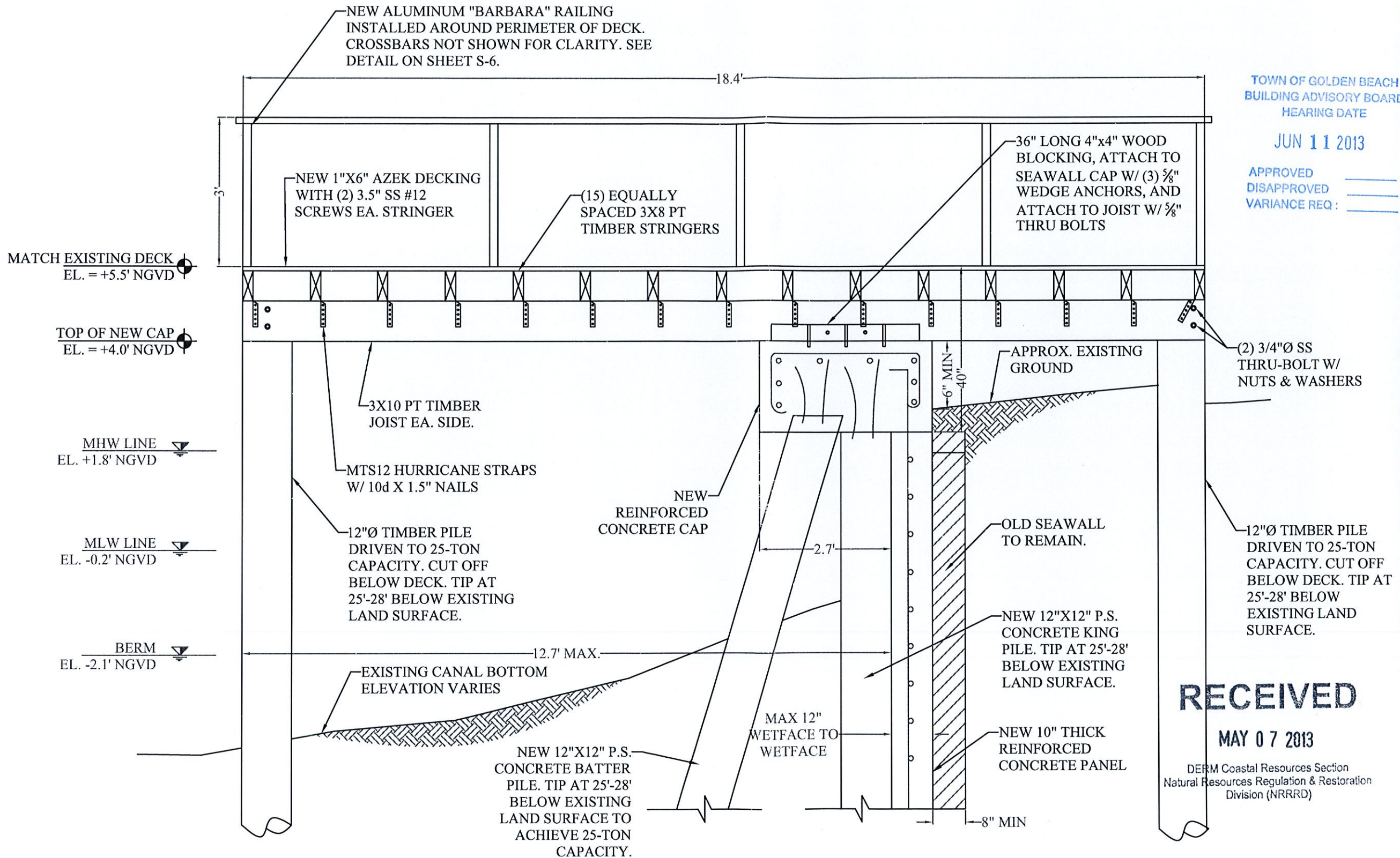
Issue #	Issue Date
⑤	January 7, 2013
⑥	January 25, 2013
⑦	February 21, 2013
⑧	May 3, 2013

PROJECT: 12-2485

PROPOSED TIMBER DECK SECTION

SCALE: AS SHOWN
SHEET NO.

S-5



PROPOSED TIMBER DECK SECTION (TYP) **B**
SCALE: 1/2" = 1'-0" **S-4**

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *[Signature]*
DATE 5/7/13

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MAY 07 2013
DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL

CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

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SEAL / SIGNATURE / DATE

John Ormslaer
PE 52733, EB 26829

PERMIT SKETCHES

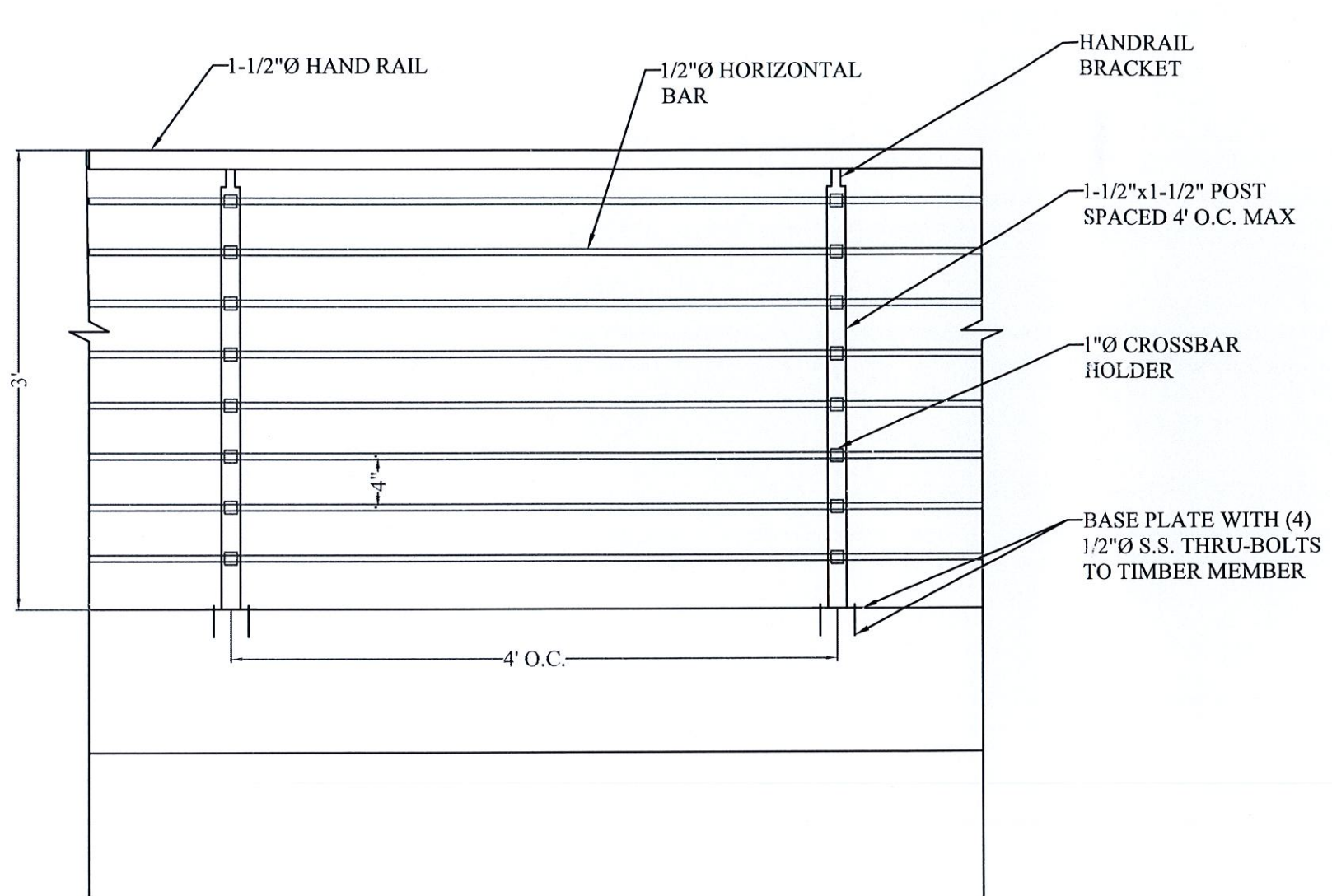
Issue #	Issue Date
⑤	January 7, 2013
⑥	January 25, 2013
⑦	February 21, 2013
⑧	May 3, 2013

PROJECT: 12-2485

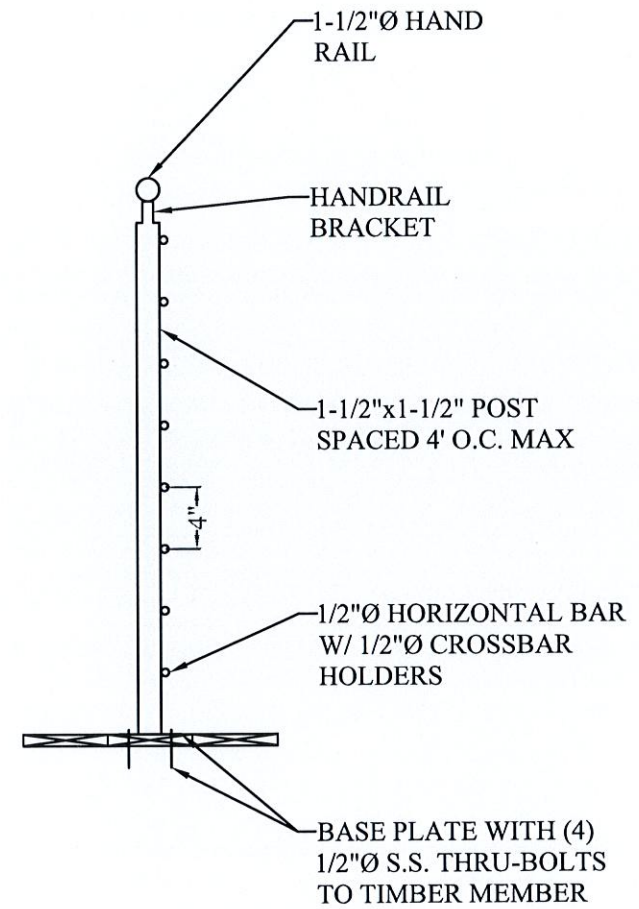
PROPOSED RAILING DETAILS

SCALE: AS SHOWN
SHEET NO.

S-6



ALUMINUM "BARBARA" RAILING 3
DETAIL (TYP) S-5
SCALE: 1" = 1'-0"



ALUMINUM "BARBARA" RAILING 4
DETAIL (TYP) S-5
SCALE: 1" = 1'-0"

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

RECEIVED
MAY 07 2013
DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME _____
DATE 5/7/13

357 Center Island Rd. Dock & Seawall Improvement Project
Golden Beach, FL

CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
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SEAL / SIGNATURE / DATE

John Omslaer
PE 52733, EB 26829

PERMIT SKETCHES

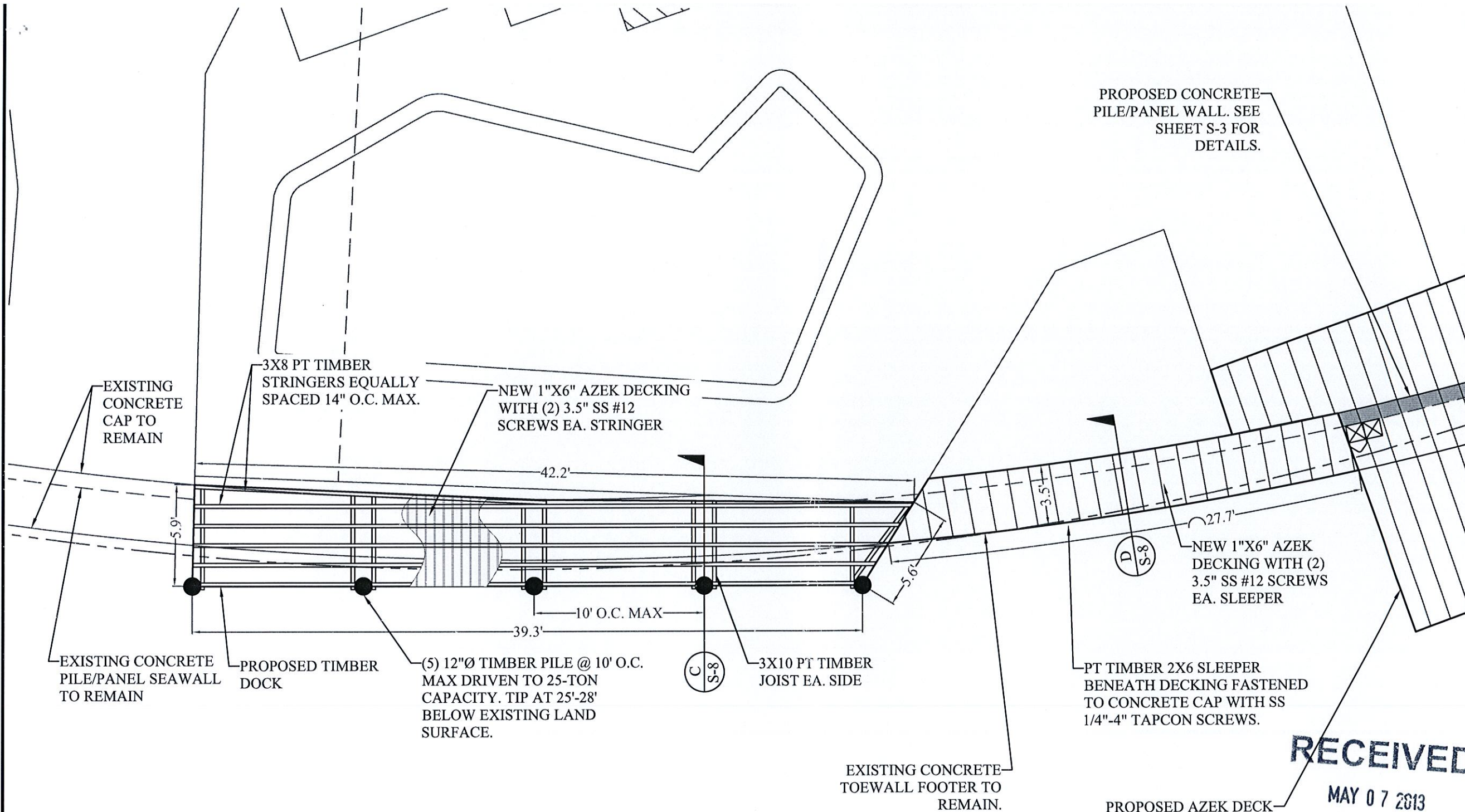
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⑧	May 3, 2013

PROJECT: 12-2485

PROPOSED TIMBER DOCK & WALKWAY

SCALE: AS SHOWN
SHEET NO.

S-7



PROPOSED TIMBER DOCK & WALKWAY PLAN (TYP)

SCALE: 1/6" = 1'-0"

5
S-2

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME _____
DATE 5/7/13

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MAY 07 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

PROPOSED AZEK DECK
IN ORIGINAL
FOOTPRINT. SEE SHEET
S-4 FOR DETAILS.

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MAY 07 2013

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRRD)

DERM COASTAL SECTION
 PRELIMINARY APPROVAL
 NAME: [Signature]
 DATE: 5/7/13

TOWN OF GOLDEN B.
 BUILDING ADVISORY BOARD
 HEARING DATE

JUN 11 2013

APPROVED _____
 DISAPPROVED _____
 VARIANCE REQ. _____

CLIENT:
Jonathan Brief
 357 Center Island Road
 Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
 340 Minorca Avenue, Suite 5
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE CONSTRUCTION, INC.
 404 NE 38th Street
 Oakland Park, Florida 33334
 Tel: (954) 630-2300
 Fax: (954) 630-2381

PROJECT ENGINEER:
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SEAL / SIGNATURE / DATE

[Signature]
 John Omislaer
 PE 52733, EB 26829

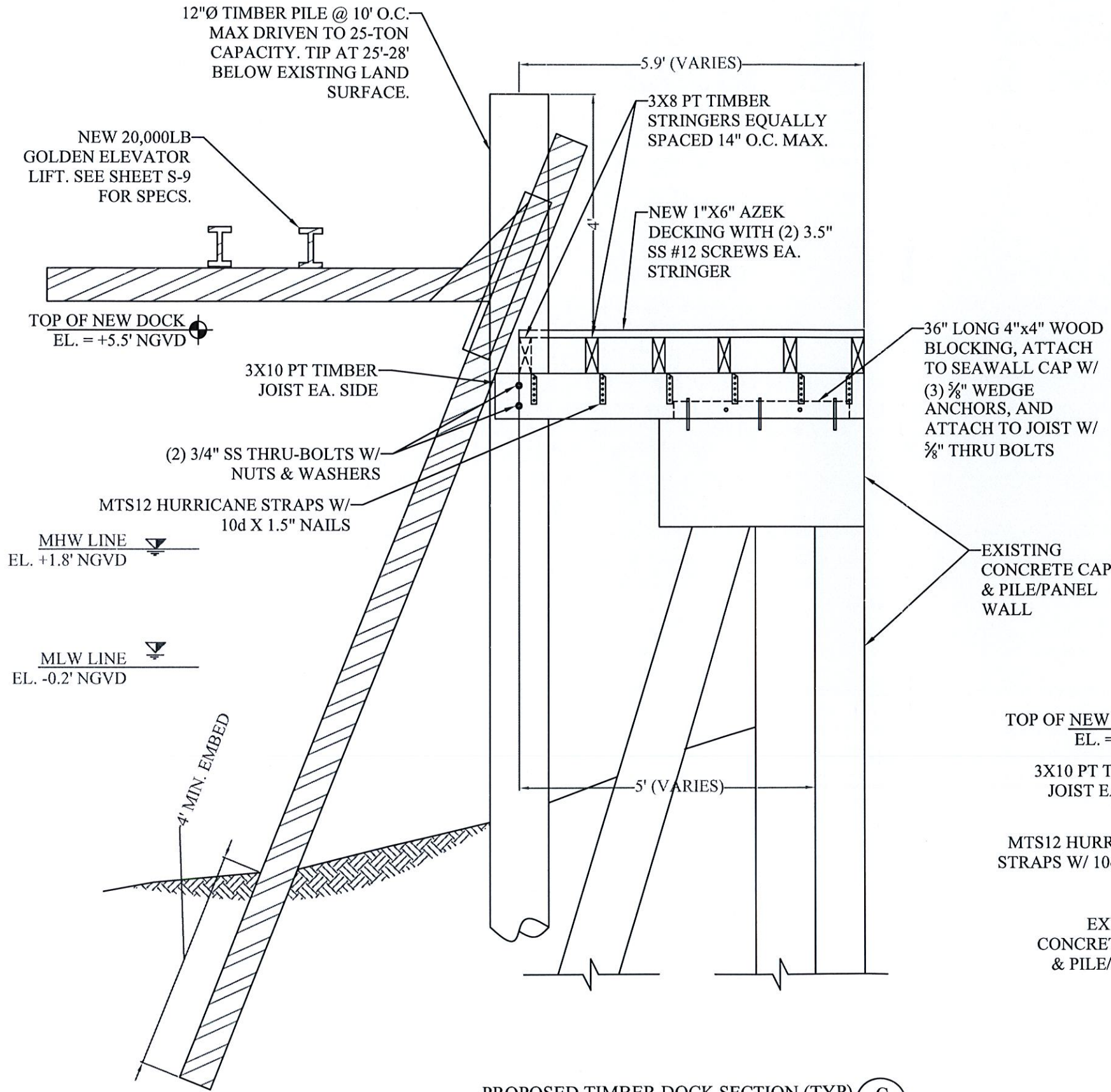
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⑧	May 3, 2013

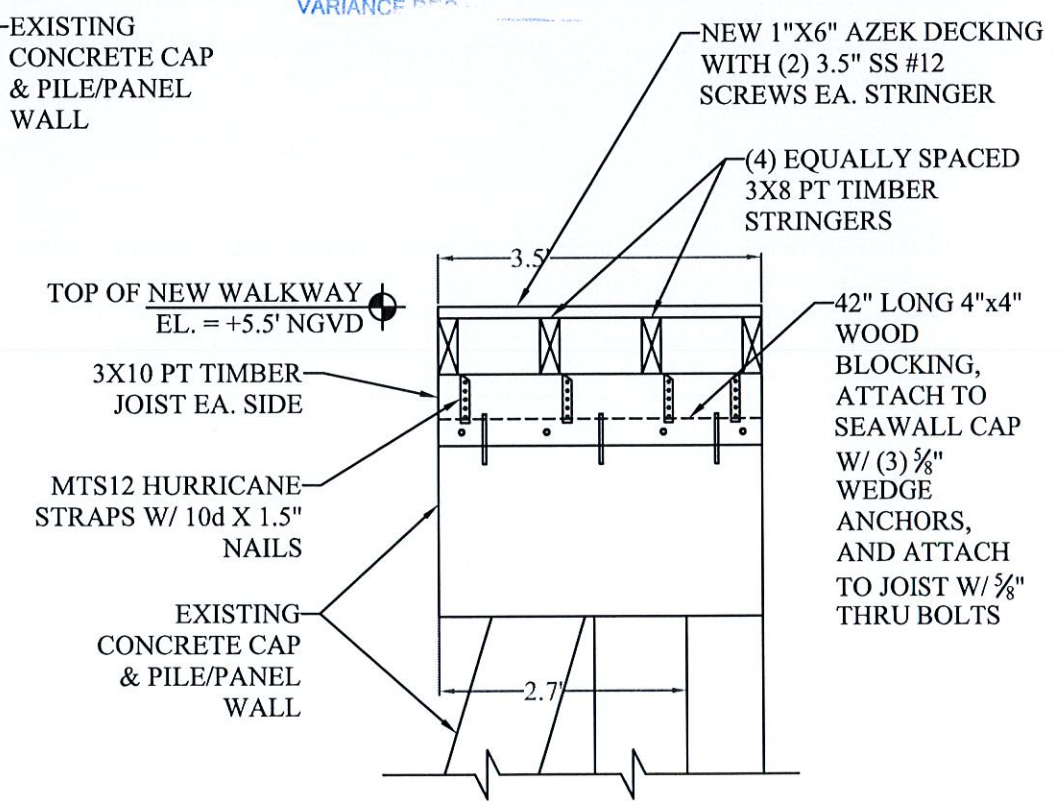
PROJECT: 12-2485

PROPOSED TIMBER DOCK & WALKWAY SECTIONS & DETAILS
 SCALE: AS SHOWN
 SHEET NO.

S-8

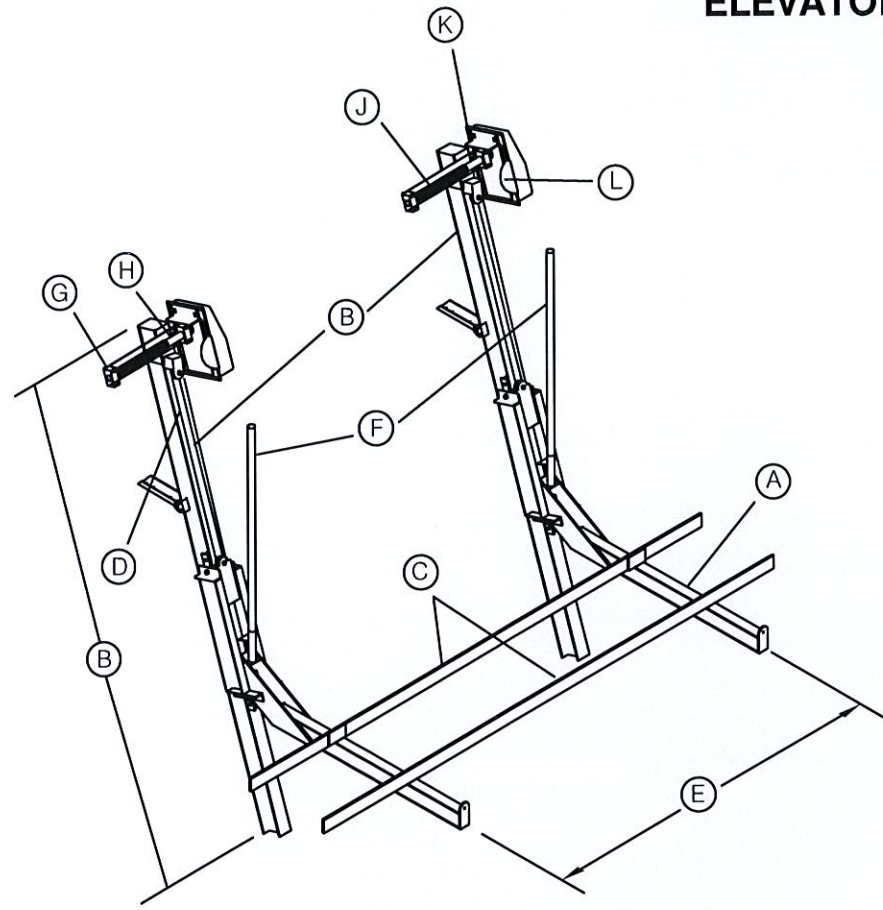


PROPOSED TIMBER DOCK SECTION (TYP) C S-7
 SCALE: 1/2" = 1'-0"



PROPOSED TIMBER WALKWAY SECTION (TYP) D S-7
 SCALE: 1/2" = 1'-0"

ELEVATOR LIFT SPECIFICATIONS

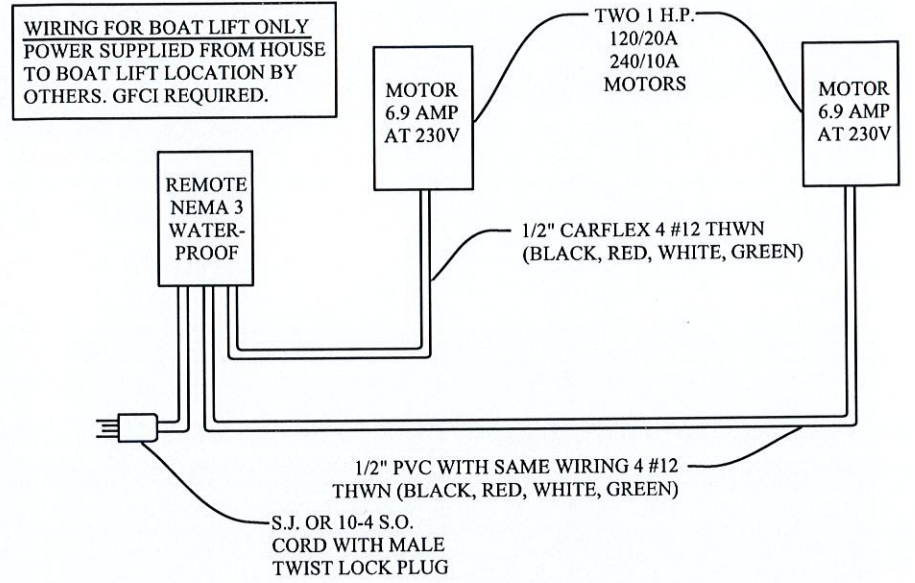


INCLINE MOUNT OR VERTICAL MOUNT

NOTE: THIS STRUCTURE WILL WITHSTAND WIND LOADS ASSOCIATED WITH WIND SPEEDS OF 146 MPH CALCULATED PER F.B.C. 2010 EDITION CH 18 ASCE DOCUMENT 7-10

(A) (B) (C) (D) (E) (F) (G) (H) (J) (K) (L)

LIFT CAPACITY	CRADLE I-BEAM	TRACK I-BEAM	BUNK BOARDS FEET	CABLE SIZE	TRACK SPREAD	GUIDE POST HEIGHT	BRGS	DRIVE SHAFT	WINDER DIA	GEAR RATIO	MOTOR HP/VOLTAGE	INCHES OF LIFT PER MIN
3,000#	2-8Hx15 4Wx.25x7 LG @ 4.05#/FT	2-8Hx.23 5Wx.35 x25' LG @ 6.18#/FT	2-2x8 x144 ROUGH SAWN CARPETED	2-5/16"Ø x20' S.S. 2 PART	7' THRU 10'	80"	4-2" EXTRUDED 6061-T6 ALUM	2-1/2" Ø SCHEDULE 80 ALUM. PIPE	2-2 1/2" Ø SCHEDULE 80 ALUM. PIPE	96:1	2-3/4 HP 120V/20A 240V/10A	13-1/2"
5,000# & 7,000#	2-8Hx.25 5Wx.31 x8' LG @ 6.18#/FT	2-8Hx.25 5Wx.41 x25' LG @ 7.02#/FT		2-5/16"Ø x30' S.S. 2 PART								
10,000#	2-9Hx.27 5.5Wx.44 x8' LG @ 8.19#/FT	2-9Hx.27 5.5Wx.44 x25' LG @ 8.19#/FT	2-3x10 x192 ROUGH SAWN CARPETED	2-5/16"Ø x30' S.S. 2 PART	8' THRU 11'	120"	4-2" EXTRUDED 6061-T6 ALUM	2-1/2" Ø SCHEDULE 80 ALUM. PIPE	2-2 1/2" Ø SCHEDULE 80 ALUM. PIPE	96:1	2 3/4 HP 120V/20A 240V/10A	9"
12,000#	2-10Hx.25 6Wx.41 x9' LG @ 8.64#/FT	2-10Hx.25 6Wx.41 x25' LG @ 8.64#/FT		2-3/8"Ø x38' S.S. 3 PART								
15,000#	2-10Hx.29 6Wx.5 x9' LG @ 10.2#/FT	2-10Hx.29 6Wx.5 x25' LG @ 10.29#/FT	2-4x12 x240 R.S.C.	2-3/8"Ø x50' S.S. 4 PART	8' THRU 14'	120"	4-2" EXTRUDED 6061-T6 ALUM	2-1/2" Ø SCHEDULE 80 ALUM. PIPE	2-2 1/2" Ø SCHEDULE 80 ALUM. PIPE	96:1	2-1 HP 120V/20A 240V/10A	6.75"
20,000#	2-12Hx.31 7Wx.62 x10' LG @ 14.2#/FT	2-12Hx.31 7Wx.62 x25' LG @ 14.2#/FT		2-3/8"Ø x50' S.S. 4 PART								
24,000#	4-12Hx.31 7Wx.62 x10' LG @ 14.2#/FT	4-12Hx.31 7Wx.62 x25' LG @ 14.2#/FT		2-7/16"Ø x50' S.S. 4 PART	12' THRU 16'						2-1 1/2 HP 120V/20A 240V/10A	



ELECTRICAL DETAIL

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

STRUCTURAL ENGINEERING REVIEW

The gravity and wind loads for this construction have been calculated and main wind force resisting system and components and cladding of this building design do comply with the Florida Building Code 2041, Sect. 1594 for wind pressures generated by a basic wind speed of 146 MPH.

RECEIVED

MAY 07 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME _____
DATE 5/7/13

357 Center Island
Rd. Dock & Seawall
Improvement Project
Golden Beach, FL

CLIENT:
Jonathan Brief
357 Center Island Road
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 5
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SEAL / SIGNATURE / DATE

[Signature]
5/7/13

John Omslaer
PE 52733, EB 26829

PERMIT SKETCHES

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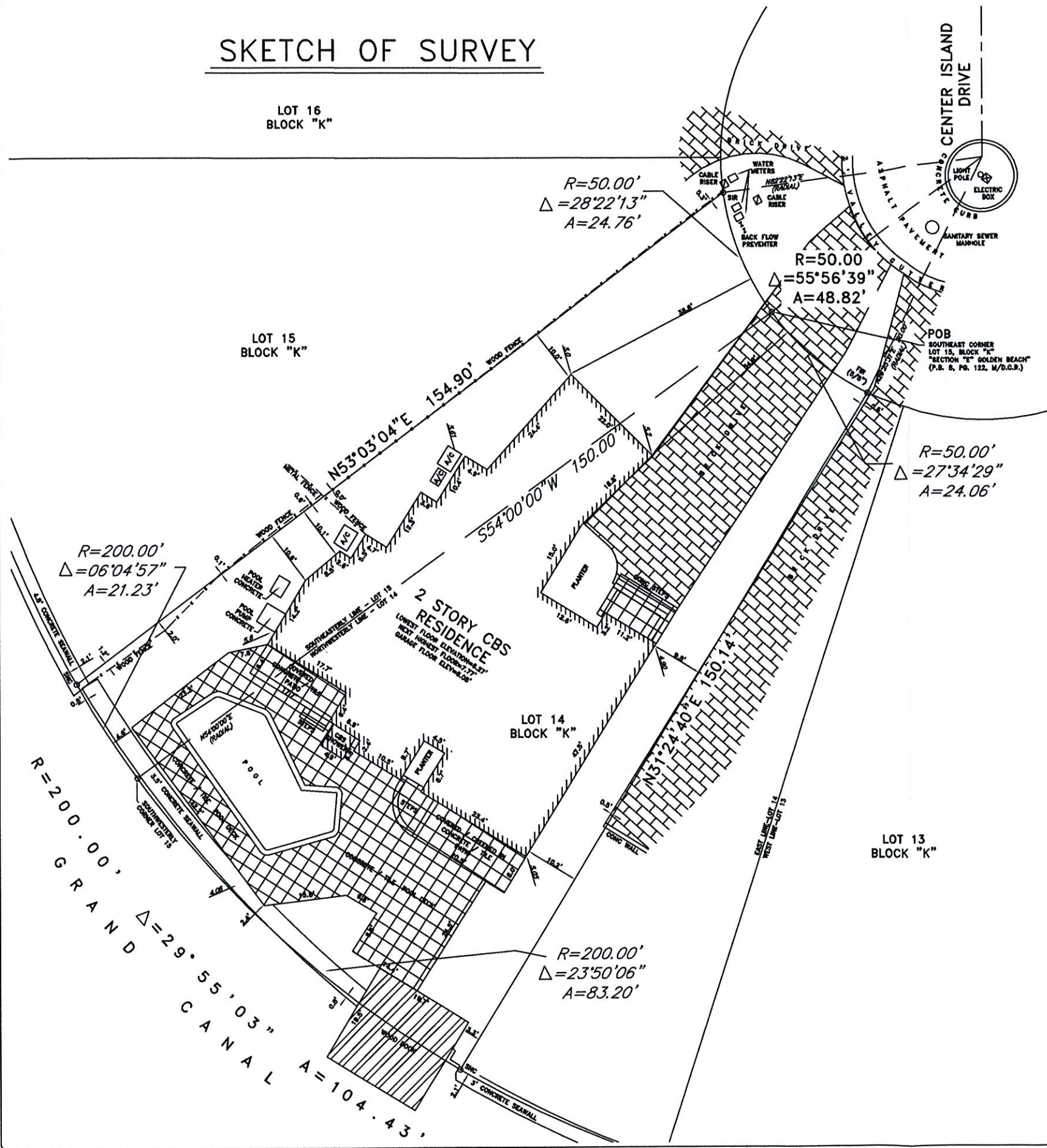
PROJECT: 12-2485

BOATLIFT SPECS

SCALE : AS SHOWN
SHEET NO.

S-9

SKETCH OF SURVEY



LAND DESCRIPTION:

A PORTION OF LOT 14, BLOCK "K" OF "SECTION E" OF GOLDEN BEACH", RECORDED IN PLAT BOOK 8, AT PAGE 122 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 15 SAID POINT ALSO BEING THE NORTHERLY CORNER OF LOT 14, BLOCK "K" OF "GOLDEN BEACH", SECTION "E", PLAT BOOK 8 AT PAGE 122 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE RUN ON AN ASSUMED BEARING OF SOUTH 54°00'00" WEST FOR A DISTANCE OF 150.00 FEET ALONG THE NORTHWESTERLY LINE OF LOT 14 TO THE WESTERLY CORNER OF LOT 14 SAID CORNER BEING A POINT ON A CIRCULAR CURVE HAVING A RADIUS WHICH BEARS NORTH 54°00'00" EAST FROM SAID POINT; THENCE RUN SOUTHERLY AND EASTERLY ALONG THE ARC OF SAID CURVE, HAVING FOR ITS ELEMENTS A CENTRAL ANGLE OF 23°50'06" AND A RADIUS OF 200.00 FEET FOR A DISTANCE OF 83.20 FEET TO A POINT; THENCE RUN NORTH 31°24'40" EAST FOR A DISTANCE OF 150.14 FEET TO A POINT ON A CIRCULAR CURVE HAVING A RADIUS BEARING NORTH 26°25'31" EAST A DISTANCE OF 50 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE HAVING FOR ITS ELEMENTS A CENTRAL ANGLE OF 27°34'29" AND A RADIUS OF 50.00 FEET FOR A DISTANCE OF 24.06 FEET TO THE POINT OF BEGINNING.

AND A PORTION OF LOT 15, BLOCK "K" OF SAID "SECTION E" OF GOLDEN BEACH", MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 15; THENCE RUN SOUTH 54°00'00" WEST ALONG THE SOUTHEASTERLY LOT LINE OF SAID LOT 15, FOR A DISTANCE OF 150.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 15, SAID CORNER BEING A POINT ON A CIRCULAR CURVE HAVING A RADIUS, WHICH BEARS NORTH 54°00'00" EAST FROM SAID CORNER; THENCE RUN NORTHWESTERLY ALONG THE ARC OF A CIRCULAR CURVE TO THE RIGHT HAVING FOR ITS ELEMENTS A RADIUS OF 200.00 FEET THRU A CENTRAL ANGLE OF 06°04'57" FOR AN ARC DISTANCE OF 21.23 FEET TO A POINT; THENCE RUN NORTH 53°03'04" EAST FOR A DISTANCE OF 154.90 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY LINE OF SAID LOT 15 SAID POINT BEING A POINT ON A CIRCULAR CURVE HAVING A RADIUS WHICH BEARS NORTH 82°22'13" EAST FROM SAID POINT; THENCE RUN SOUTHERLY ALONG THE ARC OF A CIRCULAR CURVE HAVING FOR ITS ELEMENTS A RADIUS OF 50.00 FEET THRU A CENTRAL ANGLE OF 28°22'13" FOR AN ARC DISTANCE OF 24.76 FEET TO THE POINT OF BEGINNING.

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120642
PANEL NUMBER	0153 L
ZONE	AE
BASE FLOOD ELEVATION	7
EFFECTIVE DATE	09/11/09

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- BENCHMARK DESCRIPTION : MIAMI/DADE COUNTY BENCHMARK # GOLD RM - 1 ELEVATION = 10.40'
- BEARINGS SHOWN HEREON ARE BASED ON THE DEED.

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN JUNE, 2011. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: _____
 RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 4188
 SURVEY DATE : 06/15/11

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
 IONATAN BRIEF

357 CENTER ISLAND DRIVE
 GOLDEN BEACH, FL 33160

SKETCH OF SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	06/15/11	DATA/2011	AV	REC

PROJECT NUMBER : 6823-11

SCALE : 1" = 10'

SHEET
 1
 OF
 1
 SHEET



12-2485

May 9, 2013

Ms. Linda Epperson
TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, FL 33160

**RE: APPLICATION FOR VARIANCE FOR A VIEWING PLATFORM AND DOCK PROJECT AT 357
CENTER ISLAND DRIVE, IN THE TOWN OF GOLDEN BEACH, MIAMI-DADE COUNTY,
FLORIDA**

Dear Ms. Epperson:

On behalf of our client, Mr. Jonathan Brief, this is to respectfully submit a Letter of Intent for the BRAB and Variance Application at 357 Center Island Drive, in the Town of Golden Beach, Miami-Dade County, Florida.

The Project proposes a replacement of the existing elevated viewing platform in the same footprint requiring a variance, and the installation of an elevated marginal dock with boatlift, as well as a new seawall cap with batter piles.

For your review and use, enclosed please find the following:

1. An executed Town of Golden Beach BRAB and Variance Application;
2. A check made payable to the Town of Golden Beach in the amount of \$472;
3. A signed Letter of Consent from the east neighboring property;
4. A set of plans preliminarily stamped by Miami-Dade County RER/DERM; and
5. A copy of the boundary survey.

Thank you for your review of this information. We look forward to working with you on this variance. Should you have any questions or require additional information, please do not hesitate to contact me at (305) 921-9344.

12 2 100
Ms. Linda Epperson
May 9, 2013
Page 2

Sincerely,
OCEAN CONSULTING, LLC

A handwritten signature in black ink, appearing to read "Kirk Lofgren". The signature is fluid and cursive, with a large initial "K" and a long horizontal stroke at the end.

Kirk Lofgren
Principal

KL: CB
Enclosures

Construction
404 NE 38th St, Oakland Park, FL 33334
(954) 630-2300 / (561) 752-4422
(954) 630-2381 fax
SEMarine@semarineconstruction.com
www.SoutheastMarineConstruction.com

Licensed & Insured

CGC060467

CONFIDENTIAL PROPOSAL

SUBMITTED TO:

Jonathan Brief
357 Center Island
Golden Beach, FL
305-303-8581
Ibk240@gmail.com

PROJECT:

Dock

DATE:

January 23, 2012

We submit the following proposal to you in confidence, not to be disclosed to any other person without our prior written consent, to perform work as described in the following scope of work:

TERMS AND CONDITIONS

Southeast Marine Construction, Inc. (SMC) will furnish all labor, materials, equipment, supervision and licenses necessary to perform the Scope of Work as identified herein, according to the approved, engineered plans and specifications, and also all applicable building codes and ordinances of agencies and governing bodies with jurisdictional powers at this location. SMC shall carry General Liability and Workers Compensation insurance, insuring any liability which may be imposed upon SMC or client. If client requests to be additionally insured there will be an additional charge of \$125.00. SMC is not responsible for any removal, installations, repairs or damages to any and all landscaping; utilities; unknown, unseen, hidden or buried obstructions; or damage to structures in the vicinity of the work area due to routine and proper performance of the job. SMC will make every effort to perform the work in a timely and expeditious manner. Manufactures or SMC shall have no obligation under any warranty unless SMC has been paid in full for all materials supplies and services. Unless SMC fails or refuses to perform, the deposit is not refundable. Client agrees to promptly pay all invoices for all work completed upon receipt of invoice, according to mutually accepted schedule of values for work in progress. Any amount invoiced past due more than 10 days will be subject to a finance charge of 1.5% for every 10 days late thereafter. Any progress invoices past due more than 10 days will result in stopping of all work until invoices are paid. In the event of any litigation between the parties under this agreement, the prevailing party shall be entitled to recover reasonable fees of attorneys, paralegals, and legal assistants, court costs and all expenses even if not taxable as court costs (including, without limitation, all such fees, costs and expenses incident to appeals), incurred in the action or proceeding. Any written changes to this contract must be initialed by both SMC and the client for any changes to be considered valid. Any alterations from Scope of Work involving extra costs will be executed only upon written orders and will become an extra charge over and above the contract. Client will furnish all refundable municipal and environmental bonds, owner compatible with local ordinances. If hard bottom conditions are encountered, during any pile placement activities, requiring punching prior to driving, additional charges will be assessed. Permit and permit related fees are *NOT* included in the price of the contract; owner will pay all permit, engineer, special inspector and process related costs and fees.

DOCK

- 1) Construct a new, 60' x 10' tapering to 5', wood, marginal boat dock, parallel with seawall, as follows:
 (Approx. 450 sq. ft.)
- a) Provide and drive 7, new, 12", 2.5, CCA, marine treated, wood piles to support new, 60' x 10'-5', wood, marginal boat dock.
 - b) Provide and drive 2, 12", 2.5, CCA, marine treated, wood piles to be used as single mooring piles.
 - c) Framing to be .40, ACQ, marine treated, #1, pressure treated lumber secured with hot dipped galvanized hardware, using double thru bolts and double stringer framing system.
 - d) Decking to be Preserve Plus, Ultra Tropical, 2" x 6", decking boards secured with stainless steel decking screws.
 - e) 7 outside piles will be furred with 1" x 2", marine treated, furring strips and topped with new copper caps.

Cost . . . \$18,690.00

OPTION _____ (please initial if accepted)

Provide and install new, Azek, Brownstone, 1" x 6", 100% plastic decking and matching, 1" x 3" plastic, furring strips in lieu of Tropical wood decking boards and wood furring strips.

Additional cost . . . \$4,965.00

Total Cost . . . \$18,690.00

Payment schedule: **(Not Including Option)**

20% due upon acceptance	\$3,738.00
45% due upon driving piles	\$8,410.50
20% due upon framing	\$3,738.00
15% due upon decking	\$2,803.50

Total Cost . . . \$23,655.00

Payment schedule: **(Including Option)**

20% due upon acceptance	\$4,731.00
45% due upon driving piles	\$10,644.75
20% due upon framing	\$4,731.00
15% due upon decking	\$3,548.25

Reminder: Permit, engineer, special inspector and process fees are not included in contract price and are to be paid by customer as fees occur.

By signing below, I acknowledge that I have read and agree to all prices, terms and conditions stated in this proposal.

Submitted By

_____/_____/_____
Date

Accepted By

_____/_____/_____
Date

Tim McGlynn
Print Name

Print Name

GOLDEN BEACH, FL. 33160

RALPH VELOCCI
349 CENTER ISLAND DRIVE
GOLDEN BEACH, FL. 33160

APURVA & JYOTI DESAI
345 CENTER ISLAND DR.
GOLDEN BEACH, FL. 33160

MANUEL HERNANDEZ &
BONNIE KELLY
343 CENTER ISLAND DRIVE
GOLDEN BEACH FL. 33160

ALFRED GALLARDO & AMY
SHORTT
17121 COLLINS AVENUE-#2908
SUNNY ISLES BCH, FL. 33160

ALAN & HELEN BENENSON
304 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

STEVEN BLOCK TRS.
140 SOUTH COLUMBIA AVE
COLUMBUS, OH. 43209

JOSEPH NATOLI
310 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

RICHARD & LAINIE GINSBURG
318 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

MAXIM SMOLENTSEV
334 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

IONATHAN BRIEF
P.O. BOX 800008
AVENTURA, FL. 33280

EDEN VEST II LLC
2999 NE 191ST ST, PH 6
MAIMI, FL. 33180

373 GB CENTER INVESTMENT
373 CENTER ISLAND DRIVE
GOLDEN BEACH, FL. 33160

PHISTER COMPANY INC.
25 SE 2ND AVENUE - #1235
MIAMI, FL. 33131

ARMAN AZADI
333 CENTER ISLAND DRIVE
GOLDEN BEACH, FL. 33160

MATRIX ENTERPRISES GROUP
9769 S. DIXIE HIGHWAY, 101
MIAMI, FL. 33156

DAVID W. HODGE
322 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

SUMMARY MINUTES
BUILDING REGULATION ADVISORY BOARD
August 13, 2013 at 6:00pm

- A. CALL MEETING TO ORDER:** 6:00pm
- B. BOARD ATTENDANCE:** Stephanie Halfen, Eric Cohen, Jerome Hollo, Dr. Iglesias and Fred Chouinard
- C. STAFF ATTENDANCE:** Building Official Nieda and Building Director Epperson
- D. APPROVAL OF MINUTES:** July 9, 2013

A motion was made by Fred Chouinard to approve the minutes as submitted, Seconded by Eric Cohen
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye, and Stephanie Halfen-Aye.
Motion passed 5 – 0

- E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS**
- F. VARIANCE REQUEST(S):**

1. Jonathan Brief
P.O. Box 800008
Aventura, FL. 33160

Property Address: 357 Center Island Dr., Golden Beach, FL. 33160
Folio No: 19-1235-005-0850
Legal Description: Portions of Lots 14 & 15, Blk K, GB Sect. E, PB 8-122

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.
Jonathan Brief owner of the property spoke on his own behalf

Re-construction of a viewing platform.

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

within the triangle formed by connecting the points indicated herein, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Relief from Town Code Section 46-85 Height of seawalls and docks and extension of deck of dock.

No seawall and no deck of any dock shall exceed an elevation of five feet above the National Geodetic Vertical Datum (NGVD). Dock decks shall not extend more than six feet behind the seawall and no cover shall be permitted to be erected in connection with any dock. The minimum elevation of the top of any seawall shall be four feet above the NGVD.

Request is to allow the viewing platform (dock) to extend out into the waterway outside the 10' maximum, outside the D5 triangle and to be elevated higher than the 5' N.G.V.D. elevation allowed by the code.

The applicant, Jonathan Brief, withdrew his variance petition to extend the Viewing Platform (dock) farther than the 10' maximum extension allowed by Code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

Viewing Platform – Dock approval motion:

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the viewing platform (dock) to encroach outside the D-5 Triangle, and Seconded by Fred Chouinard
On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay,

and testimony presented by the applicant, the public and the Town Council and made a finding that the applicant has complied with the seven criteria.

A motion was made by Eric Cohen to recommend approval to the Town Council to allow the viewing platform (dock) to be constructed at an elevation of 5.5' NGVD, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

2. Fernando Extrakt and Vivian Norman
132 South Island Drive
Golden Beach, FL. 33160

Property Address: 132 South Island Drive, Golden Beach, FL.
Folio No: 19-1235-004-0530
Legal Description: Lots 10 & 11, Block J, GB Section D, PB 10-10

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.

Re-construction of a dock

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway outside the 6' maximum required by the code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town Council and made a finding that the applicant has complied with the seven criteria.

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the dock to extend into the waterway outside the 6' maximum allowed by the code, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Aye, Jerome Hollo-Nay,

Property Address: Vacant Lot a/k/a 44 Terracina Ave., GB, FL.
Folio No: 19-1235-004-0440
Legal Description: Lot 33 less E 5 feet & Lot 34, Blk H, GB Sect. D,
PB 10-10

Construction of single-family residence on a vacant lot

Building Official Nieda read his comments into the record
Mark Tartell with Leroy Street Studio NY spoke on behalf of the
applicant

Rosa Levy, applicant, spoke on her own behalf.

Sec. 66-139. - Same—In Zone Three.

or lots in Blocks E, F, G, H, J, K, L, and M, no building or part thereof
including garages shall be erected less than 35 feet from the property
line along the waters of the Intracoastal Waterway and canals and 35
feet from the front property line.

Request is to allow the 28.5' wide garage to project into the front
setback 16' in lieu of the 35' setback required by the Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Eric Cohen to recommend approval to the
Town Council to allow the garage to project 16' into the front setback
where a 35' is required by Code, Seconded by Dr. Iglesias.

On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Aye

The motion passed with a board vote of 3 – 2

4. Uri Mareyna
Margie Zonana Blang A
277 Golden Beach Drive
Golden Beach, FL. 33180

Property Address: 277 Golden Beach Dr., Golden Beach, FL.
Folio No: 19-1235-004-0890
Legal Description: Lot 25, & S 20' of Lot 24, Blk 5, GB Sect D,
PB10-10

Relief from Town Code Section. 66-136. - Side line restrictions between adjoining lots.

(a) For lots or any combination of lots with greater than 50 feet of frontage; no portion of any building shall be closer than ten feet from each side property line.

(b) For lots or any combination of lots with greater than 100 feet of frontage; no portion of any building shall be closer than ten percent of the width of the frontage of the lot(s), up to a maximum required setback of 15 feet from each side property line of the site.

Request is to allow a 37 square foot addition to encroach into the south side property line at 5.42' in lieu of the 10' required by the Town's code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the 37 square foot addition to extend into the south side property line at 5.42' outside the 10' setback required by the code, Seconded by Eric Cohen.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay
The motion failed with a board vote of 5 – 0

G. OLD BUSINESS:

H. NEW BUSINESS

Agenda Item number 7 was moved to item 5

5. Jonas and Judith Mimoun
550 North Island Drive
Golden Beach, Fl. 33160

Property Address: 550 North Island Dr., Golden Beach, FL.
Folio No: 19-1235-006-0875
Legal Description: Lot 12 and SELY ½ of Lot 13, Blk M, GB Sect F,
PN 10-11

Building Official Nieda read his comments into the record

reconstruction at a 4.6' elevation, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye,
Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

6. Phister Company Inc.
25 SE 2nd Avenue, Suite 1235
Miami, FL. 33131

Property Address: 385 Center Island Drive, Golden Beach, FL.
Folio No: 19-1235-005-0870
Legal Description: All of lots 20 & 21, lot 22 less n 12.5', Blk K, GB
Sect E, PB 8-122

Building Official Nieda read his comments into the record
Alfredo Gamara spoke on behalf of the applicant.

Revisions to exterior façade and pool of a residence under
construction.

Dr. Iglesias stepped out of the meeting

The Board discussed this item and determined that the information
submitted was insufficient to grant an approval. By agreement of the
parties in attendance this request will be moved to next month's
Agenda of September 10, 2013.

A motion was made by Fred Chouinard to table this item, Seconded
by Stephanie Halfen
On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye
and Stephanie Halfen-Aye
The motion passed with a board vote of 4 – 0

7. Lior Ben Shmuel
570 North Island Drive
Golden Beach, Fl. 33160

Property Address: 508 North Parkway, Golden Beach, FL.
Folio No: 19-1235-006-0760
Legal Description: Lot 23 and a port of lot 24, Blk F, GB Sect F, PB
10-11

No one was present to speak on this item.

Revisions to pool for residence under construction.

8. Isaac Mizrahi Shere
560 Ocean Boulevard
Golden Beach, Fl. 33160

Property Address: 560 Ocean Boulevard, Golden Beach, FL.
Folio No: 19-1235-001-0251
Legal Description: Lots 6 – 8, Block 2, GB Sect. A, PB 9-52

Dr. Iglesias returned to the meeting.
Building Official Nieda read his comments into the record.
Mr. Luria, Architect for the applicant spoke on this item.

Remodeling to exterior façade.

A motion was made by Eric Cohen to approve this request which includes the following items: changing concrete railings to glass railings, redesign of the front archway openings and garage door openings to square, and the exterior paint color to be in accordance with the Town's Ordinance for exterior painting and approved by Building Official Nieda, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye,
Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

I ITEMS FOR DISCUSSION AND BOARD APPROVAL

J. ADJOURNMENT 7:45pm

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

5

Subject: Resolution No. 2306.13 – Variance Request for 357 Center Island Drive,
Golden Beach, FL 33160 (Viewing Platform Elevation)

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2306.13.

Background and History:

Town Code Section 46-85. - Height of sea walls and docks and extension of deck of dock. No seawall and no deck of any dock shall exceed an elevation of five feet above the National Geodetic Vertical Datum (N.G.V.D.). Dock decks shall not extend more than six feet behind the seawall and no cover shall be permitted to be erected in connection with any dock. The minimum elevation of the top of any seawall shall be four feet above the N.G.V.D.

The applicant is requesting that the viewing platform (dock) be at a 5.5' NGVD elevation instead of the 5' NGVD elevation established by the code.

The Building Regulation Advisory Board met August 13, 2013 and recommended approval of the variance, the motion passed with an affirmative Board vote of 5 - 0.

No one in attendance spoke in opposition to this item.

One Miami-Dade County DERM letter of consent signed by the owner of 345 Center Island was included in the package.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2306.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 357 CENTER ISLAND DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE ELEVATION OF THE VIEWING PLATFORM (DOCK) STRUCTURE TO BE AT A 5/5' NGVD IN LIEU OF THE 5' NGVD ELEVATION REQUIRED BY THE TOWN'S CODE

WHEREAS, the applicant, Jonathan Brief, ("the applicants"), filed a Petition for a Variance/exception, Article IV – Seawall and Docks: Section 46-85 Height of sea walls and docks and extension of deck of dock, allowing the viewing platform (dock) structure to be at a 5.5 NGVD elevation, in lieu of the Town Codes requirement of a 5' NGVD elevation, at 357 Center Island Dr., Golden Beach, Florida 33160, Golden Beach Section "E", Portions of Lots 14 & 15, Block K, as recorded in PB 8-122, of the Public Records of Miami-Dade County, (Folio No. 19-1235-005-0850 (the "Property")) and ;

WHEREAS, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended approval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE
TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:**

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain plans, S-1 through S-9, by Dynamic Engineering Solutions, Inc., John Omslaer, PE 52733, dated 5/3/2013, and the Sketch of Survey, by Cousins Surveys, dated 06/15/2011, for the property located at 357 Center Island Dr., Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____,
seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Bernard Einstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day August, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

6

Subject: Resolution No. 2307.13 – Variance Request for 132 South Island Drive,
Golden Beach, FL 33160 (Dock)

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2307.13.

Background and History:

The Town Code of Ordinances Section 46-84 General specifications for docks. No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

The applicant is requesting that the dock be allowed to extend into the waterway at 8.67', where a maximum of 6' has been established by the code.

The Building Regulation Advisory Board met August 13, 2013 and recommended approval of the variance, the motion failed with a Board vote of 4-1. The motion failed for lack of an affirmative vote.

No one in attendance spoke in opposition to this item.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2307.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 132 SOUTH ISLAND DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE DOCK TO EXTEND OUT INTO THE WATERWAY AT 8.67' WHERE 6' IS REQUIRED BY THE TOWNS CODE

WHEREAS, the applicants, Fernando Extrakt and Vivian Norman, (“the applicants”), filed a Petition for a Variance/exception, Article IV – Seawall and Docks: Section 46-84 General specifications for docks, allowing the dock to extend into the waterway at 8.67’, in lieu of the Town Codes requirement of 6’ at 132 South Island Dr., Golden Beach, Florida 33160 (Golden Beach Section “D”, Lots 10 & 11, Block J, as recorded in PB 10-10, of the Public Records of Miami-Dade County, (Folio No. 19-1235-004-0530 (the “Property”) and ;

WHEREAS, the Town’s Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended disapproval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain plans, S-1 through S-7, by Dynamic Engineering Solutions, Inc., John Omslaer, PE 52733, dated 4/8/2013, and the Sketch of Survey, by Global One Survey, dated 08/09/2010, for the property located at 132 South Island Dr., Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____, seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer _____
Vice Mayor Judy Lusskin _____
Councilmember Kenneth Bernstein _____
Councilmember Amy Isackson-Rojas _____
Councilmember Bernard Einstein _____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day August, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

FOR
8/13/2013
DPAAB

Town of Golden Beach

MEMORANDUM

2 PAGES
VIA
EMAIL

To: Building Regulation Advisory Board
From: Daniel B. Nieda, R.A. Building Official
Date: June 11, 2013
Re: Variance Petition for Boat Dock Projection
Extrakt Residence
132 South Island Drive

Background:

The applicant has submitted for approval a 51 foot wide by 8.67 foot deep boat dock attached to six existing wood post supports projecting 8.67 feet into the internal canal waterway. The proposed boat dock is located on an internal rectangular lot open to the internal Golden Beach canal, at 132 South Island Drive, where the dock structure is proposed on the existing footprint projecting 8.67 feet into the waterway from the property line. The proposed boat dock projects 2.67 feet beyond the maximum permitted 6 foot waterway projection stipulated per Section 46-84 to cause this variance petition. The variance petition appears to be an owner driven request to reuse the dock footprint in the existing non-conforming location.

Dock Waterway Projection:

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance Petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, this petition constitutes a variance, since the applicant has requested to permit a new boat dock structure projecting 8.67 feet or 2.67 foot beyond the permitted 6 foot waterway projection stipulated per Section 46-84 of the Code for lots with 100 feet or less of waterway width.
2. No, the land is not peculiar in nature as an internal rectangular lot with 100 feet of waterway frontage on the internal Golden Beach canal at 132 South Island Drive is not unusual. The property line is located on the landward edge of the existing seawall cap from where waterway projections are measured is to receive a new 30 inch wide concrete cap overpour.
3. No, the variance petition is not generated by the peculiar nature of the lot's location in relation to water depth or submerged waterway grasses, but driven by the actions of the applicant. The applicant wishes to maintain the existing non-conforming dock footprint, contrary to requirements generated by a replacement cost in excess of 50% of the value of the existing dock structure.
4. Yes, the granting the variance would confer upon the applicant a special privilege that is denied to other lands or structures with compliant dock projections on lots with 100 feet or less of waterway width.

132 SID

5. No, the literal interpretation of the provision of the Zoning Code for the requested boat dock projection rights of 8.67 feet does not appear to deprive the applicant the rights commonly enjoyed by other properties with 6 foot deep boat docks in the same Zone 3 Residential District.
6. No, rejection of this variance petition will not deprive the applicant of reasonable use of his land.
7. No, the granting of the requested boat lift projection variance petition may not be in harmony with the intent and purpose of the Zoning Code and may be injurious to the area and detrimental to the public welfare by the reduction of the canal's width for appropriate navigation.

In conclusion, the variance petition seeking relief from the maximum allowed dock projection of 6 feet allowed into the waterway per Section 46-84 of the Code, where the applicant seeks placement for a proposed dock lift projecting 8.67 feet into the waterway, does not seem to rise to the standard required for granting of this variance petition. The Building Review Advisory Board needs to determine if a negative recommendation of this variance petition deprives the applicant of reasonable use of his land. Alternately, the Board could recommend that other stipulated conditions may be required to raise this variance petition to the standards required by Section 66-41 of the Code, where the variance petition may be favorably considered.



TOWN OF GOLDEN BEACH Re-NOTICE OF PUBLIC HEARING

The **Building Regulation Board** and the **Town Council** of the Town of Golden Beach will hold a Public hearing on the following proposal:

Variance Request(s)
 Accessory Structures

Construction of a dock

Relief from Town Code Section 46-84 General specifications for docks

No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway outside the 6' maximum required by the code.

JOB ADDRESS: 132 South Island Drive, Golden Beach, FL. 33160
OWNER ADDRESS: 132 South Island Drive, Golden Beach, FL. 33160
REQUESTED BY: Fernando Extrakt and Vivian Norman
LEGAL DESCRIPTION: Lots 10 & 11, Block J, GB Section D, PB 10-10
FOLIO NO.: 19-1235-004-0530

The **BUILDING ADVISORY BOARD** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL
DATE: August 13, 2013 at 6:00pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
August 20, 2013 at 7:00pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: August 1, 2013


Linda Epperson, Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.



TOWN OF GOLDEN BEACH NOTICE OF PUBLIC HEARING

The **Building Regulation Board** and the **Town Council** of the Town of Golden Beach will hold a Public hearing on the following proposal:

- X Variance Request(s)
- X Accessory Structures

Construction of a dock

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway outside the 6' maximum required by the code.

JOB ADDRESS: 132 South Island Drive, Golden Beach, FL. 33160
 OWNER ADDRESS: 132 South Island Drive, Golden Beach, FL. 33160
 REQUESTED BY: Fernando Extrakt and Vivian Norman
 LEGAL DESCRIPTION: Lots 10 & 11, Block J, GB Section D, PB 10-10
 FOLIO NO.: 19-1235-004-0530

The **BUILDING ADVISORY BOARD** will consider this item:

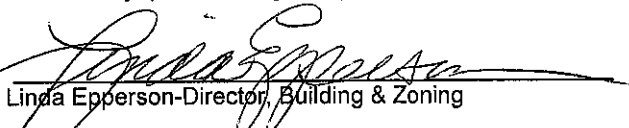
PLACE: GOLDEN BEACH TOWN HALL
 1 GOLDEN BEACH DR., GOLDEN BEACH, FL
 DATE: June 11, 2013 at 6:00pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
 1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
 August 20, 2013 at 7:00pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: May 31, 2013


 Linda Epperson-Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 132 South Island Drive Meeting Date: 6-11-13
 Variance Hearing Dates: Advisory Board _____ Town Council _____

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Applicant: File application and submit 8 complete packages, shall consist of an application, survey, and drawings. (7 half size sets, and 1 full size set), as directed by the Building Official or Building Director. For a zoning variance, 16 sets of plans with applications attached are required, (15 half size, and 1 full size set.)

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days, prior to scheduled meeting, (**not including the day of the meeting**), to allow for preliminary review and public notice in order to be heard.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the regularly scheduled Town Council meeting.

Please see page 5 for required documents.

*****NOTICE*****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date.
2. The Building Director and/ or the Building Official will review the application package. If the application is incomplete, according to the requirements as specified in the application, it will not be accepted.
3. During the three (3) week period from deadline date to hearing date, the following events shall take place in proper order:
 - a. During the first week of submittal, the Building Official, or agent shall review the application. The processor specifying deficiencies, if any will complete a critique sheet.
 - b. The critique sheet will be faxed, or mailed, to the applicant as soon as the review is completed.
 - c. If the deficiencies are substantial the applicant shall be informed that the corrections shall be submitted within a week of the notification.
 - d. If the deficiencies are minor, the applicant shall be given the option of resubmitting the corrections within a week of notification, or to present them at the B.R.A.B. meeting/hearing.
4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package shall be given to the processor and one copy shall be delivered to each Board member. The Building Dept shall retain all originals for the records.
6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
7. After the meeting, three (3) copies of the approved items (full size) shall be obtained by the applicant for inclusion into the building permit package, and one retained for their records

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>
1. Residence (new construction)..... (must include complete landscape plan)	\$300.00
2. Addition/Remodel of existing structure..... (must include landscape plan)	\$300.00
3. Alteration to existing residence..... (fencing, site walls, driveways, etc.)	\$150.00
4. Accessory Building (Zone 1 only)...	\$150.00
5. Swimming pools	\$100.00
6. Pool deck...	\$100.00
7. Docks	\$100.00
8. Boat Lifts	\$100.00
9. Carports, awnings.....	\$100.00
10. Landscape plan revision.....	\$ 50.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception. (Includes \$122.00 for certified, return receipt and regular mailings costs)	\$372.00
b. Per additional variance/exception, when requested at same time as first one...	\$150.00
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, per each Section to be verified.....	\$100.00

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the seconded time period

\$250.00

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
	If a zoning variance is applied for, the petition for variance shall be submitted with the application and shall include: <ul style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
	Eight (8) property surveys, building plans, and applications (1 original, 7 copies). Survey not older than six (6) months old. Completed sets are to be submitted as follows: Seven (7) copies at ½ size & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies at ½, and 1 original at full size). One completed package shall consist of 1 each of an application, survey, and building plans.	
	Conceptual construction drawings prepared and signed by a design professional that shall include, at a minimum, the following: <ul style="list-style-type: none"> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Independent from the Site Plan, provide a proposed Landscaping Plan for new construction. For existing structures, submit existing Landscaping Plan and proposed improvements, if any. c. Proposed Floor Plan views, at a scale not less than ¼"=1'-0" d. Cross and longitudinal sections preferably through vaulted areas, if any. e. Typical exterior wall cross section. f. Full elevations showing roof ridge height and any other higher projections. g. Details of roofing and construction materials. h. Existing and proposed ground floor elevations (NGVD). i. Grading & Drainage Calculations 	
	Green area calculations with copies of Site Plan marking the geometrical areas used to calculate the pervious areas. (1 copy only)	
	First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.	
	Colored rendering showing new or proposed addition work. This rendering may be submitted the day of the hearing.	
	Estimated cost of proposed work.	
	Estimated fair market value of property showing separately the value of the land and the value of the structure.	

**TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING**

Application fee: _____

Request hearing in reference to:

New residence/addition: _____ Variance(s): Yes - Dock extension into waterway
Exterior alterations: _____ Other Structure: Replacing Dock/New Seawall Cap
Date application filed: _____ For hearing date: _____

1. **Project information:**

Project description: This project proposes to install a seawall cap with batter piles and a footer. The dock will then be replaced in the same footprint as existing today.

Legal Description: GOLDEN BEACH SEC D PB 10-19 LOTS 10 & 11 BLK J LOT SIZE 108.000 X 158 OR 17507-3783 0197 3 COC 22473-0978 06 2084 1 OR 27163-4855 0110 01

Folio #: 19-1235-004-0530

Address of Property: 132 South Island Drive

2. Is a variance(s) required: Yes No How Many? 1
(If yes, please submit variance application form for each request).

Owner's Name: Fernando Extrakt Phone 305-890-1418 Fax _____

Owner's address: 132 South Island Drive City/State Golden Beach, FL Zip 33160

Agent: Kirk Lofgren Phone 305-457-5573 Fax 305-677-3254

Agent's address: 340 Minorea Avenue #5 City/State Coral Gables, FL Zip 33134

Architect: _____ Phone _____ Fax _____

Contractor: Southeast Marine Construction, Inc. Phone 954-630-2300 Fax 954-630-2381

3. Describe project and/ or reason for request of hearing: _____
This project proposes to install a new seawall cap with batter piles and a footer. The dock will then be replaced in the same footprint as existing today.

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual: _____ Preliminary: _____ Final: _____

Other: _____

5. Estimated cost of work: \$ 45,000
Estimated market value of: Land \$ _____
Building \$ _____

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

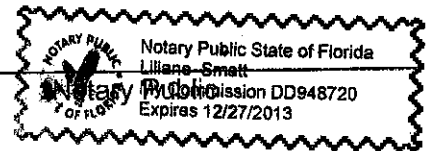
6. Is hearing being requested as a result of a Notice of Violation? No
7. Are there any structures on the property that will be demolished? YES
8. Does legal description conform to plat? YES
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): _____

Acknowledged before me this 8th day of, 200 May 2013

Type of identification:

[Signature]



Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: BRAB Hearing
& Variance relative to my property and I am hereby authorizing Kirk Lofgren to be my legal representative before the Building Regulation Advisory Board and Town Council.

[Signature]
Signature of owner(s)

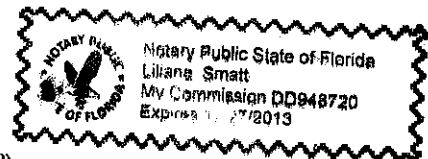
Acknowledged before me this 8th day May 200 2013

Type of identification:

Pers. Known

[Signature]
Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application.



TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

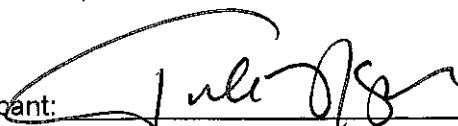
Property Address: 132 South Island Drive
Legal Description: _____
Owner's Name: Fernando Extrakt Phone 305-890-1418 Fax _____
Agent's Name: Kirk Lofgren Phone 305-457-5573 Fax 305-677-3254
Board Meeting of: _____

- NOTE: 1. Incomplete applications will not be processed.
2. Applicant and/or architect must be present at meeting.

Application for: BRAB Hearing for Seawall Cap and Dock Replacement Project, and Varline.
Lot size: 15,800 SQ FT
Lot area: _____
Frontage: _____
Construction Zone: _____
Front setback: _____
Side setback: _____
Rear setback: _____
Coastal Construction: Yes No East of coastal const. control line: Yes _____ No
State Road A1A frontage: _____
Swimming pool: _____ Yes _____ No _____ Existing: _____ Proposed: _____
Fence Type: _____ Existing: _____ Proposed: _____
Finished Floor elevation N.G.V.D.: _____
Seawall: _____ Existing: Proposed: _____
Lot Drainage: _____
How will rainwater be disposed of on site? _____

Adjacent use (s): _____
Impervious area: _____
% of impervious area: _____
Existing ground floor livable area square footage: _____
Proposed ground floor livable area square footage: _____
Existing 2nd floor livable area square footage: _____
Proposed 2nd floor livable area square footage: _____
Proposed % of 2nd floor over ground floor: _____
Vaulted area square footage: _____
Vaulted height: _____
Color of main structure: _____
Color of trim: _____
Color & material of roof: _____
Building height (above finished floor elevation): _____
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum): _____

Existing trees in Lot: _____ in Swale: _____
Proposed trees in Lot: _____ in Swale: _____
Number & type of shrubs: _____
Garage Type: _____ Existing: _____ Proposed: _____
Driveway width & type: _____

Signature of Applicant:  Date: 5/8/2013

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: _____

Fee: _____

I, Fernando Extrakt hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 132 South Island Drive Folio No. 19-1235-004-0530

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (list section number(s) of the Town of Golden Beach Code of Ordinances): Dock extension into waterway

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Confirmed. Maximum extension from property line to waterward edge of dock is 6'. The proposal is for greater than 6'

b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. Existing dock on the property now/Grandfathered structures

c. The special conditions and circumstances do not result from the actions of the applicant. Dock is grandfathered.

d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. No objections from the neighbors at this time. Replacing dock in same grandfathered footprint.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. Confirmed. Simply replacing existing structure in same footprint.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Confirmed. Replacing structure in same footprint.

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Confirmed. No objecting neighbors.

Does the Variance being requested comply with all the above listed criteria?
 Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No.
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? Yes No

8. Is construction in progress? No

9. Is this request as a result of a code violation? No

10. Did this condition exist at the time property was acquired? Yes No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No

12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):


Folio No.: 19-1235-004-0530 Address: 132 S. Island Drive

Legal Description: GOLDEN BEACH SEC D PB 10-10 LOTS 10+11 BLK J
LOT SIZE 100 X 158

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of _____ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.



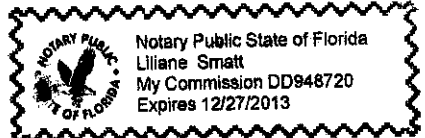
Signature of Owner or Legal Representative

Sworn to and subscribed before me this 8th day of, 200 May 2013



Notary Public State of Florida at Large

Personally know to me Produced Identification



Southeast Marine Construction

404 NE 38th St, Oakland Park, FL 33334
(954) 630-2300 / (561) 752-4422
(954) 630-2381 fax
SEMarine@semarineconstruction.com
www.SoutheastMarineConstruction.com



Licensed & Insured

CGC060467

CONFIDENTIAL PROPOSAL

SUBMITTED TO:

Hernando Extrakt
132 S. Island Dr.
Golden Beach, FL 33160
305-890-1418
extra@osite.com.br

PROJECT:

Batter pile & cap,
Toewall footer, Dock

DATE:

June 21, 2012

We submit the following proposal to you in confidence, not to be disclosed to any other person without our prior written consent, to perform work as described in the following scope of work:

TERMS AND CONDITIONS

Southeast Marine Construction, Inc. (SMC) will furnish all labor, materials, equipment, supervision and licenses necessary to perform the Scope of Work as identified herein, according to the approved, engineered plans and specifications, and also all applicable building codes and ordinances of agencies and governing bodies with jurisdictional powers at this location. SMC shall carry General Liability and Workers Compensation insurance, insuring any liability which may be imposed upon SMC or client. If client requests to be additionally insured there will be an additional charge of \$125.00. SMC is not responsible for any removal, installations, repairs or damages to any and all landscaping; utilities; unknown, unseen, hidden or buried obstructions; or damage to structures in the vicinity of the work area due to routine and proper performance of the job. SMC will make every effort to perform the work in a timely and expeditious manner. Manufactures or SMC shall have no obligation under any warranty unless SMC has been paid in full for all materials supplies and services. Unless SMC fails or refuses to perform, the deposit is not refundable. Client agrees to promptly pay all invoices for all work completed upon receipt of invoice, according to mutually accepted schedule of values for work in progress. Any amount invoiced past due more than 10 days will be subject to a finance charge of 1.5% for every 10 days late thereafter. Any progress invoices past due more than 10 days will result in stopping of all work until invoices are paid. In the event of any litigation between the parties under this agreement, the prevailing party shall be entitled to recover reasonable fees of attorneys, paralegals, and legal assistants, court costs and all expenses even if not taxable as court costs (including, without limitation, all such fees, costs and expenses incident to appeals), incurred in the action or proceeding. Any written changes to this contract must be initialed by both SMC and the client for any changes to be considered valid. Any alterations from Scope of Work involving extra costs will be executed only upon written orders and will become an extra charge over and above the contract. Client will furnish all refundable municipal and environmental bonds, owner compatible with local ordinances. If hard bottom conditions are encountered, during any pile placement activities, requiring punching prior to driving, additional charges will be assessed. Permit and permit related fees are *NOT* included in the price of the contract; owner will pay all permit, engineer, special inspector and process related costs and fees.

Tim Initial E Initial

SCOPE OF WORK

REMOVAL

Demolish and dispose of existing 31' x 8' lower wood boat dock and 21' x 14' wood upper deck to prepare for new seawall repairs; existing wood piles to remain.

Note: Existing retaining wall to remain in place and new concrete pour will incorporate retaining across a 100' span.

BATTER PILE & CAP

- 1) Provide and drive 11, 12" x 12", prestressed, concrete piles, at 3:1 batter against top of existing seawall cap at a maximum of 10' spacing, across a 100' span. Cut off piles into bottom of new seawall cap elevation using pile post tension cable strands, which will connect to reinforcing steel cage, per engineer specifications.
- 2) Construct formwork for new, reinforced, concrete seawall cap across a 100' span, joining new batter piles and existing seawall cap, per engineer drawings. New concrete over pour will be approx. 20" above existing seawall cap across a 100' span. *Note:* City of Golden Beach only allows seawall to be at 5.0 NGVD elevation.
- 3) Tie in reinforcing steel, according to engineer's drawings and plans, using #5 bars that will be doweled and epoxied into top of existing concrete cap; using #3 stirrups on 18" staggered centers; connecting to reinforced steel cage across a continuous 100' span.
- 4) Place **5,000 psi concrete into formwork** by means of tremie hose from concrete pump truck. Provide chamfered edges, light broom finish and fibermesh additive to retard cracking and corrosion.

BP&C cost . . . \$24,690.00 (Including demo)

TOEWALL FOOTER

- 1) Clean base of existing seawall, across a 100' span, to prepare for installation of toewall footer.
- 2) Provide and drive 4' long, interlocking, vinyl 225 series, sheet pilings 2' into berm or until bearing rock, at 1' off toe of existing seawall, across a continuous 100' span.
- 3) Form and pour new concrete footer cap incorporating new vinyl sheeting and existing seawall across a 100' span.
- 4) Pump 3,000 psi concrete between sheeting and seawall by means of tremie hose from concrete pump truck to provide new footer in front of wall to prevent erosion behind existing seawall.

Footer cost . . . \$8,990.00

DOCK

Construct a new, 31' x 7', lower, wood boat dock connecting with a 21' x 14', upper, wood deck secured to 6 existing wood dock piles.

- a) Framing to be .40, ACQ, marine treated, #1, pressure treated lumber secured with stainless steel hardware, using double thru bolts and double stringer framing system.
- b) Decking to be Preserve Plus, Ultra Tropical, 2" x 6", decking boards secured with stainless steel decking screws.
- c) 3 outside piles will be furred with 1" x 2", marine treated, furring strips and topped with new copper caps.

Dock cost . . . \$10,930.00

Total cost . . . \$44,610.00

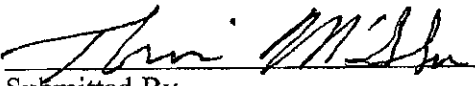

T, M Initial E Initial

Payment schedule:

15% due upon acceptance	\$6,691.50
25% due upon batter piles	\$11,152.50
10% due upon forming cap	\$4,461.00
10% due upon pouring cap	\$4,461.00
10% due upon sheet piles	\$4,461.00
10% due upon pouring footer	\$4,461.00
10% due upon framing dock	\$4,461.00
10% due upon decking dock	\$4,461.00

Reminder: Permit, engineer, special inspector and process fees are not included in contract price and are to be paid by customer as fees occur.

By signing below, I acknowledge that I have read and agree to all prices, terms and conditions stated in this proposal.

	<u>12/13/12</u>		<u>12/13/12</u>
Submitted By	Date	Accepted By	Date
<u>Tim McGlynn</u>		<u>FERNANDO EXTRACT</u>	
Print Name		Print Name	



OCEAN CONSULTING, LLC · 340 Minorca Avenue, Suite 5 · Coral Gables, FL 33134
Tel: 305-921-9344 · Fax: 305-677-3254
www.oceanconsultingfl.com

12-3160

May 9, 2013

Ms. Linda Epperson
TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, FL 33160

SEAWALL
**RE: APPLICATION FOR VARIANCE FOR A ~~VIEWING PLATFORM~~ AND DOCK PROJECT AT ~~337~~
132 South Island Drive, in the Town of Golden Beach, Miami-Dade County,
FLORIDA**

Dear Ms. Epperson:

On behalf of our client, Mr. Fernando Extrakt, this is to respectfully submit a Letter of Intent for the Variance Application at 132 South Island Drive, in the Town of Golden Beach, Miami-Dade County, Florida.

The Project proposes to install a new seawall cap with batter piles and a footer. The dock will then be replaced in the same footprint as existing. (No further waterward than existing now.)

For your review and use, enclosed please find the following:

1. An executed Town of Golden Beach BRAB and Variance Application;
2. A check made payable to the Town of Golden Beach in the amount of \$472;
3. A set of plans preliminarily stamped by Miami-Dade County RER/DERM; and
4. A copy of the boundary survey.

Thank you for your review of this information. We look forward to working with you on this variance. Should you have any questions or require additional information, please do not hesitate to contact me at (305) 921-9344.

12-3160
Ms. Linda Epperson
May 9, 2013
Page 2

Sincerely,
OCEAN CONSULTING, LLC

A handwritten signature in black ink, appearing to read "Kirk Lofgren". The signature is fluid and cursive, with a large initial "K" and a long horizontal stroke at the end.

Kirk Lofgren
Principal

KL: CB
Enclosures

FARIS A. HANNA
150 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

PETER & DELIA CICALE
164 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

JOSEPH I CASSUTO TRS
146 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

LEONARD & SVETLANA
SCHWARTZ
160 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

MONICA P. SASSON
136 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

MEIR ELFASSY & JOELLE
BENCHIMOL
156 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

DAVID A & BETH S. GEDULD
126 GOLDEN BEACH DRIVE
GOLDEN BEACH FL. 33160

ETTI STUDNIK
154 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

ODEN & ALICE R. MELTZER
122 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

JACQUES CLAUDIO
STIVELMAN TRS.
142 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

ANDREW & SHERRY STURNER
100 GOLDEN BEACH DR.
GOLDEN BEACH, FL. 33160

FERNANDO EXTRAKT &
VIVIAN NORMAN
132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

REMEU & NAYLA PRADINES
120 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

JOSE & PENNY IGLESIAS
138 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

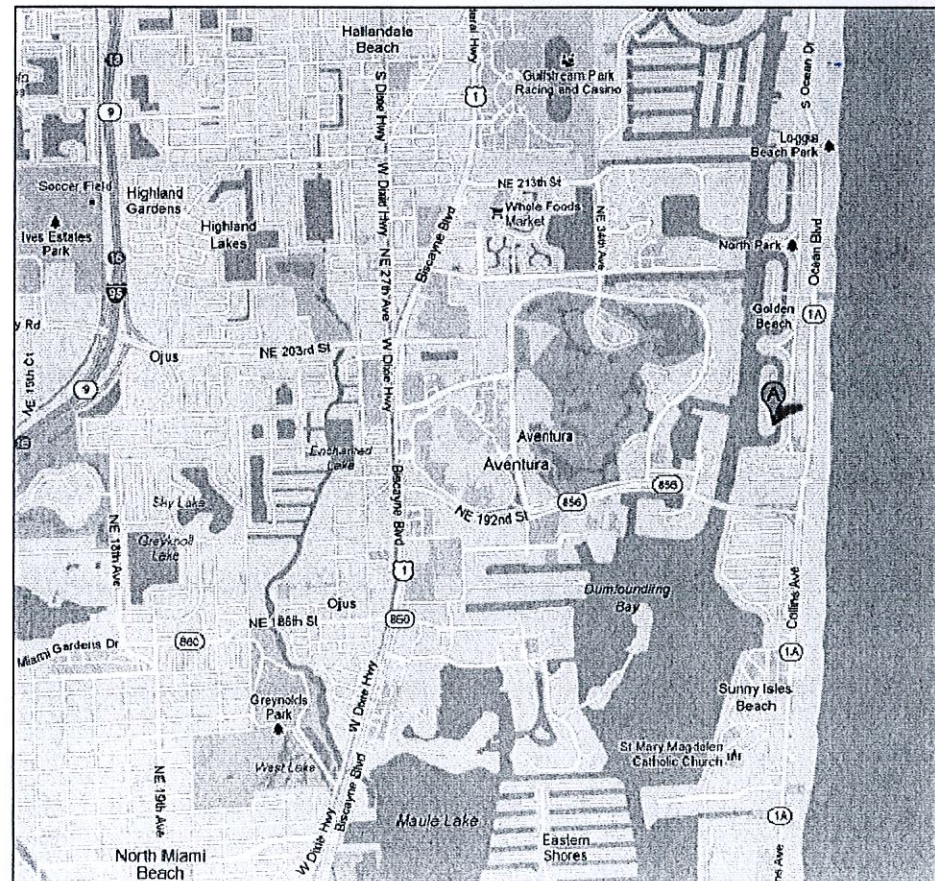
DANIEL & GISELA ADES
848 LINCOLN ROAD, 4TH FLR
MIAMI BEACH, FL. 33139

SERGIO & KEILA STIBERMAN
124 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

PAUL S & CHERYL GROLL
170 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

LATITUDE: 25 DEG 57'31.5324"N
LONGITUDE: 80 DEG 07'20.4888"W

PROJECT SITE LEGAL DESCRIPTION:

GOLDEN BEACH SEC D PB 10-10
LOTS 10 & 11 BLK J LOT SIZE
100.000 X 158 OR 17507-3783 0197 3
COC 22473-0978 06 2004 1 OR
27163-4855 0110 01



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APR 24 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2010 EDITION (AND CURRENT ADDENDUMS).

BOLTS

- ALL BOLTS SHALL BE STAINLESS STEEL GRADE 316, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 2 PRESSURE TREATED SOUTHERN PINE OR BETTER.

DOCK: LL 60 PSF

CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

2013-059

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *Nicky L...*
DATE *4/29/13*

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE
JUN 11 2013

APPROVED
DISAPPROVED
VARIANCE REQ:

EXTRAKT DOCK REPLACEMENT PROJECT

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE CONSTRUCTION, INC.
404 NE 38th Street
Oakland Park, FL 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
950 N. Federal Hwy., Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaer
PE 27733, EB 26829

CONSTRUCTION DRAWINGS

Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

PROJECT: 13-3160

GENERAL NOTES & LOCATION MAP

SCALE : AS SHOWN
SHEET NO.

S-1

NOTE:

1. EXISTING RETAINING WALL ON SEAWALL CAP TO BE DEMOLISHED FOR NEW SEAWALL CAP CONSTRUCTION.

2. EXISTING RAILING TO BE REMOVED DURING CONSTRUCTION AND REPLACED IN THE SAME FOOTPRINT.

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APR 24 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (ARRRD)

**EXTRAKT DOCK
REPLACEMENT
PROJECT**

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTHEAST MARINE
CONSTRUCTION, INC.**
404 NE 38th Street
Oakland Park, FL 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

PROJECT ENGINEER:
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950 N. Federal Hwy., Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Handwritten Signature]
4/14/13
John Omslaer
PE 52733, EB 26829

**CONSTRUCTION
DRAWINGS**

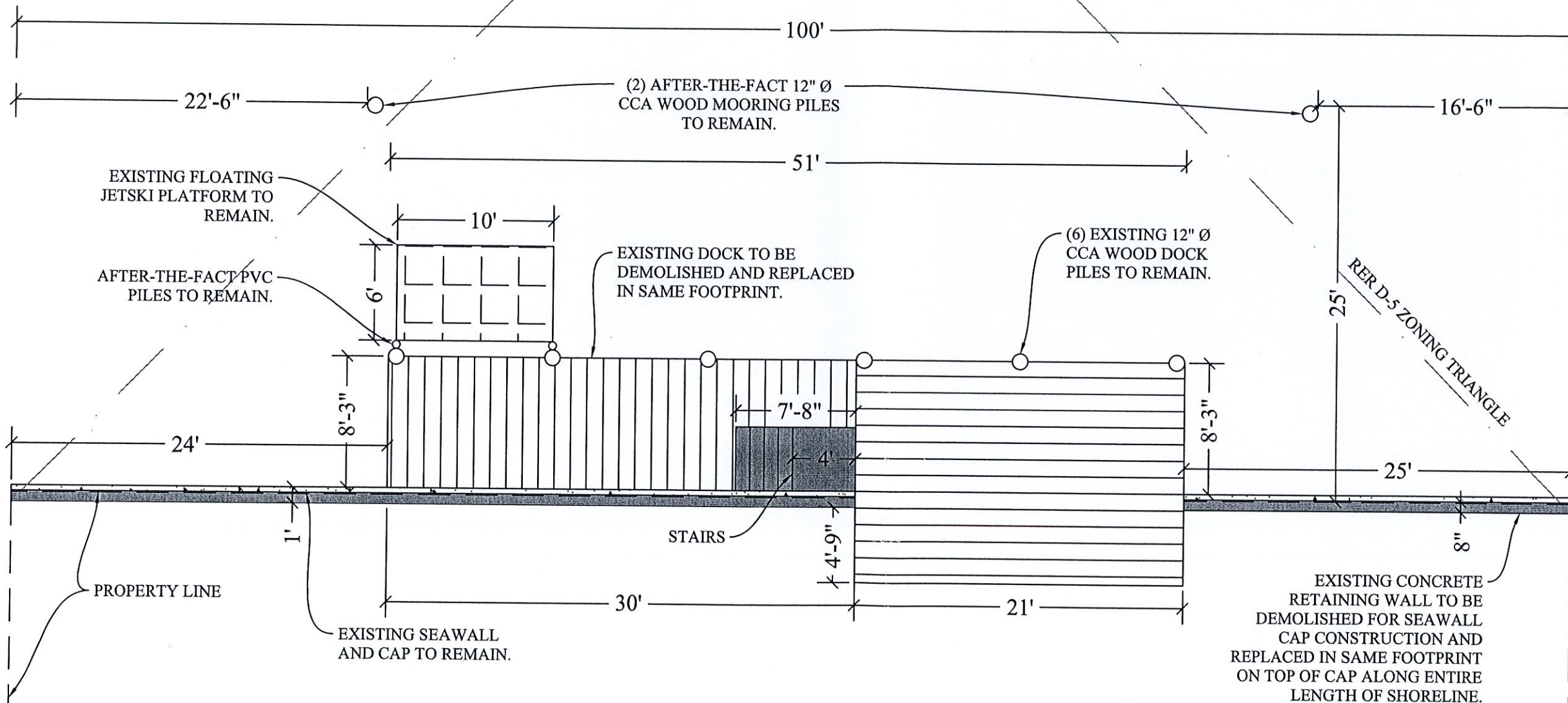
Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

PROJECT: 13-3160

**EXISTING
CONDITIONS**

SCALE : AS SHOWN
SHEET NO.

S-2



**EXISTING CONDITIONS
132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FLORIDA**

**DERM COASTAL SECTION
PRELIMINARY APPROVAL**
NAME *[Handwritten Signature]*
DATE *4/24/13*

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____



NOTE:

1. EXISTING RETAINING WALL ON SEAWALL CAP TO BE DEMOLISHED FOR NEW SEAWALL CAP CONSTRUCTION. RETAINING WALL TO BE REPLACED IN SAME FOOTPRINT. THE WETFACE OF THE RETAINING WALL SHALL NOT EXTEND PAST THE WETFACE OF THE EXISTING SEAWALL.

2. EXISTING RAILING TO BE REMOVED DURING CONSTRUCTION AND REPLACED IN THE SAME FOOTPRINT.

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APR 24 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRD)

DEPT COASTAL SECTION
PRELIMINARY APPROVAL
NAME *Mike Drummer*
DATE *4/24/13*

EXTRAKT DOCK
REPLACEMENT
PROJECT

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN
CONSULTING, LLC
340 Minorca Avenue, Suite 5
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Oakland Park, FL 33334
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Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
4/24/13

John Omslaer
PE 52733, EB 26829

CONSTRUCTION
DRAWINGS

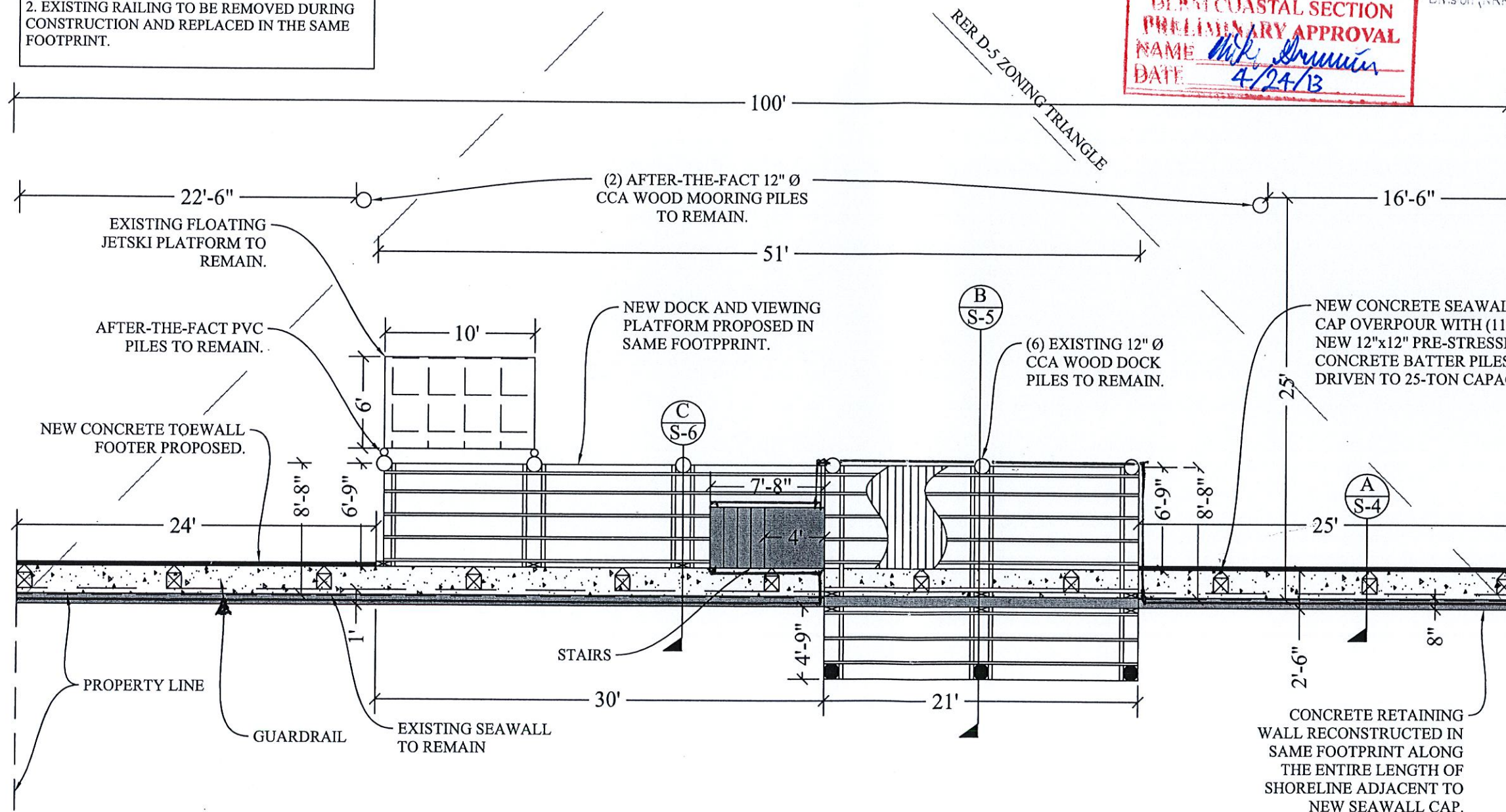
Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

PROJECT: 13-3160

PROPOSED
CONDITIONS

SCALE : AS SHOWN
SHEET NO.

S-3



PROPOSED CONDITIONS
132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FLORIDA

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____



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APR 24 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *Nick Brummitt*
DATE *4/24/13*

**EXTRAKT DOCK
REPLACEMENT
PROJECT**

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTHEAST MARINE
CONSTRUCTION, INC.**
404 NE 38th Street
Oakland Park, FL 33334
Tel: (954) 630-2300
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PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
950 N. Federal Hwy., Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaer
PE 52733, EB 26829

**CONSTRUCTION
DRAWINGS**

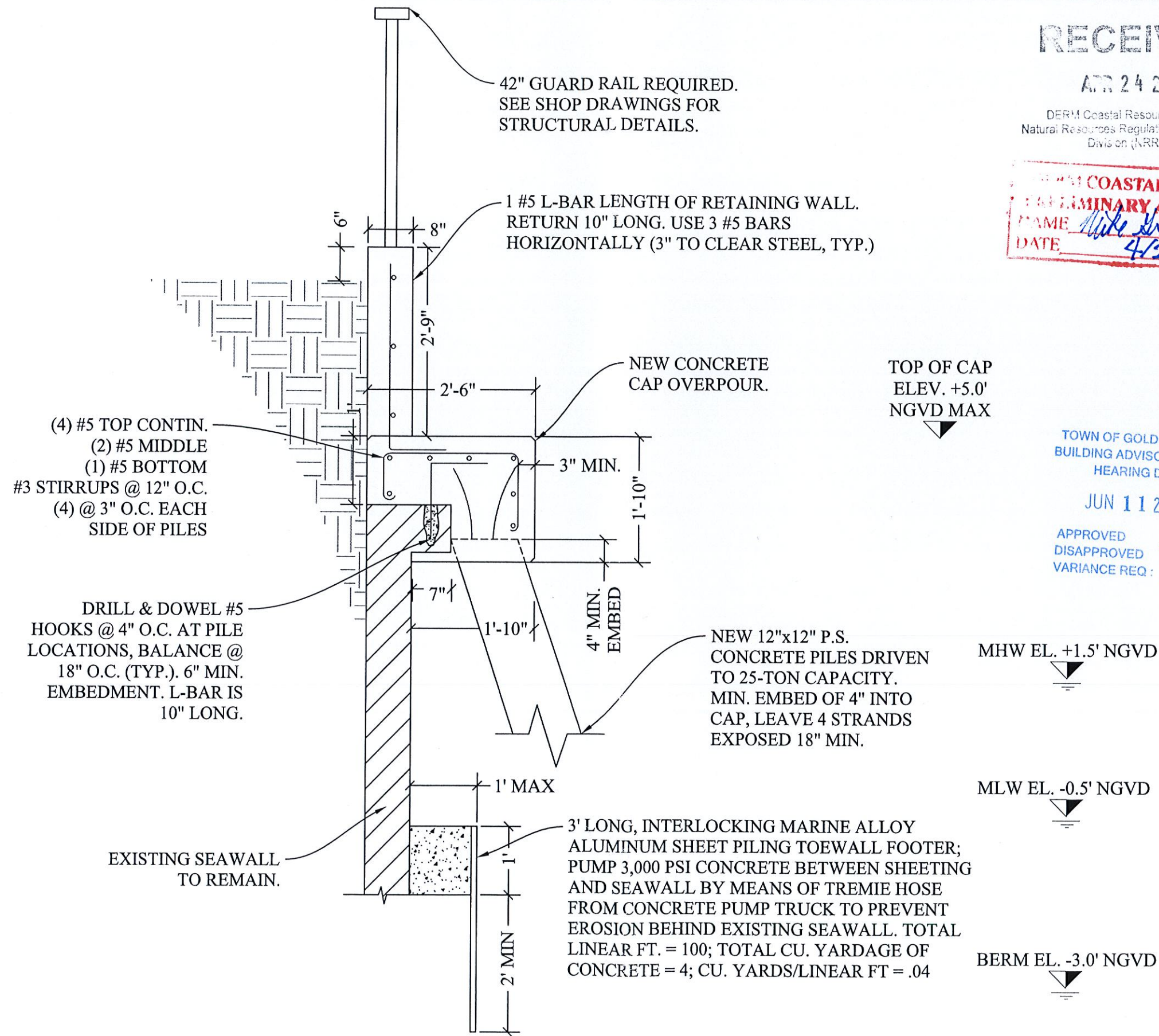
Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

PROJECT: 13-3160

**SEAWALL CAP SECTION
& STEEL DETAILS**

SCALE: AS SHOWN
SHEET NO.

S-4



SECTION A - PROPOSED SEAWALL CAP & STEEL DETAIL (TYP)

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APR 24 2013

PERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

COASTAL SECTION
PRELIMINARY APPROVAL
NAME Mike Drummond
DATE 4/24/13

TOP OF DECK
ELEV. +7.75'
NGVD MAX

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

MHW EL. +1.5' NGVD

MLW EL. -0.5' NGVD

BERM EL. -3.25' NGVD

EXTRAKT DOCK
REPLACEMENT
PROJECT

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN
CONSULTING, LLC
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
SOUTHEAST MARINE
CONSTRUCTION, INC.
404 NE 38th Street
Oakland Park, FL 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

PROJECT ENGINEER:
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SOLUTIONS, INC.
950 N. Federal Hwy., Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaer
PE 52733, EB 26829

CONSTRUCTION
DRAWINGS

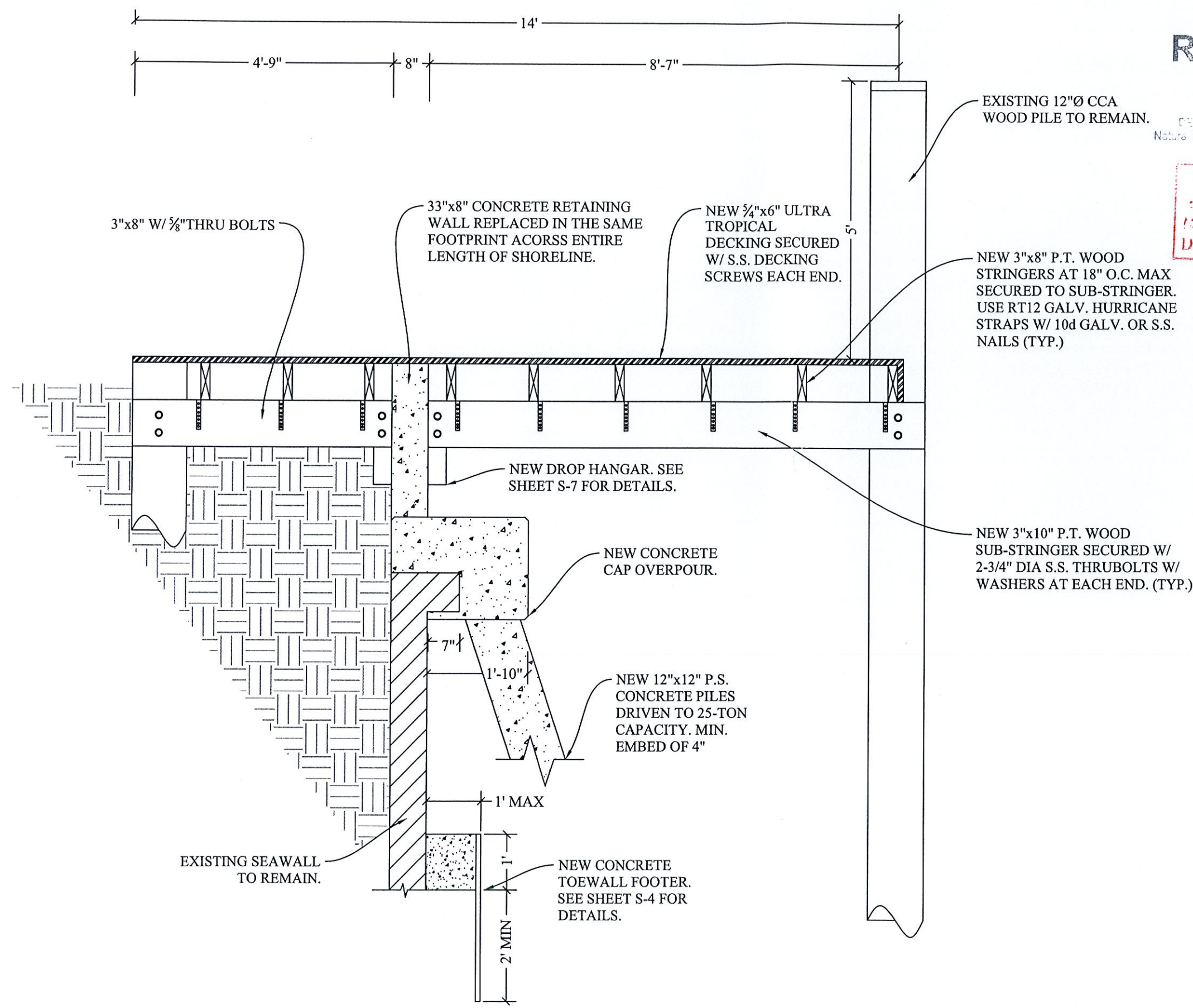
Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

PROJECT: 13-3160

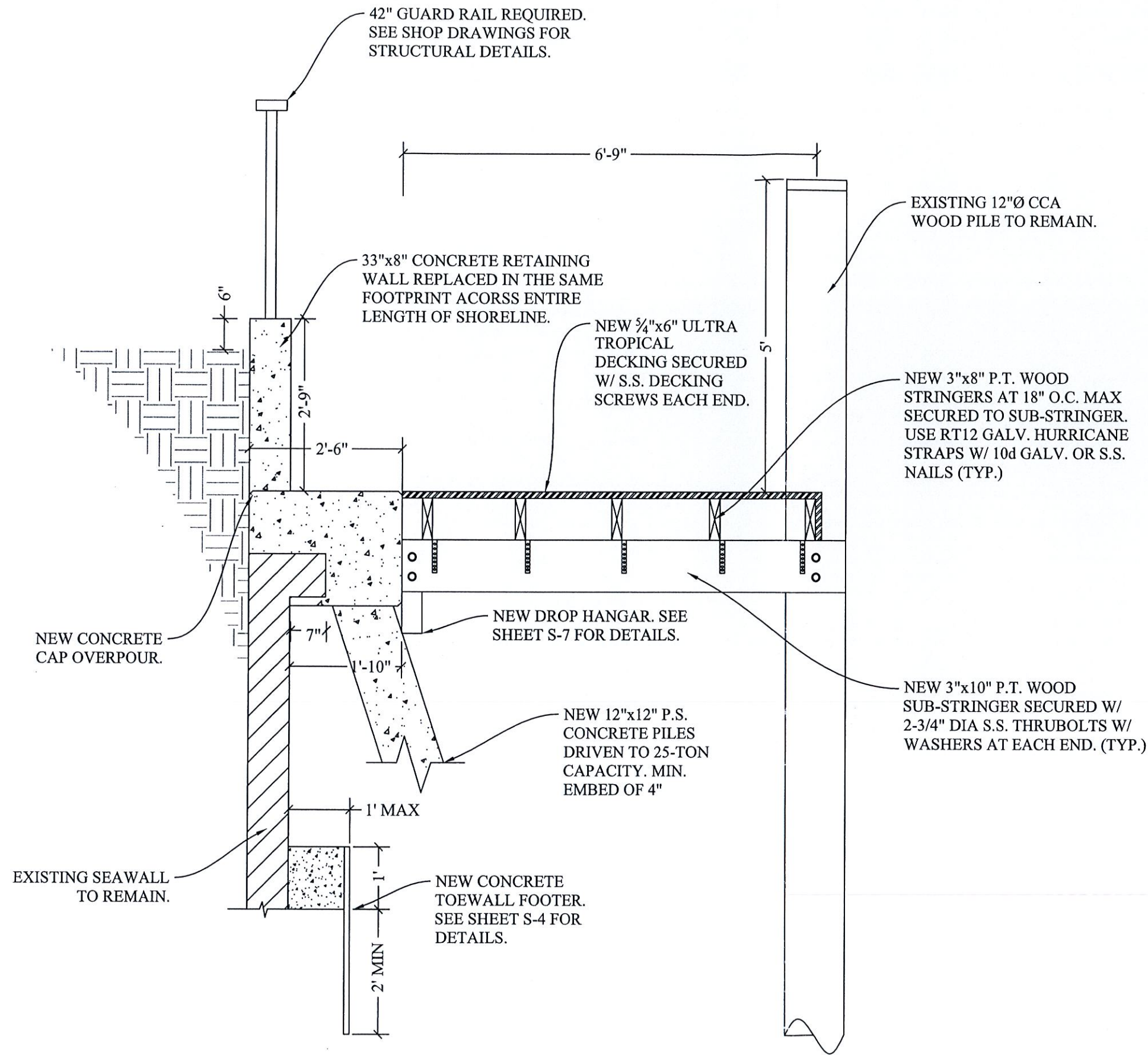
OVERLAND DECK
SECTION

SCALE: AS SHOWN
SHEET NO.

S-5



SECTION B - PROPOSED DECK SECTION & DETAILS (TYP)



SECTION C - PROPOSED DOCK SECTION & DETAILS (TYP)

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APR 24 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *Mike Harrison*
DATE *4/24/13*

TOP OF DOCK
ELEV. +5.0'
NGVD MAX

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

MHW EL. +1.5' NGVD

MLW EL. -0.5' NGVD

BERM EL. -3.0' NGVD

EXTRAKT DOCK
REPLACEMENT
PROJECT

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
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PROJECT ENGINEER:
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950 N. Federal Hwy., Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
4/16/13

John Omslaer
PE 52733, EB 26829

CONSTRUCTION
DRAWINGS

Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

PROJECT: 13-3160

STEPDOWN DOCK
SECTION

SCALE : AS SHOWN
SHEET NO.

S-6

RECEIVED

APR 24 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *John Omslaer*
DATE *4/24/13*

EXTRAKT DOCK
REPLACEMENT
PROJECT

132 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL 33160

CLIENT:
MR. FERNANDO EXTRAKT
132 South Island Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN
CONSULTING, LLC
340 Minorca Avenue, Suite 5
Coral Gables, Florida 33134
Tel: (305) 921-9344
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CONTRACTOR:
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CONSTRUCTION, INC.
404 NE 38th Street
Oakland Park, FL 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

PROJECT ENGINEER:
DYNAMIC ENGINEERING
SOLUTIONS, INC.
950 N. Federal Hwy., Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Handwritten Signature]
11/16/13

John Omslaer
PE 52733, EB 26829

CONSTRUCTION
DRAWINGS

Issue #	Issue Date
①	February 15, 2013
②	April 8, 2013

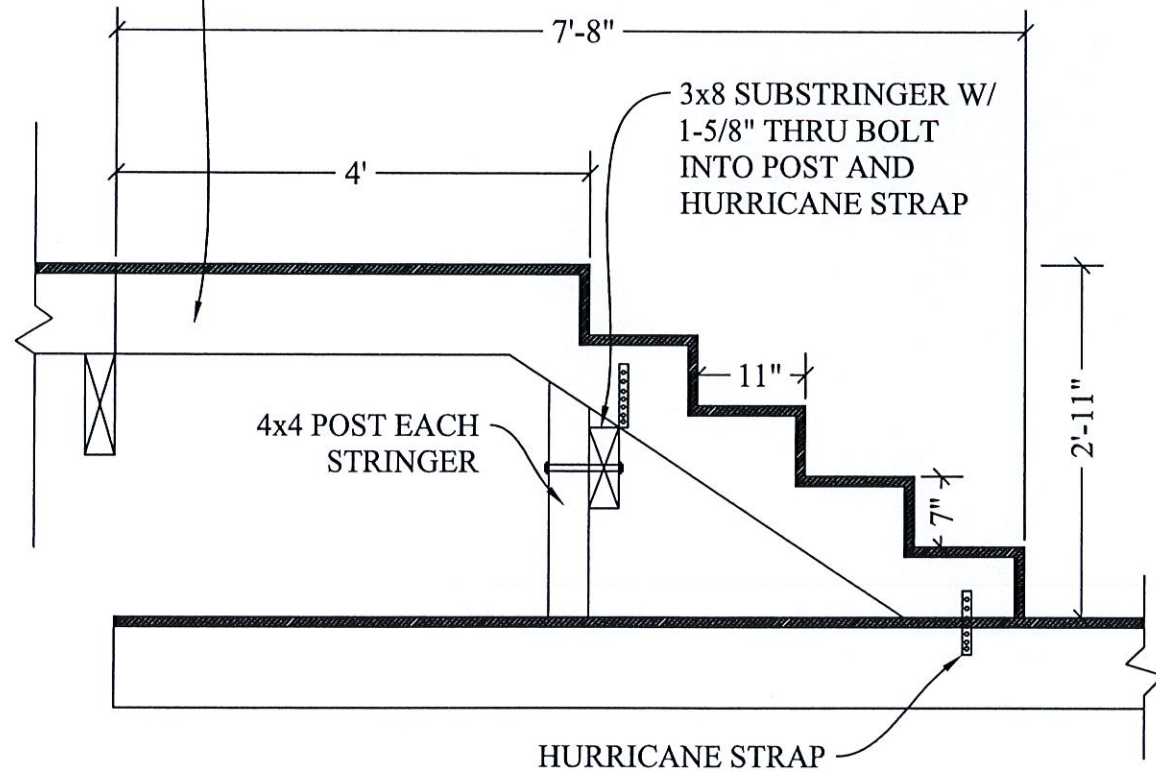
PROJECT: 13-3160

STAIR & DROP HANGAR
DETAIL

SCALE : AS SHOWN
SHEET NO.

S-7

(5) EQUALLY SPACED 2x12 P.T.
TIMBER STEPPED STRINGERS W/
5/4"x6" ULTRA TROPICAL DECKING. 7"
RISE AND 11" RUN (TYP.)

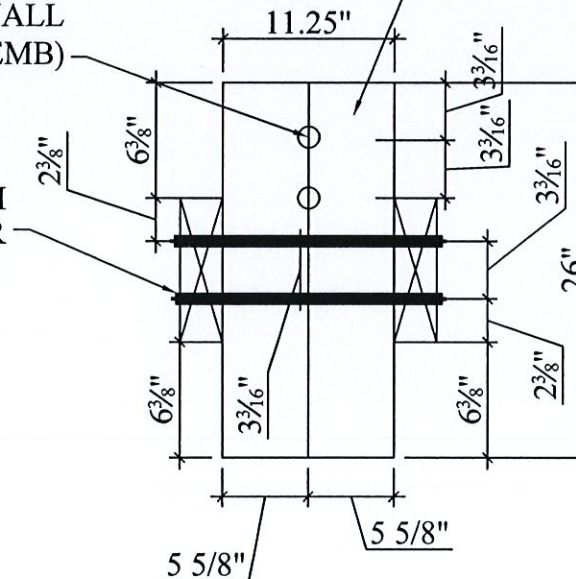


TIMBER STEP DETAIL (TYP)

3/4" S.S. WEDGE BY
SIMPSON FASTENERS
ANCHORS BOLTS INTO
SEAWALL
(6" EMB)

3/4" S.S. THROUGH
BOLT W/WASHER

S.S. 4" X 12" X 26"
LONG HANGER
TYP. U.O.N.



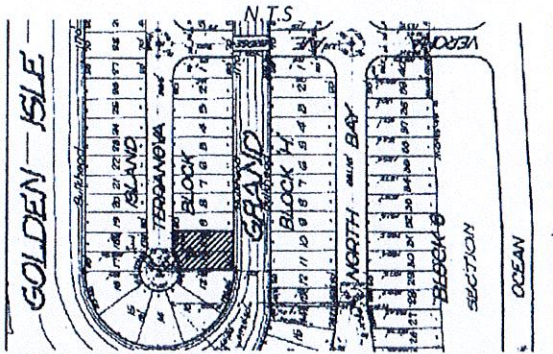
HANGER BLOCK DETAIL (TYP.)

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

JUN 11 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

LOCATION MAP



BOUNDARY SURVEY

Scale: 1" = 20'



LEGAL DESCRIPTION:

Lots 10 & 11, Block J, GOLDEN BEACH SECTION D, according to the plat thereof as recorded in Plat Book 10, at Page 10, of the Public Records of Miami-Dade County, Florida.

PROPERTY ADDRESS:

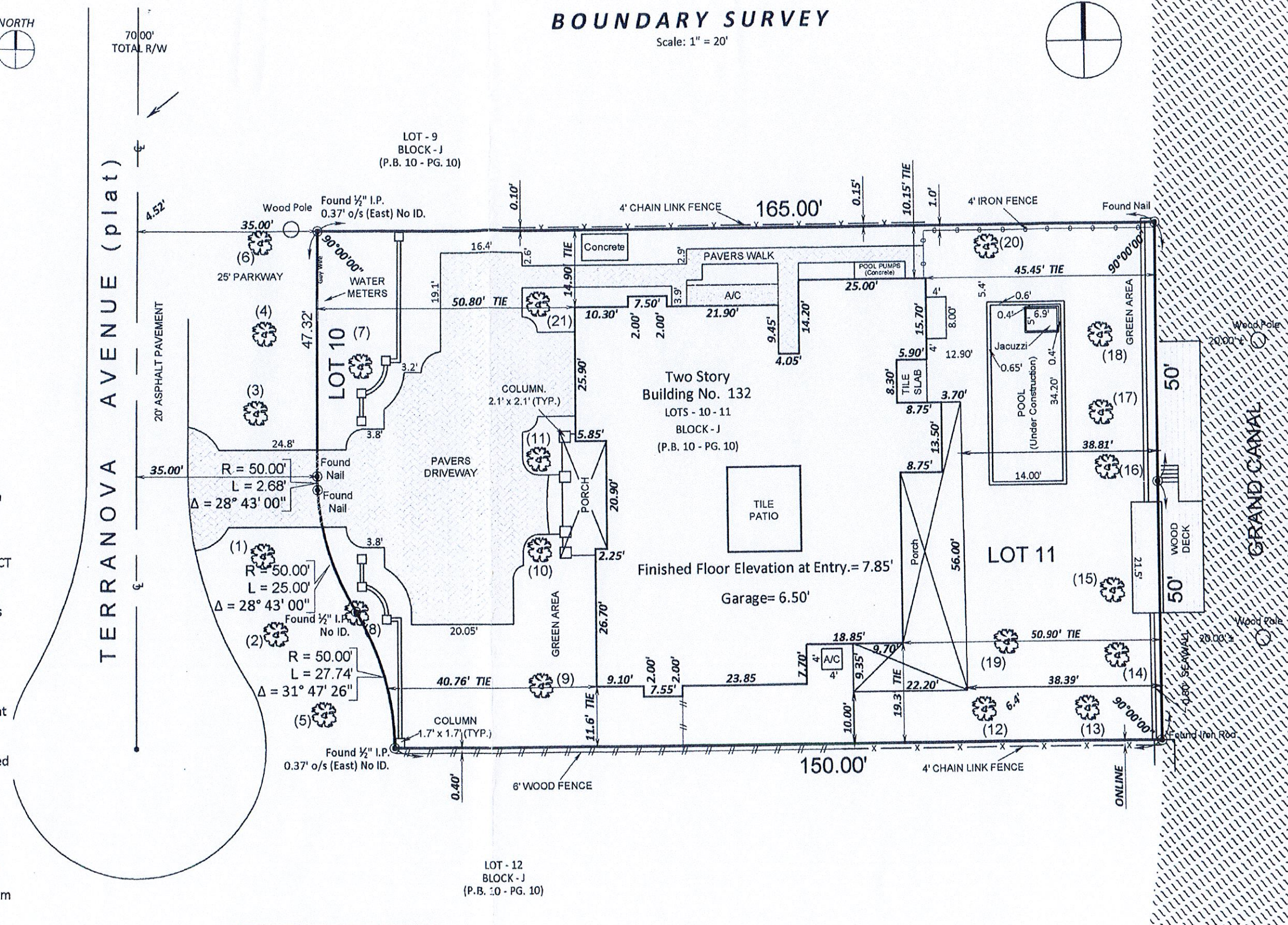
132 South Island Drive.
Golden Beach, FL 33160

FOR THE BENEFIT OF

• FERNANDO EXTRAKT AND VIVIAN NORMAN

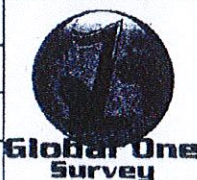
SURVEYOR'S NOTES:

- The above captioned property was surveyed and described based on the above legal description furnished by client.
- This certification is only for the lands as described, it is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances, ABSTRACT NOT REVIEWED.
- There may be additional restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- Ownership subject to: OPINION OF TITLE.
- Type of Survey: BOUNDARY SURVEY.
- Location and identification of utilities on or adjacent to the property were not secured as such information was not requested.
- Unless otherwise noted, this Firm has not attempted to locate Footings and/or Foundations (underground).
- This PLAN OF SURVEY, has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
- Precision of Closure 1:7500 Suburban Class Survey.
- Bench Mark No.AC2395. 1.2 miles SW from Sunny Isles about 1 mile west along state highway 826 from junction A1A at sunny Isles. Survey Disc set on concrete for guard rail 1' above asphalt. Elevation 28.36' NGVD 1929 Datum



THIS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED EMBOSSED SEAL PRESENT

SHEET: 1	DESIGNED BY:
OF 1 SHEET(S)	F.C.
DATE: 08-06-2010	CHECKED BY: J.M.R.
PROJ. No: 110130	SCALE: 1" - 20'



LAND SURVEYORS · LAND PLANNERS
7725 S.W. 129TH COURT
Miami, Florida 33183
JOSE M. RIVES Jr.
P.S.M. No. 6685 · L.B. No. 7836
PHONE: (786) 486-8088 FAX: (305) 382-4334

CERTIFICATION:
BY: _____
FOR THE FIRM
JOSE M. RIVES Jr.
P.S.M No. 6685
STATE OF FLORIDA

LEGEND AND ABBREVIATIONS

RES. = RESIDENCE	PG. = PAGE.
F.I.P. = FOUND IRON PIPE	(R) = RECORDED
N.T.S. = NOT TO SCALE	ID. = IDENTIFICATION
A/C = AIR CONDITIONER	0.00 = ELEVATION
P.B. = PLAT BOOK	(M) = MEASURED

REVISIONS:	DATE:
Revised Elevations	August 12, 2010
Form Board survey (#110031)	September 24, 2011
Final survey (#110130)	September 26, 2011



TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, FL. 33160

SUMMARY MINUTES
BUILDING REGULATION ADVISORY BOARD
August 13, 2013 at 6:00pm

- A. CALL MEETING TO ORDER:** 6:00pm
- B. BOARD ATTENDANCE:** Stephanie Halfen, Eric Cohen, Jerome Hollo, Dr. Iglesias and Fred Chouinard
- C. STAFF ATTENDANCE:** Building Official Nieda and Building Director Epperson
- D. APPROVAL OF MINUTES:** July 9, 2013

A motion was made by Fred Chouinard to approve the minutes as submitted, Seconded by Eric Cohen
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye, and Stephanie Halfen-Aye.
Motion passed 5 – 0

E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS

F. VARIANCE REQUEST(S):

1. Jonathan Brief
P.O. Box 800008
Aventura, FL. 33160

Property Address: 357 Center Island Dr., Golden Beach, FL. 33160
Folio No: 19-1235-005-0850
Legal Description: Portions of Lots 14 & 15, Blk K, GB Sect. E, PB 8-122

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.
Jonathan Brief owner of the property spoke on his own behalf

Re-construction of a viewing platform.

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Relief from Town Code Section 46-87 Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Relief from Town Code Section 46-85 Height of seawalls and docks and extension of deck of dock.

No seawall and no deck of any dock shall exceed an elevation of five feet above the National Geodetic Vertical Datum (NGVD). Dock decks shall not extend more than six feet behind the seawall and no cover shall be permitted to be erected in connection with any dock. The minimum elevation of the top of any seawall shall be four feet above the NGVD.

Request is to allow the viewing platform (dock) to extend out into the waterway outside the 10' maximum, outside the D5 triangle and to be elevated higher than the 5' N.G.V.D. elevation allowed by the code.

The applicant, Jonathan Brief, withdrew his variance petition to extend the Viewing Platform (dock) farther than the 10' maximum extension allowed by Code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

Viewing Platform – Dock approval motion:

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the viewing platform (dock) to encroach outside the D-5 Triangle, and Seconded by Fred Chouinard

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay

The motion failed with a board vote of 5 – 0

Elevation of Viewing Platform – 5.5' NGVD:

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Eric Cohen to recommend approval to the Town Council to allow the viewing platform (dock) to be constructed at an elevation of 5.5' NGVD, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

2. Fernando Extrakt and Vivian Norman
132 South Island Drive
Golden Beach, FL. 33160

Property Address: 132 South Island Drive, Golden Beach, FL.
Folio No: 19-1235-004-0530
Legal Description: Lots 10 & 11, Block J, GB Section D, PB 10-10

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.

Re-construction of a dock

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway outside the 6' maximum required by the code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the dock to extend into the waterway outside the 6' maximum allowed by the code, Seconded by Fred Chouinard.
On roll call: Fred Chouinard-Nay, Dr. Iglesias-Aye, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay
The motion failed with a board vote of 4-1

3 544 Vista LLC
20807 Biscayne Blvd, #301
Aventura, FL. 33180

Property Address: Vacant Lot a/k/a 44 Terracina Ave., GB, FL.
Folio No: 19-1235-004-0440
Legal Description: Lot 33 less E 5 feet & Lot 34, Blk H, GB Sect. D,
PB 10-10

Construction of single-family residence on a vacant lot

Building Official Nieda read his comments into the record
Mark Tartell with Leroy Street Studio NY spoke on behalf of the
applicant

Rosa Levy, applicant, spoke on her own behalf.

Sec. 66-139. - Same—In Zone Three.
or lots in Blocks E, F, G, H, J, K, L, and M, no building or part thereof
including garages shall be erected less than 35 feet from the property
line along the waters of the Intracoastal Waterway and canals and 35
feet from the front property line.

Request is to allow the 28.5' wide garage to project into the front
setback 16' in lieu of the 35' setback required by the Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Eric Cohen to recommend approval to the
Town Council to allow the garage to project 16' into the front setback
where a 35' is required by Code, Seconded by Dr. Iglesias.
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Aye
The motion passed with a board vote of 3 – 2

4. Uri Mareyna
Margie Zonana Blang A
277 Golden Beach Drive
Golden Beach, FL. 33180

Property Address: 277 Golden Beach Dr., Golden Beach, FL.
Folio No: 19-1235-004-0890
Legal Description: Lot 25, & S 20' of Lot 24, Blk 5, GB Sect D,
PB10-10

Addition and remodel to existing residence.

Building Official Nieda read his comments into the record
Martin Litman represented the owners and spoke on their behalf.
Ishac Haroon, 271 Golden Beach Drive, spoke in opposition
Uzi Haroon, 535 Golden Beach Drive, spoke in opposition

Relief from Town Code Section. 66-136. - Side line restrictions
between adjoining lots.

(a) For lots or any combination of lots with greater than 50 feet of
frontage; no portion of any building shall be closer than ten feet from
each side property line.

(b) For lots or any combination of lots with greater than 100 feet of
frontage; no portion of any building shall be closer than ten percent of
the width of the frontage of the lot(s), up to a maximum required
setback of 15 feet from each side property line of the site.

Request is to allow a 37 square foot addition to encroach into the
south side property line at 5.42' in lieu of the 10' required by the
Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Dr. Iglesias to recommend approval to the
Town Council to allow the 37 square foot addition to extend into the
south side property line at 5.42' outside the 10' setback required by
the code, Seconded by Eric Cohen.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Nay
The motion failed with a board vote of 5 – 0

G. OLD BUSINESS:

H. NEW BUSINESS

Agenda Item number 7 was moved to item 5

5. Jonas and Judith Mimoun
550 North Island Drive
Golden Beach, Fl. 33160

Property Address: 550 North Island Dr., Golden Beach, FL.
Folio No: 19-1235-006-0875
Legal Description: Lot 12 and SELY ½ of Lot 13, Blk M, GB Sect F,
PN 10-11

Building Official Nieda read his comments into the record

Construction of a new boat dock

Kirk Lofgren, Ocean Consulting, spoke on behalf of the applicant.

A motion was made by Eric Cohen to approve the dock reconstruction at a 4.6' elevation, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

6. Phister Company Inc.
25 SE 2nd Avenue, Suite 1235
Miami, FL. 33131

Property Address: 385 Center Island Drive, Golden Beach, FL.
Folio No: 19-1235-005-0870
Legal Description: All of lots 20 & 21, lot 22 less n 12.5', Blk K, GB Sect E, PB 8-122

Building Official Nieda read his comments into the record
Alfredo Gamara spoke on behalf of the applicant.

Revisions to exterior façade and pool of a residence under construction.

Dr. Iglesias stepped out of the meeting

The Board discussed this item and determined that the information submitted was insufficient to grant an approval. By agreement of the parties in attendance this request will be moved to next month's Agenda of September 10, 2013.

A motion was made by Fred Chouinard to table this item, Seconded by Stephanie Halfen
On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 4 – 0

7. Lior Ben Shmuel
570 North Island Drive
Golden Beach, Fl. 33160

Property Address: 508 North Parkway, Golden Beach, FL.
Folio No: 19-1235-006-0760
Legal Description: Lot 23 and a port of lot 24, Blk F, GB Sect F, PB 10-11

No one was present to speak on this item.

Revisions to pool for residence under construction.

A motion was made by Eric Cohen to table this item, Seconded by Fred Chouinard

On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye

The motion passed with a board vote of 4 – 0

8. Isaac Mizrahi Smeke
560 Ocean Boulevard
Golden Beach, Fl. 33160

Property Address: 560 Ocean Boulevard, Golden Beach, FL.
Folio No: 19-1235-001-0251
Legal Description: Lots 6 – 8, Block 2, GB Sect. A, PB 9-52

Dr. Iglesias returned to the meeting.
Building Official Nieda read his comments into the record.
Mr. Luria, Architect for the applicant spoke on this item.

Remodeling to exterior façade.

A motion was made by Eric Cohen to approve this request which includes the following items: changing concrete railings to glass railings, redesign of the front archway openings and garage door openings to square, and the exterior paint color to be in accordance with the Town's Ordinance for exterior painting and approved by Building Official Nieda, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

I ITEMS FOR DISCUSSION AND BOARD APPROVAL

J. ADJOURNMENT 7:45pm

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Alex B

Item Number:

7

Subject: Resolution No. 2308.13 – Variance Request for 44 Terracina Ave., Golden Beach, FL 33160 (Garage Front Setback)

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2308.13.

Background and History:

The Town Code of Ordinances Section 66-139 – Same – In Zone Three
For lots in Blocks E, F, G, H, J, K, and L, no building or part thereof including garages shall be erected less than 35 feet from the property line along the waters of Intra-coastal waterway and canals and 35 feet from the front property line.

The applicant is requesting that the garage be allowed to extend into the front setback 16', generating a 19' setback in lieu of the 35' setback established by the code.

The Building Regulation Advisory Board met August 13, 2013 and recommended approval of the variance, the motion passed with a Board vote of 3 – 2.

No one in attendance spoke in opposition to this item.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2308.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED at 44 TERRACINA AVE., GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE GARAGE TO PROJECT INTO THE FRONT SETBACK 16', GENERATING A 19' SETBACK WHEREAS 35' IS REQUIRED BY THE TOWN'S CODE

WHEREAS, the applicants, 544 Vista LLC, (“the applicants”), filed a Petition for a Variance/exception, Division 4 – Setback and Lot Line Restrictions:: Section 139 – Same – In Zone Three, allowing the garage to extend into the front setback 16', generating a 19' setback, in lieu of the Town Codes requirement of a 35' front setback, at 44 Terracina Ave., Golden Beach, Florida 33160 (Golden Beach Section “D”, Lot 33 less the E5 feet and all of Lot 34, Block H, as recorded in PB 10-10, of the Public Records of Miami-Dade County, (Folio No. 19-1235-004-0440 (the “Property”) and ;

WHEREAS, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended approval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE
TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:**

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain renderings, un-numbered and un-dated, by Leroy Street Studio Architecture, P.C., 113 Hesler Street, New York, NY 10002 and the Sketch of Survey, by McLaughlin Engineering Company, dated 04/24/2013, for the property located at 44 Terracina Ave., Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____,
seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Bernard Einstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day August, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

4/24/2013
Conrad
via
email

Town of Golden Beach
MEMORANDUM

To: Building Regulation Advisory Board
From: Daniel B. Nieda, R.A; Building Official
Date: ~~July 9, 2013~~ 8/13/2013
Re: Variance Petition for Levy Residence
44 Terracina Avenue

Background:

The applicant has submitted for review plans for a variance petition in connection with a new home to be constructed on a vacant lot at 44 Terracina Avenue, in the Zone 3 Single Family Residential District. The applicant seeks relief from Sections 66-139 from front yard setback placement requirements. The proposed building site is the last lot at the dead end of the Terracina Avenue right of way and abutting one single family residence along the east lot line. The site is 17,872 square feet and irregularly shaped as a right triangle with sides of 145.06 and 171.23 feet long, with a radial frontage of 192.7 feet abutting the intercoastal waterway. Design Development documents consists of 9 unnumbered drawings, prepared by LSS Architecture, P.C. dated June 7, 2013.

1. Front Yard Variance Petition

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, this petition constitutes a variance, since the applicant has requested the placement of a 28.5 foot wide two car garage projecting 16 feet into the front yard setback, generating a 19 foot setback, where 35 feet is the minimum permitted front yard setback per Section 66-139.
2. Yes, the land is peculiar in nature as the lot is site is irregularly shaped as a right triangle with sides of 145.06 and 171.23 feet long, with a radial frontage of 192.7 feet abutting the intercoastal waterway.
3. Yes, this variance petition results from special conditions and circumstances generated by the lot's irregular geometry and lack of access to the site from the dead end Terracina Avenue right of way.
4. Yes, granting of this variance would not confer upon the applicant a special privilege. An approval of this variance would not impact other properties, as the lot's geometry is unique to other lands or structures in the same Zone 3 Residential District.

5. Yes, the literal interpretation of the provision of the Zoning Code would deprive the applicant the rights commonly enjoyed by other properties with compatible rectangular shaped lots with similar lot area in the same Zone 3 Residential District.
6. Yes, the proposed variance request documented on the attached site plan drawings is the minimum variance that will allow reasonable use of the land generated by the limited Terracina Avenue access to the site from the right of way.
7. Yes, the granting of the variance may not be injurious to the area or detrimental to the public welfare, as the requested 19 foot front yard setback does not pose a negative impact to the adjacent property. The site's unique location only impacts one adjacent property, does not have other abutting neighbors and it is not aesthetically or functionally adverse.

In conclusion, the Building Official notes that the variance petition, documented on the attached site and floor plans, seeking relief from front yard setback requirements per Section 66-139 of the Code appears to rise to the standards required for granting of a variance. The two nearest neighbors towards the east side of the property have filed letters of no objection and in support of the front yard setback variance petitions. The Board needs to determine if a negative recommendation of this a variance petition deprives the applicant of reasonable use of his land.

Alternately, it must be determined if the other stipulated conditions may be imposed where the variance petition may be favorably considered in accordance with the standards required by Section 66-41 of the Code.



TOWN OF GOLDEN BEACH Notice of Public Hearing

The **Building Regulation Board** and the **Town Council** of the Town of Golden Beach will hold a Public hearing on the following proposal:

 X Variance Request(s)
 X New Residential Structure

Construction of a single family-residence on a vacant lot.

Division 4 – Setback and Lot Line Restrictions

Sec. 66-139. - Same—In Zone Three.

For lots in Blocks E, F, G, H, J, K, L, and M, no building or part thereof including garages shall be erected less than 35 feet from the property line along the waters of the Intracoastal Waterway and canals and 35 feet from the front property line.

(Code 1989, § 13.12(D); Ord. No. 431.98, § 1, 1-20-98)

Request is to allow the 28.5' wide garage to project into the front setback to be at 19' in lieu of the 35' required by the Town's code.

JOB ADDRESS: Vacant Lot – a/k/a 44 Terracina Avenue, Golden Beach, FL. 33160
OWNER ADDRESS: 20807 Biscayne Blvd., #301, Aventura, FL. 33180
REQUESTED BY: 544 Vista LLC
LEGAL DESCRIPTION: Lot 33 less E5 feet & Lot 34, Blk H, GB Section D, PB 10-10
FOLIO NO.: 19-1235-004-0440

The **BUILDING ADVISORY BOARD** will consider this item:

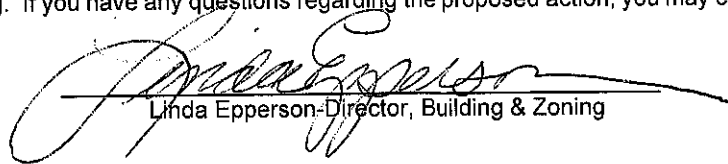
PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL
DATE: August 13, 2013 at 6:00pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
August 20, 2013 at 7:00pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: August 1, 2013


Linda Epperson-Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 44 Terracina Ave., Golden Beach, FL Meeting Date: 8-13-13
 Variance Hearing Dates: Advisory Board Aug 13, 2013 Town Council _____

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Applicant: File application and submit 8 complete packages shall consist of an application, survey and drawings (7 sets; 8.5" x 14", and 1 full size set). For a zoning variance, 16 complete packages consisting of an application, survey and drawings are required, (15 sets 8.5" x 14" and 1 full size set.) as directed by the Building Official or Building Director.

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days prior to scheduled meeting, (**not including the day of the meeting**), by 2:00 P.M. that day to allow for preliminary review and public notice in order to be heard.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the regularly scheduled Town Council meeting.

Please see page 5 for required documents.

NOTICE

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date and time.
2. The Building Official and/ or the Building Director will review the application package. If it is determined that the application is incomplete, the item will tabled and not placed on the Agenda for that month.
3. During the three (3) week period from deadline date to hearing date, the following events shall take place in proper order:
 - a. During the first week of submittal, the Building Official, or agent will endeavor to review the application, and complete a comment sheet 15 days prior to the meeting. The critique sheet will specify all deficiencies for correction.
 - b. The critique sheet will be faxed, or mailed, to the applicant as soon as the review is completed.
 - c. If the deficiencies are substantial the application will be moved to the next scheduled meeting/hearing of the B.R.A.B.
 - d. If the deficiencies are minor, the applicant must submit the corrections including the revised paperwork within 5 days of the scheduled meeting/hearing. Corrections not received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package will be given to the processor and one copy shall be delivered to each Board member. The Building Dept shall retain all originals for the records.
6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
7. After the meeting, three (3) copies of the approved items (full size) shall be retained by the building department, and (2) reduced size sets shall be obtained by the applicant for inclusion into the building permit package.

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>
1. Residence (new construction)..... (must include complete landscape plan)	\$300.00
2. Addition/Remodel of existing structure..... (must include landscape plan)	\$300.00
3. Alteration to existing residence..... (fencing, site walls, driveways, etc.)	\$150.00
4. Accessory Building.....	\$150.00
5. Swimming pools.....	\$100.00
6. Pool deck.....	\$100.00
7. Docks.....	\$100.00
8. Boat Lifts.....	\$100.00
9. Carports, awnings.....	\$100.00
10. Landscape plan revision.....	\$ 50.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception. (Includes \$122.00 for certified, return receipt and regular mailings costs)	\$372.00
b. Per additional variance/exception, when requested at same time as first one...	\$150.00
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, per each Section to be verified.....	\$100.00

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of \$200.00

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of \$200.00

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of \$500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the second time period \$250.00

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
	<p>If a zoning variance is applied for, the petition for variance shall be submitted with the application and shall include:</p> <ol style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
	<p>Eight (8) property surveys, building plans, and applications (1 original, 7 copies). Survey not older than six (6) months. Completed sets are to be submitted as follows: Seven (7) copies no larger than 8.5" x 14 & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies no larger than 8.5" x 14 and 1 original at full size). Each completed package shall consist of 1 each of an application, survey, and building plans.</p>	
	<p>Conceptual construction drawings prepared and signed by a design professional that shall include, at a minimum, the following:</p> <ol style="list-style-type: none"> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Independent from the Site Plan, provide a proposed Landscaping Plan for new construction. For existing structures, submit existing Landscaping Plan and proposed improvements, if any. c. Proposed Floor Plan views, at a scale not less than 1/4" = 1'-0" d. Cross and longitudinal sections preferably through vaulted areas, if any. e. Typical exterior wall cross section. f. Full elevations showing roof ridge height and any other higher projections. g. Sample board of construction materials to be used. h. Existing and proposed ground floor elevations (NGVD). i. Grading & Drainage Calculations 	
	<p>Green area calculation with on a Site Plan marking the geometrical areas used to calculate the pervious areas.</p>	
	<p>First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.</p>	
	<p>Colored rendering showing new or proposed addition work. And sample pallet of materials to be used.</p>	
	<p>Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.</p>	
	<p>Site plan detailing construction site personnel parking.</p>	

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? No
7. Are there any structures on the property that will be demolished? No
8. Does legal description conform to plat? Legal description is according to the plat thereof, as recorded in Plat Book 10, Page 10, of the public records of Dade County, Florida.
9. **Owner Certification:** I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): _____

Acknowledged before me this _____ day of, 20_____

Type of identification:

Notary Public

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: a variance to front lot-line restriction relative to my property and I am hereby authorizing Marc Turkel to be my legal representative before the Building Regulation Advisory Board and Town Council.

Signature of owner(s)

Acknowledged before me this _____ day _____ 20_____

Type of identification:

Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application.

**TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING**

Property Address: 44 Terracina Ave., Golden Beach, FL
 Legal Description: Lot 33, LESS the east 5.00' and all of Lot 34, Block "H", GOLDEN BEACH SECTION "D"
 Owner's Name: 544 VISTA LLC Phone (305) 682-5800 Fax 786-735-3365
 Agent's Name: n/a Phone _____ Fax _____
 Board Meeting of: Tuesday, August 13, 2013

- NOTE: 1. Incomplete applications will not be processed.
 2. Applicant and/or architect must be present at meeting.

Application for: A variance to the front lot-line restriction
 Lot size: 145.06 ft x 171.23 ft (lengths of right sides of pie-shaped lot)
 Lot area: 17,872 square feet or 0.4103 acre, more or less
 Frontage: 145.06 ft
 Construction Zone: tbd
 Front setback: 35 ft
 Side setback: 10 ft
 Rear setback: 35 ft
 Coastal Construction: Yes No East of coastal const. control line: Yes _____ No
 State Road A1A frontage: No
 Swimming pool: Yes No Existing: _____ Proposed:
 Fence Type: PVC and chainlink Existing: Proposed: _____
 Finished Floor elevation N.G.V.D.: 7.3
 Seawall: Yes, along entire side of site Existing: Proposed: _____
 Lot Drainage: Area drains and catch basins
 How will rainwater be disposed of on site? A combination of exfiltration trenches and drainage well/s

Adjacent use (s): Residential
 Impervious area: 8,950 sf
 % of impervious area: 50%
 Existing ground floor livable area square footage: None
 Proposed ground floor livable area square footage: 6,500 sf
 Existing 2nd floor livable area square footage: None
 Proposed 2nd floor livable area square footage: 3,745 sf
 Proposed % of 2nd floor over ground floor: 58%
 Vaulted area square footage: 200 sf
 Vaulted height: 24 ft
 Color of main structure: Off-white
 Color of trim: Natural mahogany
 Color & material of roof: Concealed flat roofs behind parapets
 Building height (above finished floor elevation): 37 ft
 Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum): _____

Existing trees in Lot: approximately 20 in Swale: approximately 5
 Proposed trees in Lot: approximately 8 in Swale: approximately 2
 Number & type of shrubs: approximately 15
 Garage Type: Residential Existing: _____ Proposed: 2 car
 Driveway width & type: 23ft, Pervious paving

Signature of Applicant: _____ Date: June 07, 2013

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. Yes; on a regular, rectangular, lot of similar size (17,872 sf) the buildable area would be considerably greater. On this lot, without a variance, the buildable area would be significantly reduced - a quantifiable difference.
4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Yes; as illustrated in the site plan and other drawings included in this submittal, the variances sought help make possible the best use of this piece of land, minimizing impact on the neighborhood.
5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Yes; the variance sought will result in a structure that is consistent with the general intent of the code of ordinances for the town of Golden Beach.

Does the Variance being requested comply with all the above listed criteria?
X Yes _____ No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? X Yes _____ No.
Please attach any written letters of no objection to this petition.
7. Is this request related to new construction? X Yes _____ No
8. Is construction in progress? No.
9. Is this request as a result of a code violation? No.
10. Did this condition exist at the time property was acquired? n/a Yes n/a No
11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No.
12. Do you have a building permit? _____ Yes X No
Building Permit No. n/a Date issued: n/a

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-004-0440 Address: 44 Terracina Ave., Golden Beach, FL

Legal Description: Lot 33, LESS the east 5.00' and all of Lot 34, Block "H", GOLDEN BEACH SECTION "D", according to the plat thereof, as recorded in Plat Book 10, Page 10, of the public records of Dade County, Florida. Said lands situate, lying and being in the Town of Golden Beach, Dade County, Florida, and containing 17,872 square feet or 0.4103 acre, more or less. Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of 08/13/2013 relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

Signature of Owner or Legal Representative

Sworn to and subscribed before me this _____ day of, 20_____

Notary Public State of Florida at Large

_____ Personally know to me _____ Produced Identification

APPLICATION FOR VARIANCE

PROPOSAL

FOR RESIDENCE AT GOLDEN BEACH

44 TERRACINA AVE.
GOLDEN BEACH, FL

For BRAB Hearing scheduled for Tuesday, August 13, 2013

LSS
LEROY STREET STUDIO
ARCHITECTURE, P.C.
113 West 17th
New York, NY 10002
T 212 431 6784
F 212 431 6784
leroystreetstudio.com

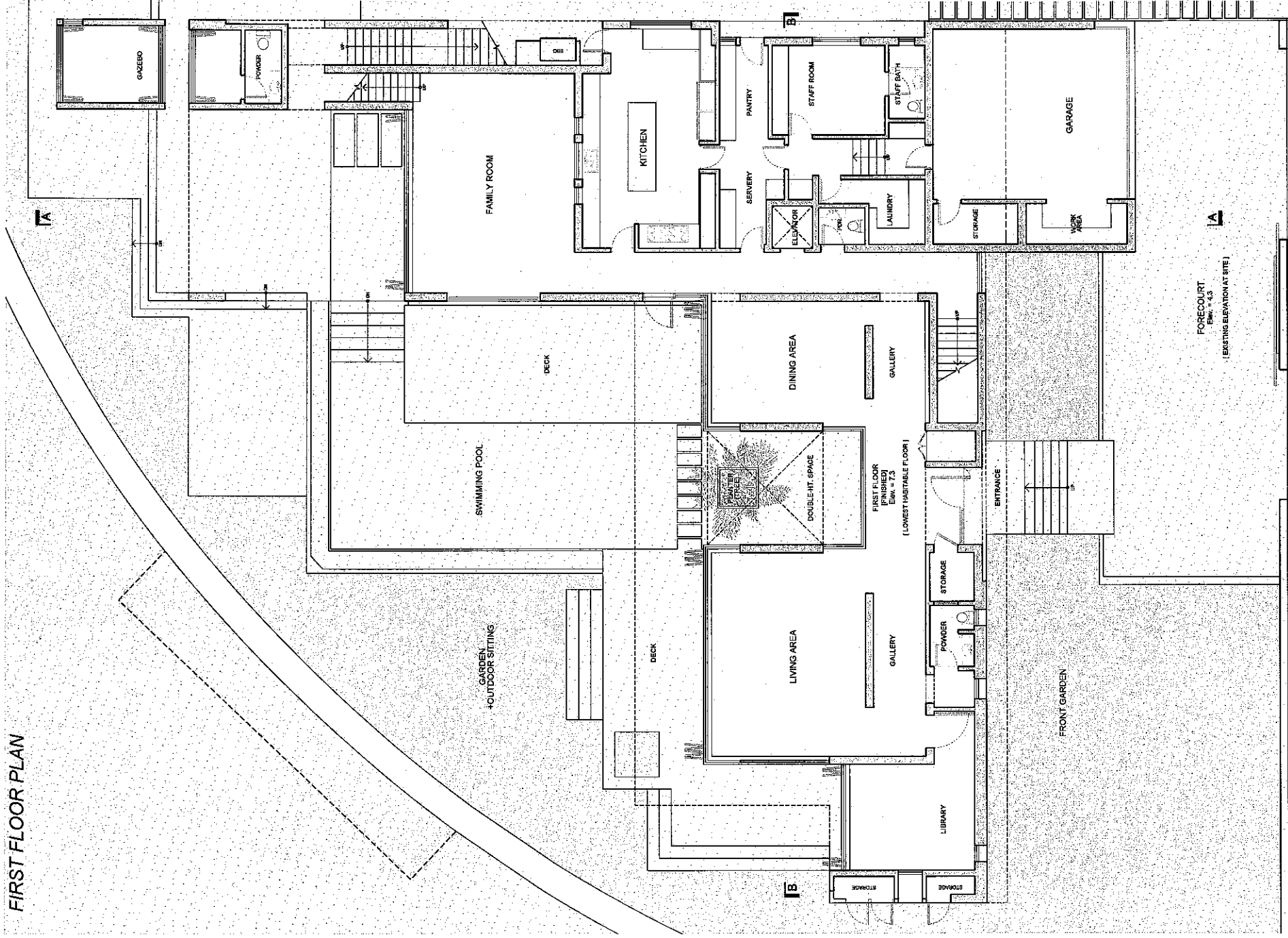
RECEIVED
PLANNING DEPARTMENT
AUG 13 2013

AUG 13 2013

6070 40
6070 40
6070 40

PROPOSED RESIDENCE

FIRST FLOOR PLAN



3/16" = 1'-0" @ FULL SIZE

RESIDENCE
44 Terracina Avenue
Golden Beach, Florida



LEROY STREET STUDIO
ARCHITECTS
44 TERRACINA AVENUE
GOLDEN BEACH, FLORIDA 32147
386.233.1111
www.leroystreetstudio.com

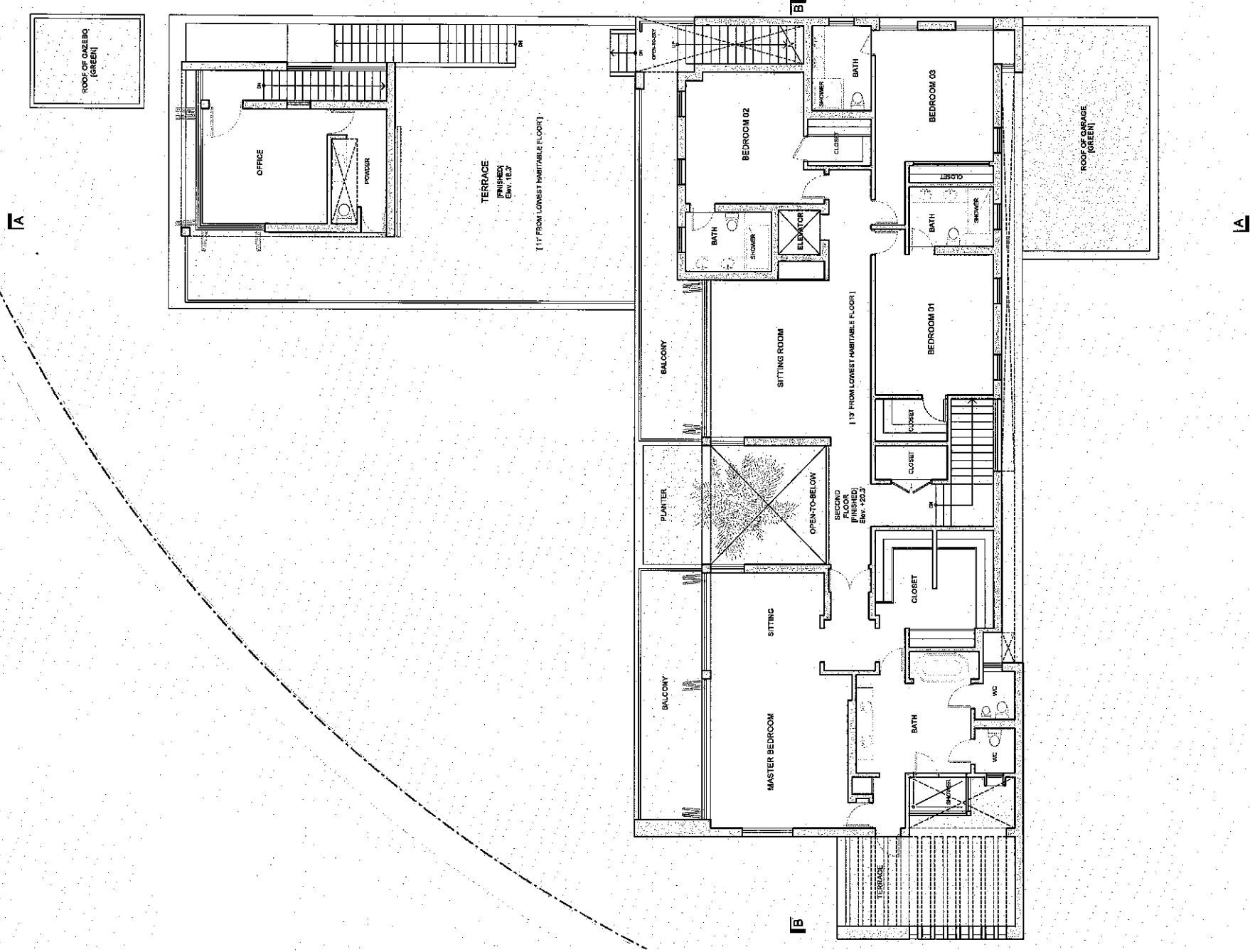
DATE: 08/13/2013
DRAWN BY: [illegible]
CHECKED BY: [illegible]

AUG 13 2013

ARCHITECT
DATE PRINTED
DRAWING NUMBER

PROPOSED RESIDENCE

SECOND FLOOR PLAN



RESIDENCE
44 Terracina Avenue
Golden Beach, Florida

3/16" = 1'-0" @ FULL SIZE



LEROY STREET STUDIO
ARCHITECTURE, P.C.
1000 N. W. 11th St.
Fort Lauderdale, FL 33304
305.555.1111
www.landsstudio.com

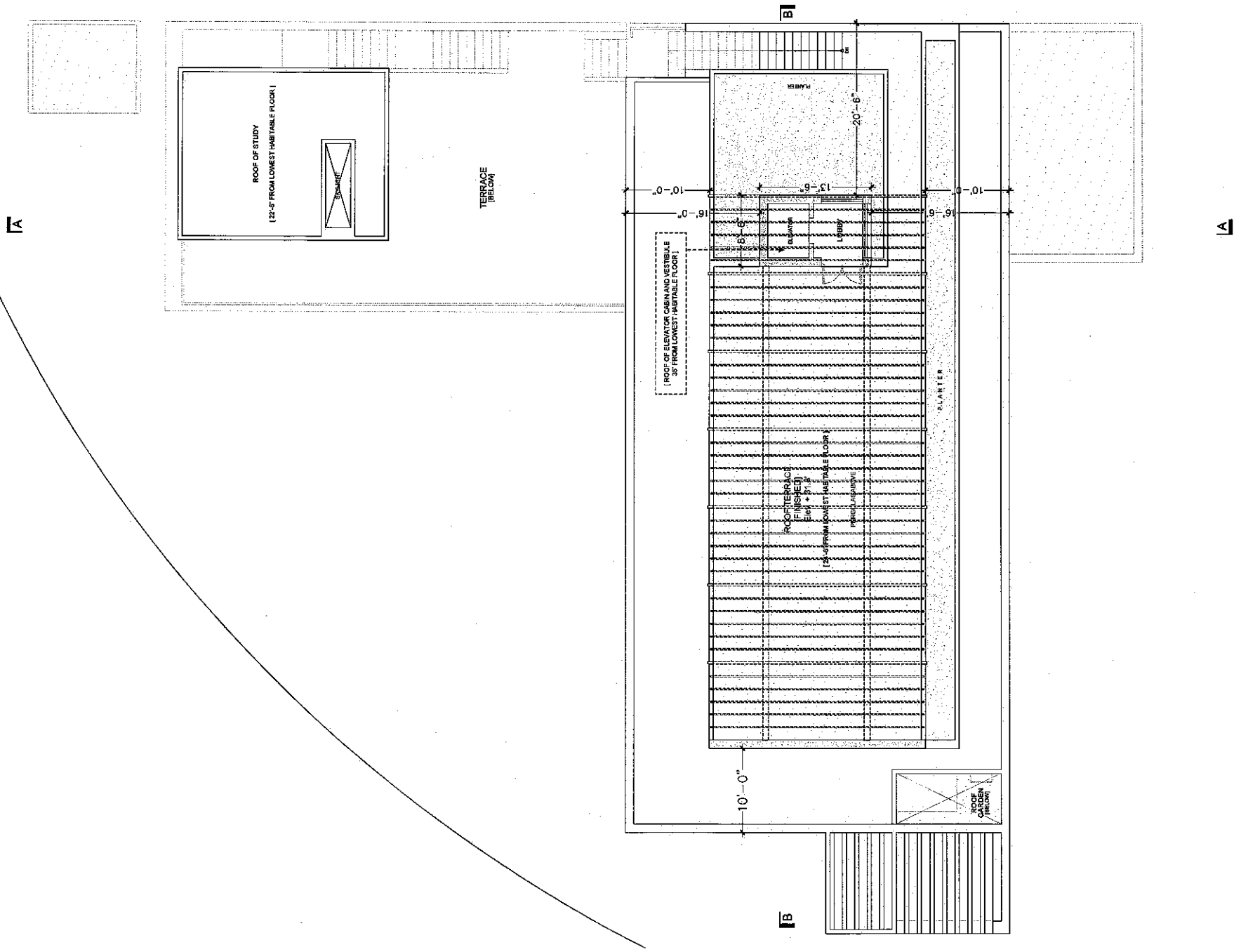
PROJECT NO. 2010-0001
DATE: 08/18/10

AUG 18 2010

ARCHITECT
ENGINEER
LANDSCAPE ARCHITECT

PROPOSED RESIDENCE

THIRD FLOOR [ROOF] PLAN



RESIDENCE
44 Terracina Avenue
Golden Beach, Florida

3/16" = 1'-0" @ FULL SIZE



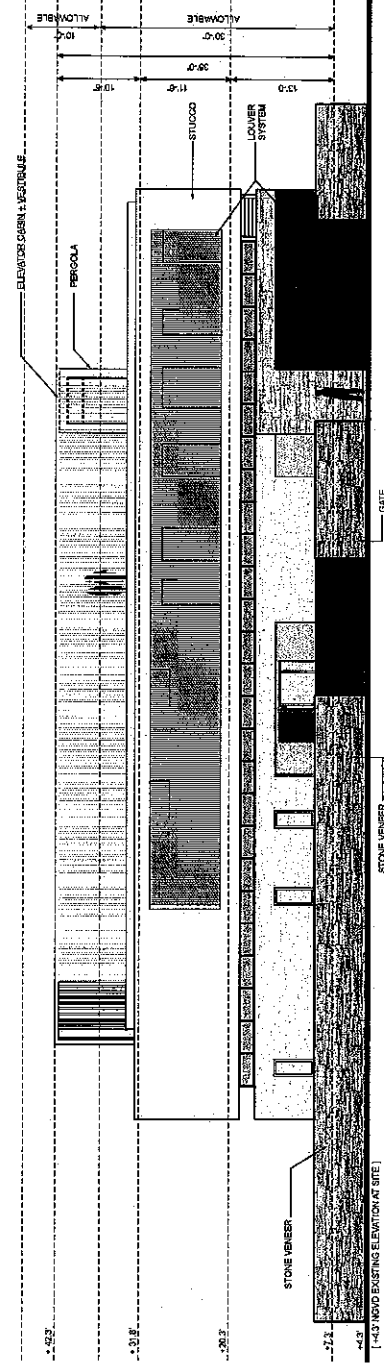
THIRD FLOOR [ROOF] PLAN
AUGUST 16, 2013

AUG 16 2013

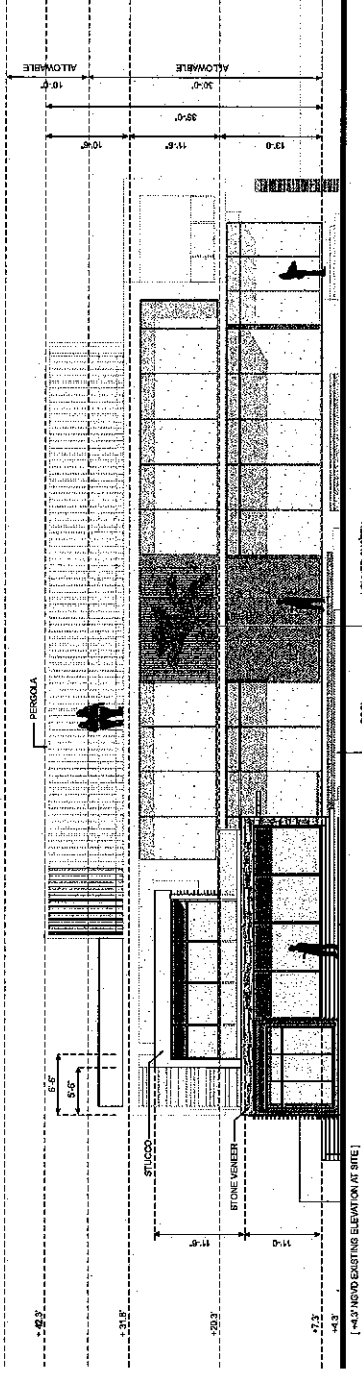
ARCHITECT
DESIGNED
DRAWN

PROPOSED RESIDENCE

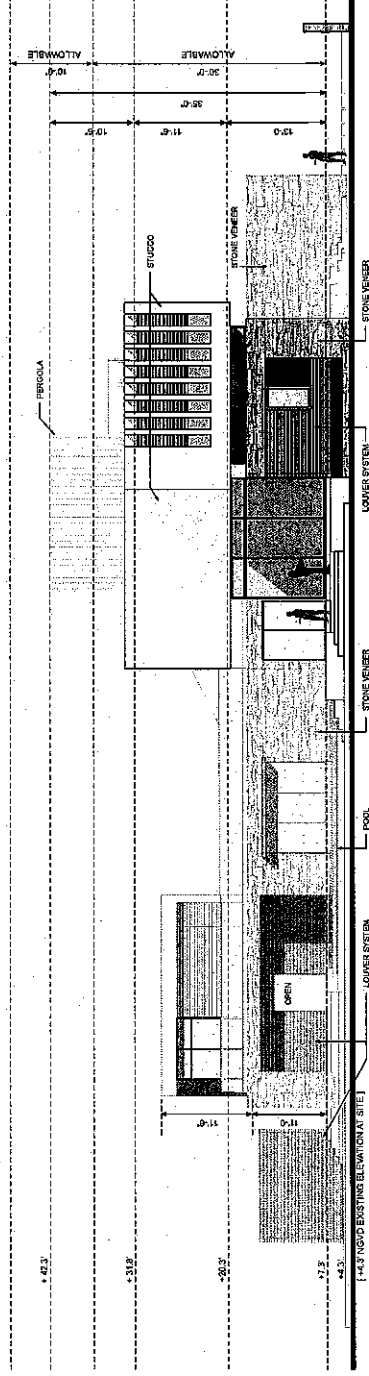
ELEVATIONS & SECTIONS



SOUTH ELEVATION
1/8" = 1' - 0" @ FULL SIZE



NORTH ELEVATION
1/8" = 1' - 0" @ FULL SIZE



WEST ELEVATION
1/8" = 1' - 0" @ FULL SIZE
N.B. ALL VERTICAL DIMENSIONS TO BE READ AND NOT REVERSED

RESIDENCE
44 Terracina Avenue
Golden Beach, Florida



TRINIDAD UNIVERSITY
SCHOOL OF ARCHITECTURE
1000 UNIVERSITY BLVD
ST. AUGUSTINE, FL 32080

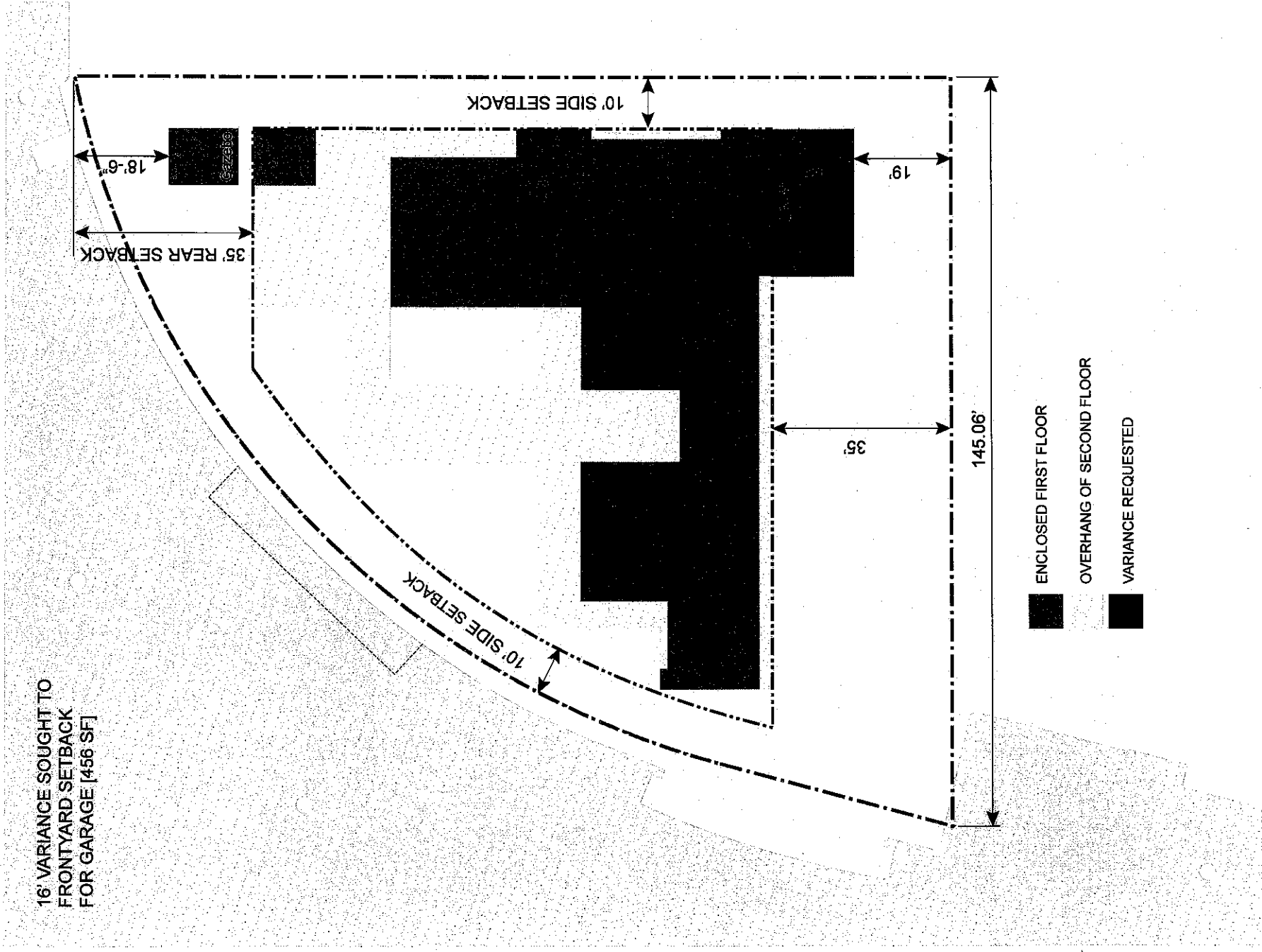
AUG 18 2013

APPROVED
DATE: 8/18/13
SCALE: AS SHOWN

PROPOSED RESIDENCE

VARIANCE SOUGHT TO FRONT LOT LINE RESTRICTIONS

16' VARIANCE SOUGHT TO
FRONTYARD SETBACK
FOR GARAGE [456 SF]



RESIDENCE
44 Terracina Avenue
Golden Beach, Florida

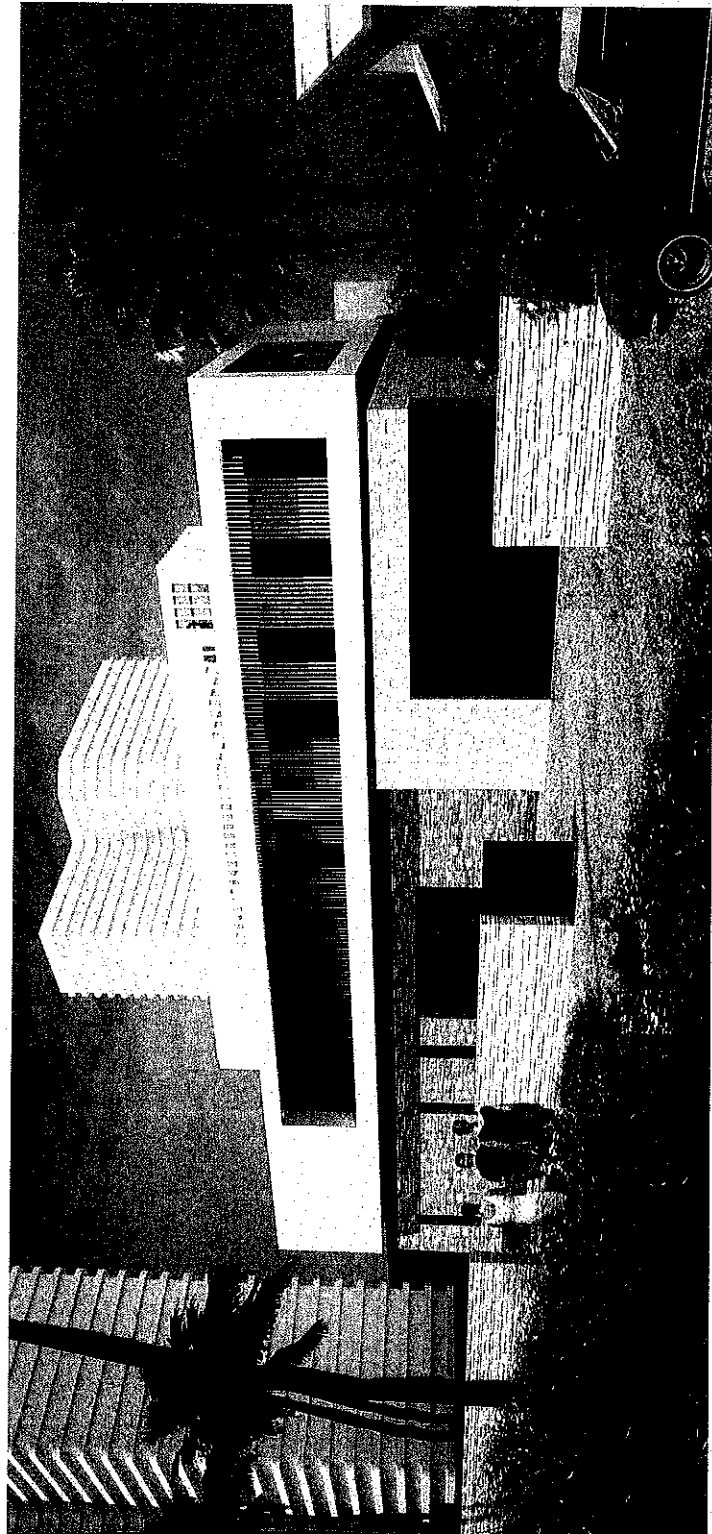
LSS
LEROY STREET STUDIO
ARCHITECTURAL, INC.
10000 W. 11th Ave.
Suite 100
Golden, CO 80401
303.440.1100
www.lssstudio.com

PROJECT NO. 14-0001
DATE: 08/13/14

AUG 13 2014

PROJECT NO.
DRAWING NO.
SCALE 1/8" = 1'-0"

PROPOSED RESIDENCE



ARTIST'S IMPRESSION OF RESIDENCE FROM WESTERN END OF TERRACINA AVENUE



ARTIST'S IMPRESSION OF RESIDENCE FROM FROM INTRACOASTAL WATERWAY

RESIDENCE
44 Terracina Avenue
Golden Beach, Florida

ISS
HENRY STREET STUDIO
ARCHITECTURE P.C.
10000 W. BOULEVARD
SUITE 100
GOLDEN BEACH, FL 32143
386.233.1100
www.issstudio.com

DATE: 08/18/2010
DRAWN BY: [illegible]
SCALE: 1/8" = 1'-0"

AUG 18 2010

REVISIONS
DATE
BY

June 07, 2013

Building Advisory Board
Town of Golden Beach

Re. 44 Terracina Avenue, Golden Beach, FL 33160

Dear Board Members,

We write in enthusiastic support of the Variance application for the above-named property in Golden Beach.

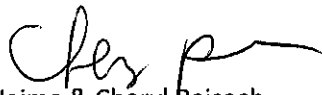
We have reviewed with Daniel & Rosa Levy the drawings and information included in the Variance application submission and feel that the design proposed will be a very admirable addition to the neighborhood, in general, and Terracina Avenue, in particular. The site, located at the very end of the Terracina dead end road, serves as an effective gateway to our beautiful community from the water. Unfortunately, to date, this site's tremendous potential has remained unrealized.

The proposed project reflects the owner's passion for the highest quality design, as they have enlisted the services of an internationally recognized architecture firm, known for their sensitive contextual work, for this project.

The house they propose sits discretely on the site, presenting a sensitive, quiet façade to Terracina, while stepping back and opening a generous courtyard to the water, creating a well-proportioned, elegant massing to our neighborhood's water-side entry. We feel this approach represents the highest ambitions of thoughtful modern design which has become the hallmark of recent projects in Golden Beach.

We would like to express our whole-hearted endorsement of this project and the Variance that has been requested.

Sincerely,



Jaime & Cheryl Peisach
60 Terracina Avenue
Golden Beach. FL 33160

NEIL AND JENNIFER LEFF
48 TERRACINA AVENUE
GOLDEN BEACH, FL. 33160

JAIME & CHERYL PEISACH
60 TERRACINA AVENUE
GOLDEN BEACH, FL. 33160

DAVID AND ELIZABETH LONG
80 TERRACINA AVENUE
GOLDEN BEACH, FL. 33160

544 VISTA LLC
20807 BISCAYNE BLVD., #301
AVENTURA, FL. 33180



TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, Fl. 33160

SUMMARY MINUTES
BUILDING REGULATION ADVISORY BOARD
August 13, 2013 at 6:00pm

- A. CALL MEETING TO ORDER:** 6:00pm
- B. BOARD ATTENDANCE:** Stephanie Halfen, Eric Cohen, Jerome Hollo, Dr. Iglesias and Fred Chouinard
- C. STAFF ATTENDANCE:** Building Official Nieda and Building Director Epperson
- D. APPROVAL OF MINUTES:** July 9, 2013

A motion was made by Fred Chouinard to approve the minutes as submitted, Seconded by Eric Cohen
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye, and Stephanie Halfen-Aye.
Motion passed 5 – 0

E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS

F. VARIANCE REQUEST(S):

- 1. Jonathan Brief
P.O. Box 800008
Aventura, FL. 33160

Property Address: 357 Center Island Dr., Golden Beach, FL. 33160
Folio No: 19-1235-005-0850
Legal Description: Portions of Lots 14 & 15, Blk K, GB Sect. E, PB 8-122

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.
Jonathan Brief owner of the property spoke on his own behalf

Re-construction of a viewing platform.

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Relief from Town Code Section 46-87 Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Relief from Town Code Section 46-85 Height of seawalls and docks and extension of deck of dock.

No seawall and no deck of any dock shall exceed an elevation of five feet above the National Geodetic Vertical Datum (NGVD). Dock decks shall not extend more than six feet behind the seawall and no cover shall be permitted to be erected in connection with any dock. The minimum elevation of the top of any seawall shall be four feet above the NGVD.

Request is to allow the viewing platform (dock) to extend out into the waterway outside the 10' maximum, outside the D5 triangle and to be elevated higher than the 5' N.G.V.D. elevation allowed by the code.

The applicant, Jonathan Brief, withdrew his variance petition to extend the Viewing Platform (dock) farther than the 10' maximum extension allowed by Code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

Viewing Platform – Dock approval motion:

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the viewing platform (dock) to encroach outside the D-5 Triangle, and Seconded by Fred Chouinard

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay

The motion failed with a board vote of 5 – 0

Elevation of Viewing Platform – 5.5' NGVD:

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Eric Cohen to recommend approval to the Town Council to allow the viewing platform (dock) to be constructed at an elevation of 5.5' NGVD, Seconded by Dr. Iglesias

On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye

The motion passed with a board vote of 5 – 0

2. Fernando Extrakt and Vivian Norman
132 South Island Drive
Golden Beach, FL. 33160

Property Address: 132 South Island Drive, Golden Beach, FL.

Folio No: 19-1235-004-0530

Legal Description: Lots 10 & 11, Block J, GB Section D, PB 10-10

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.

Re-construction of a dock

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway outside the 6' maximum required by the code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the dock to extend into the waterway outside the 6' maximum allowed by the code, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Aye, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay

The motion failed with a board vote of 4-1

3 544 Vista LLC
20807 Biscayne Blvd, #301
Aventura, FL. 33180

Property Address: Vacant Lot a/k/a 44 Terracina Ave., GB, FL.
Folio No: 19-1235-004-0440
Legal Description: Lot 33 less E 5 feet & Lot 34, Blk H, GB Sect. D,
PB 10-10

Construction of single-family residence on a vacant lot

Building Official Nieda read his comments into the record
Mark Tartell with Leroy Street Studio NY spoke on behalf of the
applicant

Rosa Levy, applicant, spoke on her own behalf.

Sec. 66-139. - Same—In Zone Three.
or lots in Blocks E, F, G, H, J, K, L, and M, no building or part thereof
including garages shall be erected less than 35 feet from the property
line along the waters of the Intracoastal Waterway and canals and 35
feet from the front property line.

Request is to allow the 28.5' wide garage to project into the front
setback 16' in lieu of the 35' setback required by the Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Eric Cohen to recommend approval to the
Town Council to allow the garage to project 16' into the front setback
where a 35' is required by Code, Seconded by Dr. Iglesias.
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Aye
The motion passed with a board vote of 3 – 2

4. Uri Mareyna
Margie Zonana Blang A
277 Golden Beach Drive
Golden Beach, FL. 33180

Property Address: 277 Golden Beach Dr., Golden Beach, FL.
Folio No: 19-1235-004-0890
Legal Description: Lot 25, & S 20' of Lot 24, Blk 5, GB Sect D,
PB10-10

Addition and remodel to existing residence.

Building Official Nieda read his comments into the record
Martin Litman represented the owners and spoke on their behalf.
Ishac Hardoon, 271 Golden Beach Drive, spoke in opposition
Uzi Hardoon, 535 Golden Beach Drive, spoke in opposition

Relief from Town Code Section. 66-136. - Side line restrictions
between adjoining lots.

(a) For lots or any combination of lots with greater than 50 feet of
frontage; no portion of any building shall be closer than ten feet from
each side property line.

(b) For lots or any combination of lots with greater than 100 feet of
frontage; no portion of any building shall be closer than ten percent of
the width of the frontage of the lot(s), up to a maximum required
setback of 15 feet from each side property line of the site.

Request is to allow a 37 square foot addition to encroach into the
south side property line at 5.42' in lieu of the 10' required by the
Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Dr. Iglesias to recommend approval to the
Town Council to allow the 37 square foot addition to extend into the
south side property line at 5.42' outside the 10' setback required by
the code, Seconded by Eric Cohen.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Nay
The motion failed with a board vote of 5 – 0

G. OLD BUSINESS:

H. NEW BUSINESS

Agenda Item number 7 was moved to item 5

5. Jonas and Judith Mimoun
550 North Island Drive
Golden Beach, Fl. 33160

Property Address: 550 North Island Dr., Golden Beach, FL.
Folio No: 19-1235-006-0875
Legal Description: Lot 12 and SELY ½ of Lot 13, Blk M, GB Sect F,
PN 10-11

Building Official Nieda read his comments into the record

Construction of a new boat dock

Kirk Lofgren, Ocean Consulting, spoke on behalf of the applicant.

A motion was made by Eric Cohen to approve the dock reconstruction at a 4.6' elevation, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

6. Phister Company Inc.
25 SE 2nd Avenue, Suite 1235
Miami, FL. 33131

Property Address: 385 Center Island Drive, Golden Beach, FL.
Folio No: 19-1235-005-0870
Legal Description: All of lots 20 & 21, lot 22 less n 12.5', Blk K, GB Sect E, PB 8-122

Building Official Nieda read his comments into the record
Alfredo Gamara spoke on behalf of the applicant.

Revisions to exterior façade and pool of a residence under construction.

Dr. Iglesias stepped out of the meeting

The Board discussed this item and determined that the information submitted was insufficient to grant an approval. By agreement of the parties in attendance this request will be moved to next month's Agenda of September 10, 2013.

A motion was made by Fred Chouinard to table this item, Seconded by Stephanie Halfen
On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 4 – 0

7. Lior Ben Shmuel
570 North Island Drive
Golden Beach, Fl. 33160

Property Address: 508 North Parkway, Golden Beach, FL.
Folio No: 19-1235-006-0760
Legal Description: Lot 23 and a port of lot 24, Blk F, GB Sect F, PB 10-11

No one was present to speak on this item.

Revisions to pool for residence under construction.

A motion was made by Eric Cohen to table this item, Seconded by Fred Chouinard

On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye

The motion passed with a board vote of 4 – 0

8. Isaac Mizrahi Smeke
560 Ocean Boulevard
Golden Beach, Fl. 33160

Property Address: 560 Ocean Boulevard, Golden Beach, FL.
Folio No: 19-1235-001-0251
Legal Description: Lots 6 – 8, Block 2, GB Sect. A, PB 9-52

Dr. Iglesias returned to the meeting.
Building Official Nieda read his comments into the record.
Mr. Luria, Architect for the applicant spoke on this item.

Remodeling to exterior façade.

A motion was made by Eric Cohen to approve this request which includes the following items: changing concrete railings to glass railings, redesign of the front archway openings and garage door openings to square, and the exterior paint color to be in accordance with the Town's Ordinance for exterior painting and approved by Building Official Nieda, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

I ITEMS FOR DISCUSSION AND BOARD APPROVAL

J. ADJOURNMENT 7:45pm

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

8

Subject: Resolution No. 2309.13 – Variance Request for 277 Golden Beach Dr.,
Golden Beach, FL 33160 (Side Yard Setback Encroachment)

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2309.13.

Background and History:

Relief from Town Code Section. 66-136. - Side line restrictions between adjoining lots.

(a) For lots or any combination of lots with greater than 50 feet of frontage; no portion of any building shall be closer than ten feet from each side property line.

(b) For lots or any combination of lots with greater than 100 feet of frontage; no portion of any building shall be closer than ten percent of the width of the frontage of the lot(s), up to a maximum required setback of 15 feet from each side property line of the site.

The applicant is requesting that an addition of 37 square feet be allowed to encroach 5.42' into the south side property line when the Town code requires 10'.

The Building Regulation Advisory Board met August 13, 2013 and recommended approval of the variance, the motion failed with a Board vote of 5 – 0

Ishac Hardoon, 271 Golden Beach Drive, spoke in opposition to this item

Uzi Hardoon, 535 Golden Beach Drive, spoke in opposition to this item.

Alene Fishbein, 256 Golden Beach Drive, wrote a letter in opposition to this item.

Attachments:

- Resolution
- Building Official Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact:

None

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2309.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED at 277 GOLDEN BEACH DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT A 37 SQ. FT ADDITION TO ENCROACH INTO THE SIDE YARD SETBACK AT 5.42' WHEREAS 10' IS REQUIRED BY THE TOWN'S CODE. E

WHEREAS, the applicants, Uri Mareyna and Margie Zonana Blang, (“the applicants”), filed a Petition for a Variance/exception, Division 4 – Setback and Lot Line Restrictions:: Section 136 – Side line restrictions between adjoining lots, allowing the a 37 square foot addition to extend into the side yard setback 5.42, in lieu of the Town Code requirement of a 10’, at 277 Golden Beach Drive, Golden Beach, Florida 33160 (Golden Beach Section “D”, Lot 25 and the S 10 feet of Lot 24, Block 5, as recorded in PB 10-10, of the Public Records of Miami-Dade County, (Folio No. 19-1235-004-0890 (the “Property”) and ;

WHEREAS, the Town’s Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended disapproval of the variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE
TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:**

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and
- (2) Construction shall be completed substantially in accordance with those certain drawings, G-1.0, S-1.0, A-1.0 through a-4.0 and R-1.0, un-dated, by Oswaldo Marrero, Architect, Toma Design Group, Inc. and the Sketch of Survey, by R. Minguell, Inc., dated 03/28/2013, for the property located at 277 Golden Beach Drive, Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____,
seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Bernard Einstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day August, 2013

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK


APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

305 466 4077
2 PAGES

Town of Golden Beach
MEMORANDUM

To: Building Regulation Advisory Board
From: Daniel B. Nieda, R.A; Building Official
Date: August 13, 2013
Re: Variance Petition for Mareyna Residence
277 Golden Beach Drive



Background:

The applicant has submitted for review plans for a variance petition in connection with an addition to an existing home at 277 Golden Beach Drive in the Zone 3 Single Family Residential District. The applicant seeks relief from Sections 66-136 from side yard setback requirements. The proposed 267 square foot addition also includes a front facade renovation on an existing grandfathered site with 10,497 square feet and frontage of 70 feet. Design Development documents consists drawings G-1.0 through R-1.0, prepared by Oswald Marrero, Architect, dated July 15, 2013.

Side Yard Variance Petition

Section 66-41 of the Code of Ordinances requires that seven conditions be met to demonstrate an undue hardship. In recommending the granting of a variance the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with the Town of Golden Beach's Code. In reviewing the Variance petition the Board shall confirm the findings of the Building Official as follows:

1. Yes, the petition constitutes a variance, since the applicant has requested to add 37 square feet encroaching 5.42 feet into the south side yard setback, where Section 66-136 requires a setback of 10 feet. The side yard setbacks of the existing residence are non-conforming grandfathered conditions of 4.58 and 5.5 feet. The applicant seeks to extend the existing south side setback of 4.58 feet by 6.75 feet in length as part of a bedroom addition.
2. Yes, the land is peculiar in nature as the lot is grandfathered with 10,497 square feet and frontage of 70 feet, where 11,250 square feet and 75 foot frontage is considered a minimum buildable lot.
3. Yes, the variance petition results from special conditions and circumstances, related to the existing non-conforming side yard setback the applicant wishes to extend.
4. Yes, granting of this variance would not confer upon the applicant a special privilege. An approval of this variance would allow existing non-conforming setbacks to remain on lots with similar conditions.
5. Yes, the literal interpretation of the provision of the Zoning Code would deprive the applicant the rights commonly enjoyed by other properties with compatible non-conforming side yard setbacks on lots in the same Zone 3 Residential District.

6. Yes, the rejection of this variance petition would deprive the applicant of reasonable use of his land, as the bedroom expansion would not be feasible.
7. Yes, the granting of the variance would not be injurious to the area or detrimental to the public welfare, as the existing side yard setback is already non-conforming and the applicant's request is a minimal additional encroachment of 37 square feet in the proposed design that will not pose a negative impact to adjacent properties.

In conclusion, the variance petition seeking relief from required side yard setback, per Section 66-136 of the Code seem to rise to the standard required for granting of a variance. The Board needs to determine if a negative recommendation of this a variance petition deprives the applicant of reasonable use of his land.

Alternately, it must be determined if the other stipulated conditions may be imposed where the variance petition may be favorably considered in accordance with the standards required by Section 66-41 of the Code.



TOWN OF GOLDEN BEACH Notice of Public Hearing

The **Building Regulation Board** and the **Town Council** of the Town of Golden Beach will hold a Public hearing on the following proposal:

 X Variance Request(s)
 X Addition to Existing Residential Structure

Addition to an existing single-family residence.

Relief from Town Code Section. 66-136. - Side line restrictions between adjoining lots.

(a)
For lots or any combination of lots with greater than 50 feet of frontage; no portion of any building shall be closer than ten feet from each side property line.

(b)
For lots or any combination of lots with greater than 100 feet of frontage; no portion of any building shall be closer than ten percent of the width of the frontage of the lot(s), up to a maximum required setback of 15 feet from each side property line of the site.

Request is to allow a 37 square foot addition to encroach into the south side property line at 5.42' in lieu of the 10' required by the Town's code.

JOB ADDRESS: 277 Golden Beach Drive, Golden Beach, FL. 33160
OWNER ADDRESS: 277 Golden Beach Drive, Golden Beach, FL. 33160
REQUESTED BY: Uri Mareyna and Margie Zonana Blanga
LEGAL DESCRIPTION: Lot 25 and S. 20' of Lot 24, Block 5, GB Sect. D, PB 10-10
FOLIO NO.: 19-1235-004-0890

The **BUILDING ADVISORY BOARD** will consider this item:

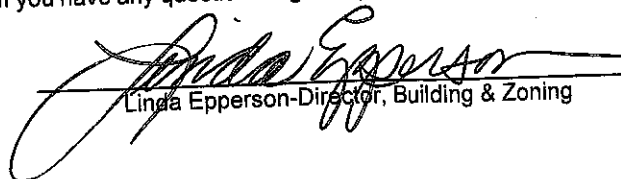
PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL
DATE: August 13, 2013 at 6:00pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
August 20, 2013 at 7:00pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: August 1, 2013


Linda Epperson-Director, Building & Zoning

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305)932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

**TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING**

Property Location: 277 Golden Beach Dr. Meeting Date: 8-13-17
Variance Hearing Dates: Advisory Board _____ Town Council _____

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Applicant: File application and submit ~~8 complete packages, shall consist of an application, survey and drawings~~ (7 sets; 8.5" x 14", and 1 full size set). For a zoning variance, ~~16 complete packages consisting of an application, survey and drawings~~ are required, (15 sets 8.5" x 14" and 1 full size set.) as directed by the Building Official or Building Director.

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days prior to scheduled meeting, (not including the day of the meeting), by 2:00 P.M. that day to allow for preliminary review and public notice in order to be heard.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the regularly scheduled Town Council meeting.

Please see page 5 for required documents.

*****NOTICE*****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date and time.
2. The Building Official and/ or the Building Director will review the application package. If it is determined that the application is incomplete, the item will tabled and not placed on the Agenda for that month.
3. During the three (3) week period from deadline date to hearing date, the following events shall take place in proper order:
 - a. During the first week of submittal, the Building Official, or agent will endeavor to review the application, and complete a comment sheet 15 days prior to the meeting. The critique sheet will specify all deficiencies for correction.
 - b. The critique sheet will be faxed, or mailed, to the applicant as soon as the review is completed.
 - c. If the deficiencies are substantial the application will be moved to the next scheduled meeting/hearing of the B.R.A.B.
 - d. If the deficiencies are minor, the applicant must submit the corrections including the revised paperwork within 5 days of the scheduled meeting/hearing. Corrections not received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package will be given to the processor and one copy shall be delivered to each Board member. The Building Dept shall retain all originals for the records.
6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
7. After the meeting, three (3) copies of the approved items (full size) shall be retained by the building department, and (2) reduced size sets shall be obtained by the applicant for inclusion into the building permit package.

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>
1. Residence (new construction)..... (must include complete landscape plan)	\$300.00
2. Addition/Remodel of existing structure..... (must include landscape plan)	\$300.00
3. Alteration to existing residence..... (fencing, site walls, driveways, etc.)	\$150.00
4. Accessory Building.....	\$150.00
5. Swimming pools.....	\$100.00
6. Pool deck.....	\$100.00
7. Docks.....	\$100.00
8. Boat Lifts.....	\$100.00
9. Carports, awnings.....	\$100.00
10. Landscape plan revision.....	\$ 50.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception. (Includes \$122.00 for certified, return receipt and regular mailings costs)	\$372.00
b. Per additional variance/exception, when requested at same time as first one...	\$150.00
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, per each Section to be verified.....	\$100.00

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of \$200.00

b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of \$200.00

c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of \$500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the seconded time period \$250.00

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
	<p>If a zoning variance is applied for, the petition for variance shall be submitted with the application and shall include:</p> <ul style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
	<p>Eight (8) property surveys, building plans, and applications (1 original, 7 copies). Survey not older than six (6) months. Completed sets are to be submitted as follows: Seven (7) copies no larger than 8.5" x 14 & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies no larger than 8.5" x 14 and 1 original at full size). Each completed package shall consist of 1 each of an application, survey, and building plans.</p>	
	<p>Conceptual construction drawings prepared and signed by a design professional that shall include, at a minimum, the following:</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Independent from the Site Plan, provide a proposed Landscaping Plan for new construction. For existing structures, submit existing Landscaping Plan and proposed improvements, if any. <input checked="" type="checkbox"/> c. Proposed Floor Plan views, at a scale not less than 1/4" = 1'-0" <input checked="" type="checkbox"/> d. Cross and longitudinal sections preferably through vaulted areas, if any. <input checked="" type="checkbox"/> e. Typical exterior wall cross section. <input checked="" type="checkbox"/> f. Full elevations showing roof ridge height and any other higher projections. g. Sample board of construction materials to be used. <input checked="" type="checkbox"/> h. Existing and proposed ground floor elevations (NGVD). i. Grading & Drainage Calculations 	
	<p>Green area calculation with on a Site Plan marking the geometrical areas used to calculate the pervious areas.</p>	
	<p>First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.</p>	
	<p>Colored rendering showing new or proposed addition work. And sample pallet of materials to be used.</p>	
	<p>Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.</p>	
	<p>Site plan detailing construction site personnel parking.</p>	

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: _____

Request hearing in reference to: _____

New residence/addition: _____ Variance(s): _____
Exterior alterations: _____ Other Structure: _____
Date application filed: _____ For hearing date: _____

1. Project information:
Project description: 277 Golden Beach Dr. Addition - Variance.
Legal Description: Lot 25 and the south 20 feet of lot 24.
Block 5 of G-Beach section D. Plat Book 10
Folio #: _____
Address of Property: 277 Golden Beach Dr.

2. Is a variance(s) required: Yes No _____ How Many? 1
(If yes, please submit variance application form for each request).

Owner's Name: _____ Phone 786-223-7614 Fax 305 466 4077
Owner's address: 277 G-Beach Dr. City/State G-Beach, FL Zip 33160
Agent: Martin Litman Phone 305 401 2223 Fax 305 466 4077
Agent's address: 20900 NE 30th Ave #405 City/State Aventura, FL Zip 33180
Architect: Oskald Marrero Phone 305 401 2223 Fax _____
Contractor: _____ Phone _____ Fax _____

3. Describe project and/ or reason for request of hearing: Exterior front facade change (Remodel / Addition)

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual: _____ Preliminary: _____ Final:
Other: _____

5. Estimated cost of work: \$ 60,000
Estimated market value of: Land \$ 525,329.00
Building \$ 307,677.00

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

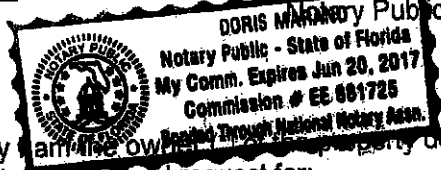
- 6. Is hearing being requested as a result of a Notice of Violation? NO
- 7. Are there any structures on the property that will be demolished? NO
- 8. Does legal description conform to plat? _____
- 9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): [Signature] URI MAREYNA KERSTENOVICH

Acknowledged before me this 7/15 day of, 20 13

Type of identification: FLORIDA DRIVERS LICENSE [Signature]

Owner/Power of Attorney Affidavit:



I, being duly sworn, depose and say I am the owner of the property described in this application and that I am aware of the nature and request for: _____

_____ relative to my property and I am hereby authorizing MARTIN LITMAN to be my legal representative before the Building Regulation Advisory Board and Town Council.

[Signature]
Signature of owner(s) URI MAREYNA KERSTENOVICH

Acknowledged before me this 15 day July 20 13

Type of identification: Florida Driver's License [Signature]
Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application.



TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 277 Golden Beach Dr.
Legal Description: Lot 25 - South of 6724 - 20' - Block 5 - Section D
Owner's Name: Uri Mareyha Phone 786-223-7614 Fax 305-466-4077
Agent's Name: Martin Litman Phone 305-401-2223 Fax 305-466-4077
Board Meeting of: _____

- NOTE: 1. Incomplete applications will not be processed.
2. Applicant and/or architect must be present at meeting.

Application for: Exterior front facade renovation
Lot size: 10500 SQ FT
Lot area: 70' x 150'
Frontage: 70' feet
Construction Zone: _____
Front setback: EXISTING: 34.56 feet
Side setback: EXISTING: 4.60 feet
Rear setback: EXISTING: 42.60 feet
Coastal Construction: Yes _____ No East of coastal const. control line: Yes _____ No _____
State Road A1A frontage: _____
Swimming pool: Yes _____ No _____ Existing: _____ Proposed: _____
Fence Type: _____ Existing: _____ Proposed: _____
Finished Floor elevation N.G.V.D.: _____
Seawall: NO Existing: _____ Proposed: _____
Lot Drainage: _____
How will rainwater be disposed of on site? _____

Adjacent use (s): _____
Impervious area: _____
% of impervious area: _____
Existing ground floor livable area square footage: 2443 SQ. FT.
Proposed ground floor livable area square footage: 2710 SQ. FT.
Existing 2nd floor livable area square footage: X
Proposed 2nd floor livable area square footage: X
Proposed % of 2nd floor over ground floor: X
Vaulted area square footage: _____
Vaulted height: _____
Color of main structure: White
Color of trim: White
Color & material of roof: tile barrel roof Grey color
Building height (above finished floor elevation): EXISTING
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum): _____

Existing trees in Lot: _____ in Swale: _____
Proposed trees in Lot: _____ in Swale: _____
Number & type of shrubs: _____
Garage Type: _____ Existing: _____ Proposed: _____
Driveway width & type: _____

Signature of Applicant: _____ Date: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: _____

Fee: _____

I, Uri Mareyua hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 277 Golden Beach Dr. Folio No. 19-1235-004-0890

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (list section number(s) of the Town of Golden Beach Code of Ordinances): Side property line
SECTION 66-136 (A)
2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):
 - a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Yes, this request is considered a variance due to proposed new addition in right side of property encroaching due to existing non conforming side setback.
 - b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. There exists a peculiar pre-condition, which is that the existing side setback is non conforming. for the addition, and since it is a small area, we are requesting to extend the addition following this non-conforming pre-existing condition setback on the right side only.
 - c. The special conditions and circumstances do not result from the actions of the applicant. NO, The special conditions are pre-existing, the non-conforming existing setbacks which would rule over addition.
 - d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. Correct, this is understood and would only be in effect of property address 277 G. Beach Dr.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. There is an existing encroaching side setback that is non-conforming that actually forces the design to continue as per the existing side wall to continue.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Yes, without the granted variance the proposed addition/space would not be possible.

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. NO, of course will not be injurious and will comply and be of harmony to the town of Golden Beach and to the existing residence.

Does the Variance being requested comply with all the above listed criteria?
 Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No.
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? Yes No

8. Is construction in progress? NO

9. Is this request as a result of a code violation? NO

10. Did this condition exist at the time property was acquired? Yes No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? NO

12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):


Folio No.: 19-1235-004-0890 Address: 277 Golden Beach Dr.

Legal Description: Lot 25 and 20' South of Lot 24 - Block 5 of Golden Beach, Section D - Plat Book 10

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of _____ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.


Signature of Owner or Legal Representative
URT MAREYNA KERSHENDOVICH

Sworn to and subscribed before me this 15 day of July, 2013




Notary Public State of Florida at Large

 Personally know to me

Produced Identification Florida driver license

11-00000. Alene Fishbein, owner
256 Garden Beach Dr.
Garden Beach, Florida

33160

ENR 101
At 6/13/2013
8/13/2013

August 8, 2013

To Whom It May Concern:

Re: Request for variance for 277
Garden Beach Drive. Request is to
allow encroachment of 5.42' in lieu
of 10' required by code of Garden Beach.

Laws and codes are made for valid
reason(s). That is how government works.
We either abide by them or choose to
set them aside for what is felt to be
a valid reason.

The home owners of 277 Garden Beach
Drive bought the home because they
liked it. If it were not adequate,
it should not have been purchased by
them.

I am AGAINST any variance request
that the owners of 277 Garden Beach
Drive request. I see no ^{valid} reason for
it. It is not a hardship.
Hopefully, they will be happy with
their home as is.

Codes were carefully scrutinized. The
need to follow them as written.
Alene Fishbein

LOT 23

Book 23850, Page 2899 (MOCR)

LOT 24

Book 23850, Page 2899 (MOCR)

LOT 26

Book 18460, Page 4516 (MOCR)

199 GOLDEN BEACH DRIVE, GOLDEN BEACH, FL ZONING & BUILDING DATA			
ZONING DESIGNATION: Zone R			
ZONING DISTRICT: SF - Single Family Residential District			
GROSS LOT AREA: 10,487 s.f.			
RETRACTS:	Existing	Required	Proposed
	Front	34'-2"	34'-2"
	Side	4'-2"	4'-2"
Back	42'-0"	38'-0"	42'-0"
BUILDING HEIGHT:	Existing	Max. Allowed	Proposed
	18'-0"	27'-0"	18'-0"

Revisions		
No.	Date	Description

OSWALD, MARRERO
ARCHITECT
P.A. F.L.A.C.
REG. # AR000962

SEAL: AR000962

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TO THE BEST OF MY KNOWLEDGE THE
PLANS AND APPLICABLE SPECIFICATIONS
COMPLY WITH THE MINIMUM BUILDING
CODES AND THE APPLICABLE FIRE-SAFETY
STANDARDS AS DETERMINED BY THE
LOCAL AGENCY IN ACCORDANCE WITH
THIS SECTION AND 633 FLORIDA
STATUTES, CHAPTER 1, 105.13, 1.4 OF
(FLORIDA BUILDING CODE 2001)

URI MAREYNA RESIDENCE
277 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL

SITE PLAN

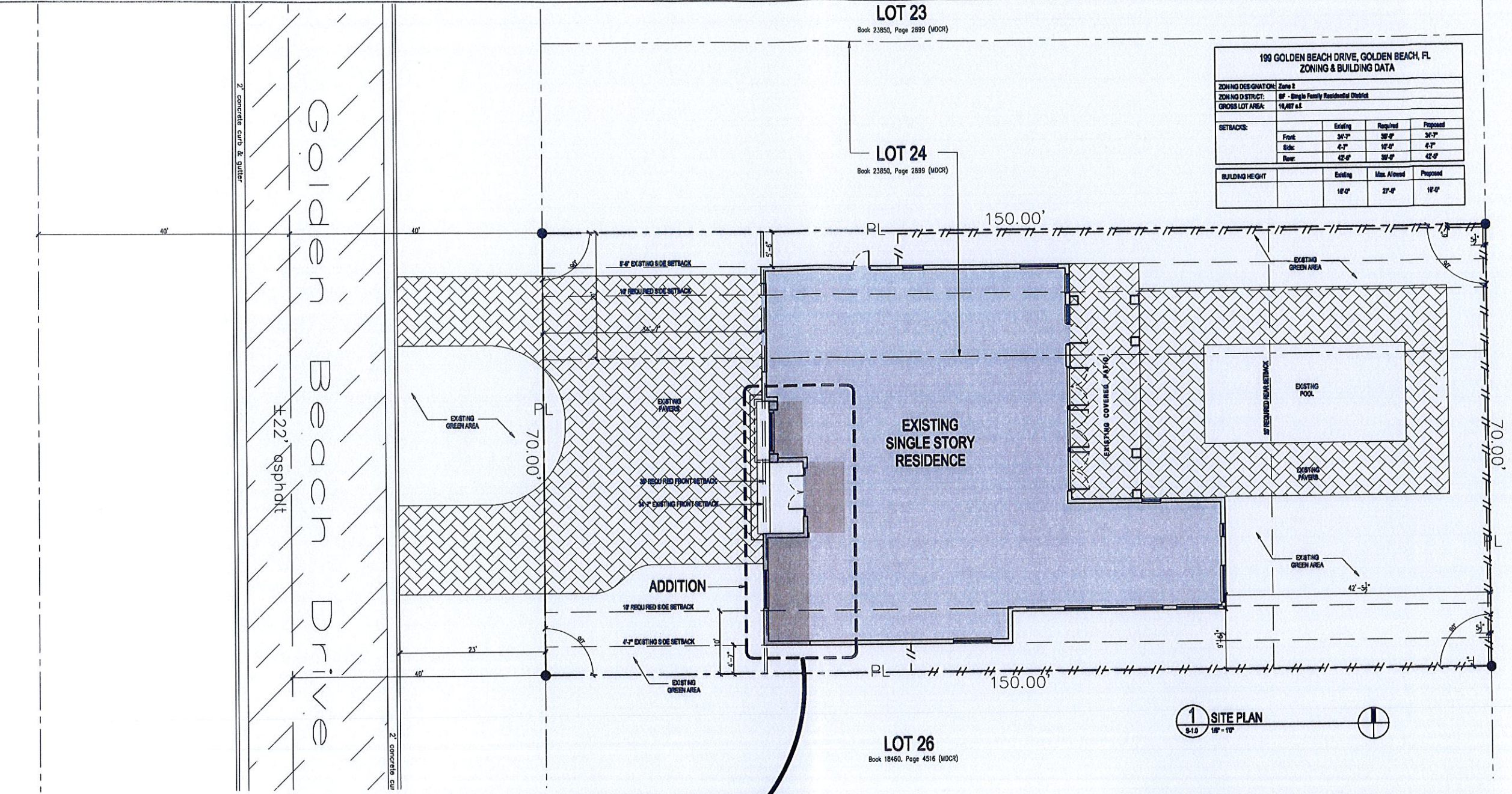
TOMA DESIGN GROUP
INC.

10101 10th Ave
27000 45th Ave

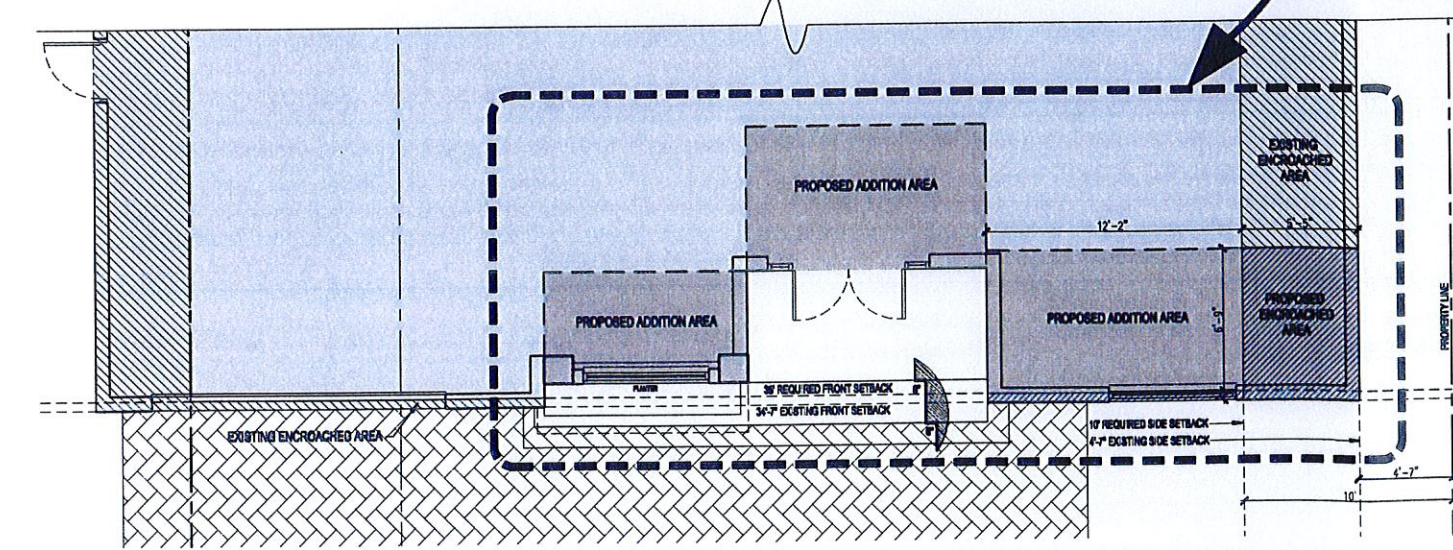
Golden, FL 32143

Date: 07-18-2013
Drawn by: M.T.
Checked by: M.L.
Scale: AS SHOWN

Sheet #
S-1.0
C&D:



1 SITE PLAN
S-1.0
1/4" = 10'



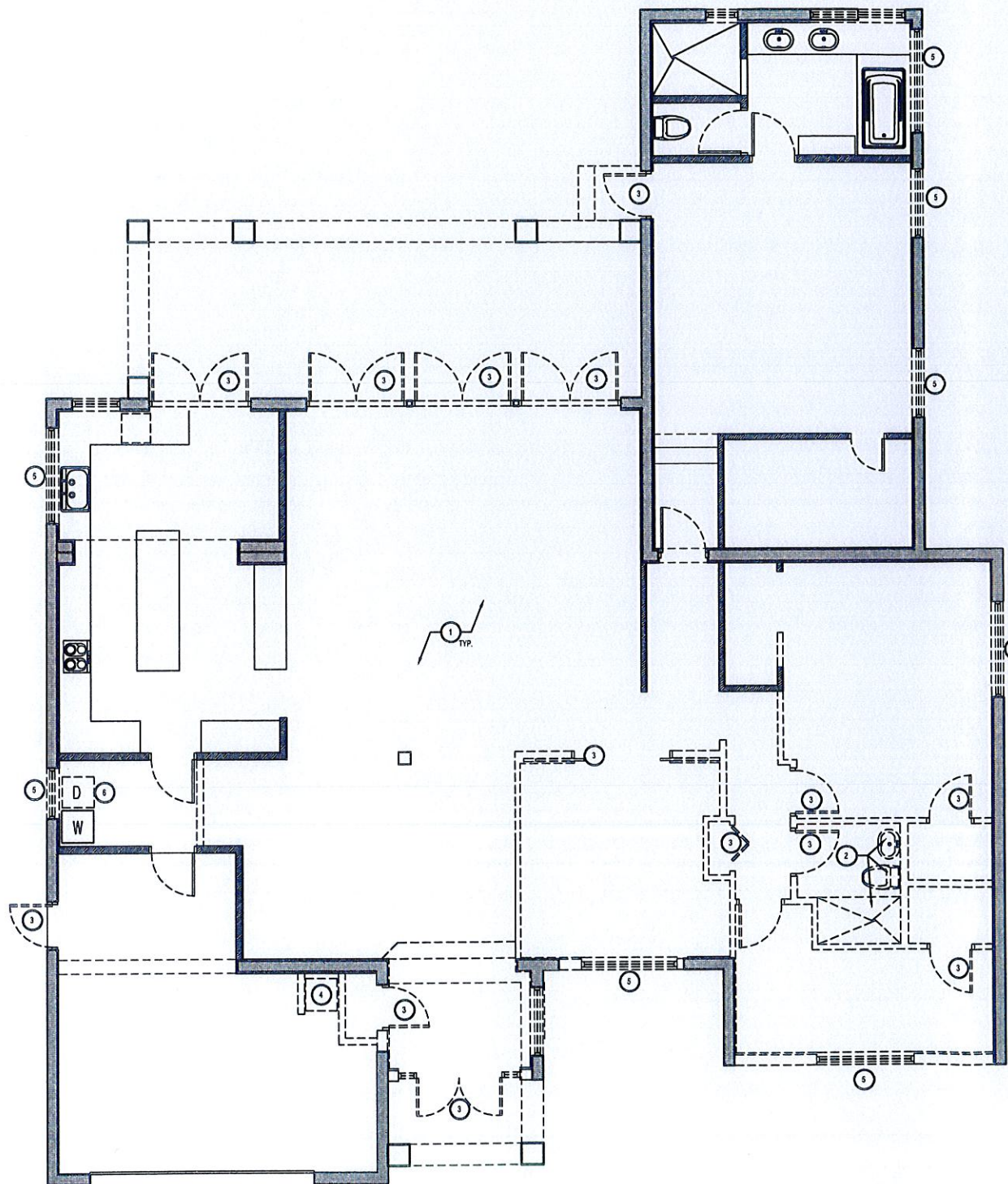
3 PARTIAL SITE PLAN
S-1.0
1/4" = 10'

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE
AUG 13 2013





APPROVED
DISAPPROVED
VARIANCE REQ.:



2 LOCATION MAP
S-1.0
N.T.S.



SYMBOL LEGEND

	DEVOTES EXISTING CMU WALL TO REMAIN
	DEVOTES EXISTING INTERIOR PARTITION TO REMAIN
	DEVOTES EXISTING INTERIOR PARTITION TO BE REMOVED
	KEYNOTE

DEMOLITION KEY NOTES

1	EXISTING FLOOR FINISH TO BE REMOVED IN ITS ENTIRETY.
2	EXISTING PLUMBING FIXTURES TO BE REMOVED, CAP ALL CONNECTIONS AS REQUIRED TO COMPLY WITH F.B.C.
3	EXISTING DOOR AND FRAME TO BE REMOVED.
4	EXISTING AC HANDLER UNIT TO BE RELOCATED.
5	EXISTING WINDOW TO BE REMOVED.
6	EXISTING DRYER LOCATION TO BE RELOCATED

NOTES:

- ALL ARCHITECTURAL FEATURES ARE EXISTING TO REMAIN AS THEY ARE UNLESS OTHERWISE NOTED.

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE PROCEEDING WITH WORK. NOTIFY ARCHITECT IF DISCREPANCIES ARE OBSERVED.
- DO NOT SCALE DRAWINGS.
- ALL CHANGES TO THE DRAWINGS MUST BE APPROVED IN WRITING BY THE ARCHITECT.
- PATCH AND REPAIR AS REQUIRED ALL EXISTING WORK AFFECTED BY DEMOLITIONS.
- CAP ALL UTILITIES AS REQUIRED WHERE REMOVING OR DEMOLISHING FIXTURES AND OTHER CONNECTED UNITS AND PREPARE THE AREA TO RECEIVE NEW WORK.
- PATCH AND REPAIR ALL SURFACES AFFECTED BY MECHANICAL, PLUMBING OR ELECTRICAL ALTERATIONS.
- ALL WORK NOT NOTED AS EXISTING OR OTHERWISE INDICATED AS EXISTING SHALL BE CONSIDERED NEW WORK. ALL WORK ADJACENT TO EXISTING SURFACES SHALL RESTORE OR REPLACE EXISTING FINISHES TO ORIGINAL CONDITIONS.
- ANY SALVAGE RESULTING FROM CLEARING, GRUBBING, GRADING, DRAINING, REMODELING OR ALTERING ANY EXISTING FACILITIES ON THIS SITE SHALL BE THE PROPERTY OF THE OWNER AND THIS MATERIAL SHALL BE STACKED IN THE SITE IF THE OWNER DESIRES THIS MATERIAL.
- THE CONTRACTOR SHALL MAKE PROPER NOTICE, MAKE ALL NECESSARY ARRANGEMENTS AND PERFORM ALL OTHER SERVICES REQUIRED FOR THE PROTECTION, CARE, AND MAINTENANCE OF ALL PUBLIC UTILITIES AND ALL OTHER ITEMS OF THIS CHARACTER ON OR AROUND THE SITE.
- THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL AND RUBBISH AND, AT THE COMPLETION OF WORK HE SHALL REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS AND SURPLUS MATERIALS AND LEAVE THE BUILDING BROOM CLEAN.
- THE CONTRACTOR SHALL CAREFULLY PROTECT ALL TREES, SHRUBS, HEDGES, NOT SPECIFIED AS BEING REMOVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCIDENTAL TO PATCHING UP ALL CUTS, OPENINGS, DAMAGED AREAS, ETC. THAT OCCUR AS A RESULT OF WORK UNDER THIS CONTRACT. ALL PATCHING SHALL CONFORM TO THE ADJOINING WORK, MATCHING THE FINISH AND QUALITY OF WORKMANSHIP AND MATERIALS.
- DISCONNECT ALL ELECTRICAL OUTLET BOXES AND SWITCHES IN DEMOLISHED AREAS TO NEAREST JUNCTION BOX NOT AFFECTED BY DEMOLITION.

TOWN OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE
AUG 13 2013
APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

Revisions

No.	Date	Description

OSWALD MARRERO
ARCHITECT
P.L.L.C.
REG. / ARCH01862

SEAL: ARCH01862

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TO THE BEST OF MY KNOWLEDGE THE PLAN AND SPECIFICATIONS SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY CODES AS ENFORCED BY THE LOCAL AUTHORITY. IT IS ACCORDANCE WITH THIS SECTION AND 63A FLORIDA STATUTES CHAPTER 110, 110A, 110.4 OF FLORIDA BUILDING CODE 2001.

URI MAREYVA RESIDENCE
277 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL

EXISTING / DEMOLITION FLOOR PLAN

Project: _____
Date: _____

**TOMA DESIGN GROUP
INC.**

Tel: (904) 252-2500 Fax: (904) 252-2507
2222 W. STATE RD. #14 AUSTIN, TX 78701

Date:	07-12-2013
Drawn by:	M.T.
Checked by:	N.L.
Scale:	AS SHOWN

Sheet: **D-1.0**
CAD ID: _____



SERBER & ASSOCIATES, P.A.
Turnberry Plaza, Suite 801
2875 NE 191 Street
Aventura, Florida 33180
305-932-6262

SURVEY MAP

SCALE: 1" = 30'

M:\Maps\277 GOLDEN BEACH DR.jpg

M:\Properties\277 GOLDEN BEACH DR (6).jpg

277 Golden Beach Drive
Golden Beach, Florida.

Property Location

Legal Description

Lot 25 and the South 20 feet of Lot 24, Block 5 of GOLDEN BEACH - SECTION D, according to the plat thereof as recorded in Plat Book 10, Page 10 of the Public Records of Miami-Dade County, Florida.

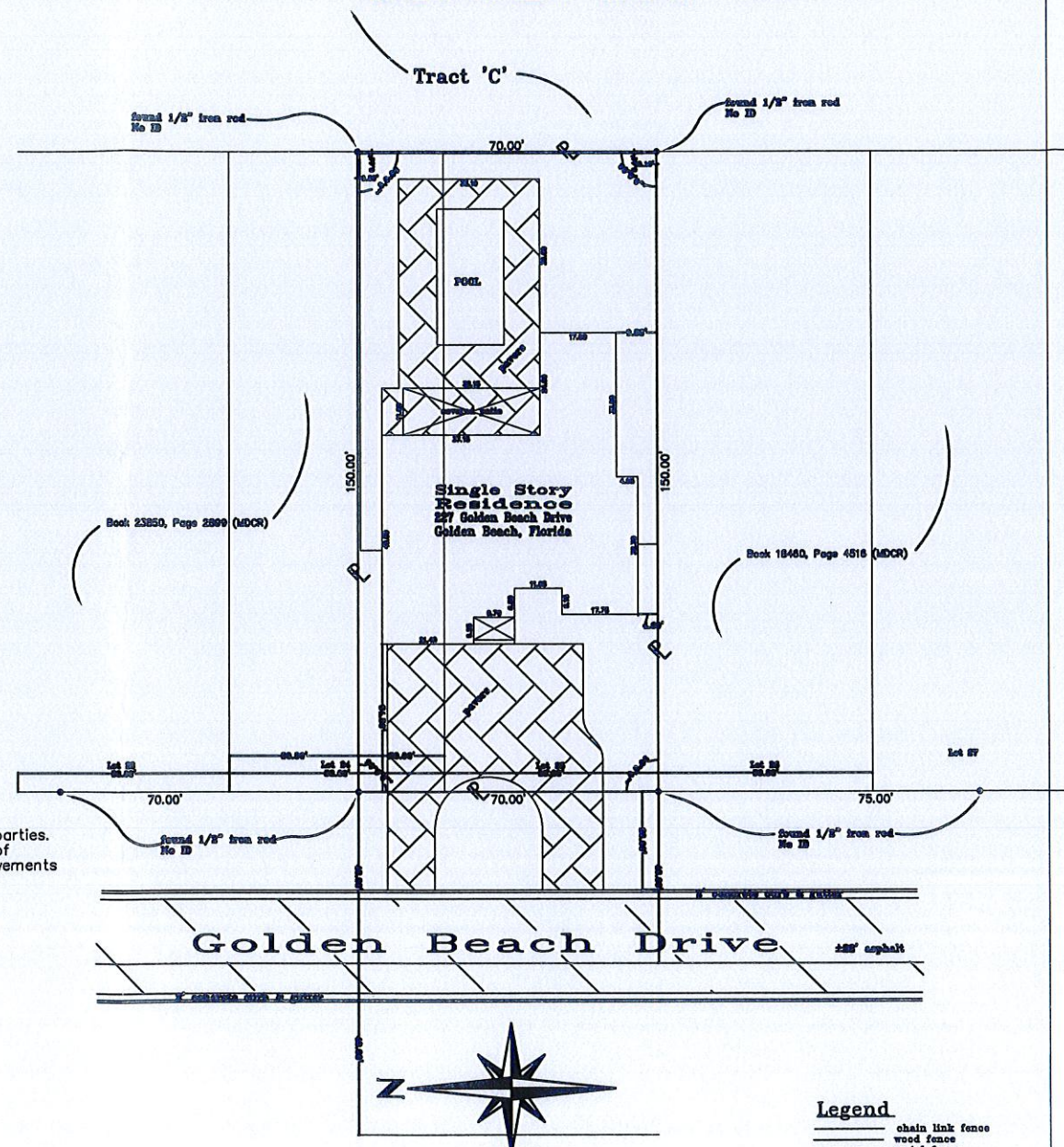
National Flood Insurance
Community Panel: 12086 C 0153 L
Flood Zone: X
Base Flood Elevation: N/A
Firm Date: 09/11/2009

Certified to:
Uri Mareyna & Margie Zopana
Serber & Associates, PA
First American Title Insurance Company

Survey Date: 03/28/2013
Job Number: 13-5009
Revision:

SURVEYORS NOTES

- This is a Boundary survey.
 - Legal description used for this survey was provided by others.
 - This Survey has been prepared for the exclusive use of the entities named hereon and do not extend to any unnamed parties.
 - No title policy, title commitment, abstract, or certificate of title was available; therefore easements and other matters of record may not be reflected in this survey. Obtain current title work and verify easements before constructing improvements
 - Bearings, if any, shown hereon are based on Plat Book 10, Page 10 of Miami-Dade County, Florida.
 - All dimensions and directions shown hereon are in substantial agreement with record values unless otherwise noted.
 - Due to varying construction standards, house dimensions are approximate.
 - All ties to property line are perpendicular to it, unless otherwise noted.
 - In all cases dimensions shall control location over scaled positions.
 - Elevations, if shown, are based of N.G.V.D. 1929.
 - Benchmark No. Elevation: feet, located at
 - This survey does not determine or imply ownership.
 - Underground improvements and utilities were not located.
 - Not valid without the signature & raised seal of a Florida licensed surveyor and mapper.
- I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN CHAPTER 61G17-6 OF THE FLORIDA ADMINISTRATIVE CODE FOR THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.



Legend

- chain link fence
- wood fence
- metal fence
- Pool pump
- Air Conditioner
- Property Line
- Center Line
- N.T.S Not to Scale
- BCH Broward County Records
- MDCR Miami-Dade County Records
- Existing Elevation

Book , Page (BGR)
(MDCR)

Book 2, Page 116 (BGR)

50' Right-of-Way

Found 1/8\"/>

- FF
- AC
- ⚡
- asphalt
- concrete
- stone
- metal fence
- chain link fence
- wood fence
- pool pump
- air conditioner
- property line
- center line
- N.T.S
- BCH
- MDCR
- Existing Elevation

R. Minguell, Inc.

Land Surveyors & Planners
L.B.7272
954-298-8935
Fax 954-392-8060
Minguell@bellsouth.net
2841 Montideo Avenue
Cooper City, Florida 33028

Encroachments
None apparent

Richard J. Minguell
Registered Land Surveyor & Mapper
No. 6402, State of Florida

CITY OF GOLDEN BEACH
BUILDING ADVISORY BOARD
HEARING DATE

AUG 13 2013

APPROVED _____
DISAPPROVED _____
VARIANCE REQ. _____

URI MAREYNA & MARGIE
ZONANA BLANGA
277 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

GOLDEN BEACH LAND LLC
733 CRANDON BLVD. #506
KEY BISCAYNE, FL. 33149

MOISES CROITORU
21136 NE 33RD AVENUE
AVENTURA, FL. 33180

ERNESTO & MONICA COHAN
254 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

BORIS MAREYNA & JEANINNE
AZQUBEL
15901 COLLINS AVE #508
SUNNY ISLES BEACH, FL. 33160

ALENE FISHBEIN TRUSTEE
256 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

HEDY FEDER GLASER TRS
323 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

RICARDO & SHARON PEDROSA
260 SOUTH PARKWAY
GOLDEN BEACH FL. 33160

GEORGE & JOSIE KUENNETH
300 OCEACH BOULEVARD
GOLDEN BEACH, FL. 33160

JEFFREY SONN & TERRI SONN
2430 NE 202ND STREET
MIAMI, FL. 33180

RACHMIL & SARITA LEKACH
296 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

LEONARD W. & JANIS G.
TOONKEL
268 SOUTH PARKWAY
GOLDEN BEACH, FL. 33160

MICHELLE JUDD
288 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

DAVID A. AND RANDI MARCUS
245 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

LAURENT GROLL AND
MICHAEL & MARCIE SOSNER
284 SOUTH ISLAND DRIVE
GOLDEN BEACH, FL. 33160

BEDA INTERNATIONAL LLC
259 GOLDEN BEACH DRIVE
GOLDEN BEACH, FL. 33160

FELIX NEDLER & INNA
PROSHAK & FRIDA VAYSMAN
266 OCEAN BOUELVARD
GOLDEN BEACH, FL. 33160

ISHAC HARDOON
271 GOLDEN BAECH DRIVE
GOLDEN BEACH, FL. 33160

JESUS SARDINERO ROSALES
260 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160



TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, Fl. 33160

SUMMARY MINUTES
BUILDING REGULATION ADVISORY BOARD
August 13, 2013 at 6:00pm

- A. **CALL MEETING TO ORDER:** 6:00pm
- B. **BOARD ATTENDANCE:** Stephanie Halfen, Eric Cohen, Jerome Hollo, Dr. Iglesias and Fred Chouinard
- C. **STAFF ATTENDANCE:** Building Official Nieda and Building Director Epperson
- D. **APPROVAL OF MINUTES:** July 9, 2013

A motion was made by Fred Chouinard to approve the minutes as submitted, Seconded by Eric Cohen
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye, and Stephanie Halfen-Aye.
Motion passed 5 – 0

E. **REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS**

F. **VARIANCE REQUEST(S):**

1. Jonathan Brief
P.O. Box 800008
Aventura, FL. 33160

Property Address: 357 Center Island Dr., Golden Beach, FL. 33160
Folio No: 19-1235-005-0850
Legal Description: Portions of Lots 14 & 15, Blk K, GB Sect. E, PB 8-122

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.
Jonathan Brief owner of the property spoke on his own behalf

Re-construction of a viewing platform.

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Relief from Town Code Section 46-87 Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:

(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two side property lines (or the two side setback lines) at the point where they cross the sea wall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above.

Relief from Town Code Section 46-85 Height of seawalls and docks and extension of deck of dock.

No seawall and no deck of any dock shall exceed an elevation of five feet above the National Geodetic Vertical Datum (NGVD). Dock decks shall not extend more than six feet behind the seawall and no cover shall be permitted to be erected in connection with any dock. The minimum elevation of the top of any seawall shall be four feet above the NGVD.

Request is to allow the viewing platform (dock) to extend out into the waterway outside the 10' maximum, outside the D5 triangle and to be elevated higher than the 5' N.G.V.D. elevation allowed by the code.

The applicant, Jonathan Brief, withdrew his variance petition to extend the Viewing Platform (dock) farther than the 10' maximum extension allowed by Code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

Viewing Platform – Dock approval motion:

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the viewing platform (dock) to encroach outside the D-5 Triangle, and Seconded by Fred Chouinard

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay

The motion failed with a board vote of 5 – 0

Elevation of Viewing Platform – 5.5' NGVD:

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Eric Cohen to recommend approval to the Town Council to allow the viewing platform (dock) to be constructed at an elevation of 5.5' NGVD, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

2. Fernando Extrakt and Vivian Norman
132 South Island Drive
Golden Beach, FL. 33160

Property Address: 132 South Island Drive, Golden Beach, FL.
Folio No: 19-1235-004-0530
Legal Description: Lots 10 & 11, Block J, GB Section D, PB 10-10

Building Official Nieda read his comments into the record
Kirk Lofgren, Ocean Consulting spoke on behalf of the applicant.

Re-construction of a dock

Relief from Town Code Section 46-84 General specifications for docks
No dock shall be permitted to be constructed, repaired, or reconstructed within the limits of the Town which shall extend more than six feet outside the lot property line into an inside (width of 100 feet or less) waterway nor more than ten feet outside the lot property line into an outside (width greater than 100 feet) waterway.

Request is to allow the dock to extend out into the waterway outside the 6' maximum required by the code.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made by Dr. Iglesias to recommend approval to the Town Council to allow the dock to extend into the waterway outside the 6' maximum allowed by the code, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Aye, Jerome Hollo-Nay, Eric Cohen-Nay and Stephanie Halfen-Nay
The motion failed with a board vote of 4-1

3 544 Vista LLC
20807 Biscayne Blvd, #301
Aventura, FL. 33180

Property Address: Vacant Lot a/k/a 44 Terracina Ave., GB, FL.
Folio No: 19-1235-004-0440
Legal Description: Lot 33 less E 5 feet & Lot 34, Blk H, GB Sect. D,
PB 10-10

Construction of single-family residence on a vacant lot

Building Official Nieda read his comments into the record
Mark Tartell with Leroy Street Studio NY spoke on behalf of the
applicant

Rosa Levy, applicant, spoke on her own behalf.

Sec. 66-139. - Same—In Zone Three.
or lots in Blocks E, F, G, H, J, K, L, and M, no building or part thereof
including garages shall be erected less than 35 feet from the property
line along the waters of the Intracoastal Waterway and canals and 35
feet from the front property line.

Request is to allow the 28.5' wide garage to project into the front
setback 16' in lieu of the 35' setback required by the Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Eric Cohen to recommend approval to the
Town Council to allow the garage to project 16' into the front setback
where a 35' is required by Code, Seconded by Dr. Iglesias.
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Aye
The motion passed with a board vote of 3 – 2

4. Uri Mareyna
Margie Zonana Blang A
277 Golden Beach Drive
Golden Beach, FL. 33180

Property Address: 277 Golden Beach Dr., Golden Beach, FL.
Folio No: 19-1235-004-0890
Legal Description: Lot 25, & S 20' of Lot 24, Blk 5, GB Sect D,
PB10-10

Addition and remodel to existing residence.

Building Official Nieda read his comments into the record
Martin Litman represented the owners and spoke on their behalf.
Ishac Hardoon, 271 Golden Beach Drive, spoke in opposition
Uzi Hardoon, 535 Golden Beach Drive, spoke in opposition

Relief from Town Code Section. 66-136. - Side line restrictions
between adjoining lots.

(a) For lots or any combination of lots with greater than 50 feet of
frontage; no portion of any building shall be closer than ten feet from
each side property line.

(b) For lots or any combination of lots with greater than 100 feet of
frontage; no portion of any building shall be closer than ten percent of
the width of the frontage of the lot(s), up to a maximum required
setback of 15 feet from each side property line of the site.

Request is to allow a 37 square foot addition to encroach into the
south side property line at 5.42' in lieu of the 10' required by the
Town's code.

In accordance with Town Code Section 66-41, "authorized, general
procedure", pertaining to variances, the board considered all evidence
and testimony presented by the applicant, the public and the Town
and made a finding that the applicant has complied with the seven
criteria.

A motion was made by Dr. Iglesias to recommend approval to the
Town Council to allow the 37 square foot addition to extend into the
south side property line at 5.42' outside the 10' setback required by
the code, Seconded by Eric Cohen.

On roll call: Fred Chouinard-Nay, Dr. Iglesias-Nay, Jerome Hollo-Nay,
Eric Cohen-Nay and Stephanie Halfen-Nay
The motion failed with a board vote of 5 - 0

G. OLD BUSINESS:

H. NEW BUSINESS

Agenda Item number 7 was moved to item 5

5. Jonas and Judith Mimoun
550 North Island Drive
Golden Beach, Fl. 33160

Property Address: 550 North Island Dr., Golden Beach, FL.
Folio No: 19-1235-006-0875
Legal Description: Lot 12 and SELY ½ of Lot 13, Blk M, GB Sect F,
PN 10-11

Building Official Nieda read his comments into the record

Construction of a new boat dock

Kirk Lofgren, Ocean Consulting, spoke on behalf of the applicant.

A motion was made by Eric Cohen to approve the dock reconstruction at a 4.6' elevation, Seconded by Dr. Iglesias
On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 - 0

6. Phister Company Inc.
25 SE 2nd Avenue, Suite 1235
Miami, FL. 33131

Property Address: 385 Center Island Drive, Golden Beach, FL.
Folio No: 19-1235-005-0870
Legal Description: All of lots 20 & 21, lot 22 less n 12.5', Blk K, GB Sect E, PB 8-122

Building Official Nieda read his comments into the record
Alfredo Gamara spoke on behalf of the applicant.

Revisions to exterior façade and pool of a residence under construction.

Dr. Iglesias stepped out of the meeting

The Board discussed this item and determined that the information submitted was insufficient to grant an approval. By agreement of the parties in attendance this request will be moved to next month's Agenda of September 10, 2013.

A motion was made by Fred Chouinard to table this item, Seconded by Stephanie Halfen
On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 4 - 0

7. Lior Ben Shmuel
570 North Island Drive
Golden Beach, Fl. 33160

Property Address: 508 North Parkway, Golden Beach, FL.
Folio No: 19-1235-006-0760
Legal Description: Lot 23 and a port of lot 24, Blk F, GB Sect F, PB 10-11

No one was present to speak on this item.

Revisions to pool for residence under construction.

A motion was made by Eric Cohen to table this item, Seconded by Fred Chouinard

On roll call: Fred Chouinard-Aye, Jerome Hollo-Aye, Eric Cohen-Aye
and Stephanie Halfen-Aye
The motion passed with a board vote of 4 – 0

8. Isaac Mizrahi Smeke
560 Ocean Boulevard
Golden Beach, Fl. 33160

Property Address: 560 Ocean Boulevard, Golden Beach, FL.
Folio No: 19-1235-001-0251
Legal Description: Lots 6 – 8, Block 2, GB Sect. A, PB 9-52

Dr. Iglesias returned to the meeting.
Building Official Nieda read his comments into the record.
Mr. Luria, Architect for the applicant spoke on this item.

Remodeling to exterior façade.

A motion was made by Eric Cohen to approve this request which includes the following items: changing concrete railings to glass railings, redesign of the front archway openings and garage door openings to square, and the exterior paint color to be in accordance with the Town's Ordinance for exterior painting and approved by Building Official Nieda, Seconded by Fred Chouinard.

On roll call: Fred Chouinard-Aye, Dr. Iglesias-Aye, Jerome Hollo-Aye,
Eric Cohen-Aye and Stephanie Halfen-Aye
The motion passed with a board vote of 5 – 0

I ITEMS FOR DISCUSSION AND BOARD APPROVAL

J. ADJOURNMENT 7:45pm

PURSUANT TO FLA. STATUTE 288.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT AUTHORIZE CHALLENGES OR APPEALS NOT OTHERWISE ALLOWED BY LAW.




TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Lissette Perez, 
Town Clerk

Subject: **Town Council Minutes**

Item Number:

9

Recommendation:

It is recommended that the Town Council adopt the attached minutes of the Town's June 24th, 2013 Special Town Council Meeting.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

Official Minutes for the June 24, 2013 Special Town Council Meeting called for 7:00 P.M.

A. MEETING CALLED TO ORDER

Mayor Singer called the meeting to order at 7:04 p.m.

B. ROLL CALL

Councilmember's Present: Mayor Glenn Singer, Vice Mayor Judy Lusskin, Councilmember Amy Isackson-Rojas, Councilmember Judy Lusskin, Councilmember Kenneth Bernstein, Councilmember Einstein (showed up during the Mayor's report)

Staff Present: Town Manager Alexander Diaz, Town Clerk Lissette Perez, Police Commander Rudy Herbello, Finance Director Maria D. Camacho, Town Attorney Steve Helfman, Community Development Specialist Michael Glidden

C. PLEDGE ALLEGIANCE

Commander Herbello led the Pledge of Allegiance

D. PRESENTATIONS / TOWN PROCLAMATIONS

None

E. MOTION TO SET THE AGENDA

ADDITIONS/ DELETIONS/ REMOVAL OF ITEMS FROM CONSENT
AGENDA/ AND CHANGES TO AGENDA

F. GOOD AND WELFARE

None

G. MAYOR'S REPORT

A few weeks ago the Town witnessed a storm of the century. We had a tremendous amount of rain in a short period of time. It was non-stop pouring rain from 1:15 p.m. to about 6 p.m., with a drizzle until about 9 p.m. The town flooded like never before. The good news is that within 45 minutes to an hour the flooding dissipated. Commended the

Police Department for the great work it performed ensuring the safety of the residents. Commended the Town Manager for helping residents and directing traffic in the middle of the storm. Also recognized Public Works for its clean-up efforts following the storm. Also mentioned that several of the beach residents have voiced concerns about parking when they host an event. The Town Manager and he met with Mayor Tobin to discuss these issues, looking at a few options. The third issue he addressed was that a resident called his house complaining about a party at the beach with an abundance of people there. When the Mayor drove over there, he saw that there were over 200 people there at the party and several bounce houses. The police officers documented everything and took pictures. The next day, Monday, the Mayor met with the Town Manager and pulled the permit which stated that the party was for 60 guests and just one bounce house. That is why on the agenda is a discussion item about the rules and regulations for having events at the beach pavilion. He came to find out that the party was not even for a resident, but instead for a resident's family member. The Town Manager and he have had several meetings and come up with some suggestions and recommendations to this issue. He also mentioned that two weeks ago a number of illegal immigrants washed up on Golden Beach's shores. Commended the Police Department on the tremendous job they did to control the situation. It was very well organized, and there were no incidents. All of the immigrants were apprehended. Also wished everyone a great summer, and looking forward to the rest of the year.

H. COUNCIL COMMENTS

Councilmember Einstein

Commended the Police Department and all of the staff involved with the recovery efforts following the big storm in Town. Extended his condolences to the family of resident Richard Ruben who suffered a massive stroke and passed away. Wished everyone a wonderful summer.

Councilmember Bernstein

Commented on the wonderful job the Town did with the storm efforts. His first fear was did the Town's system fail, but it was remarkable to see all of the water gone the next morning. Stated that he met with the Town Manager regarding the beach, and that both of them were getting ready to meet with the beach committee to discuss several issues that have arisen over the last few months. Not sure what the right or wrong answers are. Before we design the beach, we need to figure out what the beach is for and with that we design it with those things in mind. Also commented on what a great job the Town did with the Memorial Day event. Thought that maybe in the future veterans in the area can be sought out ahead of time to come and speak to the residents. Has also heard a lot of complaints about the bikes and the fear residents have of hitting people on a bike. Asked if there is anything the Town can do to address the increased amount of mosquitoes in Town. Also stated that his cell phone reception is really bad at his house, and asked if the Town could look into requesting a booster from the cell phone carriers to improve the situation. The **Town Manager** advised that the Town would send a letter out requesting assistance from the carriers.

Councilmember Rojas

Stated that a resident called her complaining about the iguanas in Town, and asked if the Town would be instituting the iguana removal program again. The **Town Manager**

stated that the Town would not be instituting the program again, but advised Councilwoman Rojas that the Town would give her the contact information to provide to that resident.

Vice Mayor Luskin

Asked the Town Manager if he would address the power lines in Town during his CIP report, because they were supposed to have come down in April. Also spoke about the construction projects in Town on the north end of Golden Beach Drive and their deplorable state. Stated that it's becoming a growing problem that she has been complaining about for some time now. The residents feel that the Town is not paying attention to these issues because they are on the far north end of Town and most of the Town's employees head south to go to Town Hall. She requested that the Town look into this. She took a moment to thank Michael Glidden, Carol Larson and the rest of the group that put the Town events together. Also mentioned that on the west side of Golden Beach Drive, some resident landscaping is not being scaled back and perhaps those residents need to be reminded of their responsibilities when it comes to the swale area.

I. TOWN MANAGER REPORT

Responded to the council comments beginning with Councilman Bernstein's comments concerning a bike lane stating that the Town will not have a designated bike lane. There will only be a sign advising motorists that the road will be shared with bicyclists. Also responded to Councilwoman Luskin's concerns about the construction sites at the north end of Town, stating that the Town Manager and Building Director do drive through the north end of Town and are cognizant of the issues that are going on. Stated that hopefully those sites on the north end of Town will be buttoned up by the end of this week. Commended Councilwoman Luskin for the work she performed on the Memorial Day event, and thanked Michael Glidden and Carol Larson for their work on the event. Also thanked Commander Herbello for his coordination efforts during the issue with the immigrants that washed up in Town. Advised residents that the with the super storm that went through Town one good thing did come from it. The Town discovered that a majority of the residents are not registered with the Town's codered emergency system. The town plans to begin a campaign to get more residents signed up on the system this summer.

***CIP Report & Update**

Last night the repaving of A1A commenced, the work will continue for next 60 days, the Manager asked residents to be patient and bear with the state during this time. In regards to the FPL poles in Town, he stated that he is disgusted with the work they have performed in removing the poles in Town. There is always an excuse from them every time the Town meets with their executive. The Town sent them a very nasty letter last week asking them to become organized. Absent him continuing to right nasty letters, it seems that they are just going to continue to move at their pace. Promised to update the Council on the situation with FPL via email by the end of the week.

Thanked the staff for the work they did during the storm and coordinating efforts for cleanup with day laborers, especially Riley Crews and Ken Jones for all of the hours of work they put in. On Thursday July 4th, the Town will be providing free hot dogs, chips

and soda at the beach pavilion for all residents and their invited guests. Also mentioned that after discussing staffing levels, the Mayor has advised and consented to closing Town Hall will be closed on July 5th, giving employees an extra day off this year. So Town Hall will be closed on July 4th and 5th. Also wanted to remind the Council that the next Town Council meeting is scheduled for August 20th. Also mentioned that the June 1st preliminary assessed values have come in for the Town, and there was a slight growth in the Town's assessed values this year. Town is hopeful that when the final numbers come in on July 1, that growth will still be there.

J. TOWN ATTORNEY REPORT

None

K. ORDINANCES – SECOND READING

None

L. ORDINANCES - FIRST READING

1. An Ordinance of the Town Council Amending Chapter 66, Zoning; Article III, District Regulations.

AN ORDINANCE OF THE TOWN OF GOLDEN BEACH, FLORIDA, AMENDING CHAPTER 66, ZONING; ARTICLE III, DISTRICT REGULATIONS, TO CLARIFY PERMITTED AND PROHIBITED USES IN THE SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT; PROVIDING FOR IMPLEMENTATION; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICTS AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 1
Ordinance No. 556.13

Sponsor: Town Administration

Recommendation: Motion to Approve Ordinance No. 556.13

A motion to approve was made by Vice Mayor Lusskin seconded by Councilmember Rojas.

On roll call, the following vote ensued:

Mayor Singer	<u>Aye</u>
Vice Mayor Lusskin	<u>Aye</u>
Councilmember Einstein	<u>Aye</u>
Councilmember Isackson-Rojas	<u>Aye</u>
Councilmember Bernstein	<u>Aye</u>

The motion passed.

Town Attorney: stated that this ordinance clarifies that single-family residences should be used for single-family purposes. Instead of leaving it up to the imagination, because the Town's current code does not define what single-family is, the town has tried to specify what the use is. Within the single-family district, property shall be used for the principal purpose of dwelling occupied by individual families. Very broad definition, but the home has to be used as a dwelling, not for any other purpose. Residents can have all sorts of traditional activities at home (i.e. a wedding, a bar mitzvah, a birthday party, etc.). The prohibited uses include: not using a home for a business activity (with the exception of filming); not using a home as a venue for events, parties or other commercial or promotional activity where a fee is charged for entrance, or any type of compensation is directly or indirectly given to the property owner for use of the property; nor may any person hold any third party promotional event other than a traditional daytime open house at the property for the purpose of advertising or otherwise exposing the property for sale. This is the key to this ordinance. These things that are happening throughout the community that disturb neighborhoods. They bring a lot of traffic in and there's no real benefit to the community. This is the type of ordinances that different cities are adopting to try to control this activity.

Vice Mayor Lusskin commented that the ordinance states that fundraisers are ok, but many of these fundraisers charge admission to get in.

Town Attorney stated that if there is a charge at the door, it is not permitted. The distinction here is that with the single-family homes you are either a resident or a guest, you do not charge guests an admission to your home.

Mayor Singer stated that he thought that the purpose of this ordinance was to stop residents from renting out their homes and making a profit out of it.

Councilmember Bernstein stated that to him this is just an issue of semantics. He asked if the intention of the ordinance is to stop charitable fundraisers at people's homes? The **Town Attorney** stated that that is not the intention at all. What it is intended to do is to not allow people who own a property that's a great venue to use it to make money off of, because now that house has been turned into a business. What you do not want is people who are charging entry fees to get into their house and you do not want people who are profiting from these activities.

Councilmember Einstein gave the **Town Attorney** a few examples to see what is allowable and what is not permissible under this ordinance.

Resident Fred Chouinard, 407 Ocean Boulevard

Asked if the brother's that auctioned their house in Town, if that was legal under this ordinance?

Town Manager stated that there was no admission to attend that auction. A retainer had to be given if an individual wanted to bid, but anybody could have gone to witness the auction.

The **Town Attorney** stated that he thinks that that would have been a permitted activity.

Mr. Chouinard also asked that if there is a party and a resident rents his lot out for a fee is that allowed.

The **Town Attorney** responded that it is not a permitted activity under the zoning code.

Town Manager stated that there is a section of the code that deals specifically with vacant lots and parking on vacant lots. In addition, the town has in no way any means of knowing that a lot owner is charging a fee for people to park on a vacant lot. But vacant lots can be used for parking, and the code dictates how it can be used for parking.

Town Attorney stated that he was not aware of that.

Mr. Chouinard also inquired about 421 Ocean Boulevard, stating that he believes that more than one family will be living there. He asked if that is allowed.

The **Town Attorney** advised that the town's definition of a family is outdated and that would be addressed during second reading of the ordinance.

Councilmember Bernstein asked if the Town Attorney could specify what distinguishes what is allowed and not allowed for second reading.

Town Attorney stated that the Town is not trying to control who is being allowed into a person's house, but how the home is being used.

Councilmember Bernstein asked if the Town Attorney could expand upon what the customary activities of a single family home are for second reading as well.

M. QUASI JUDICIAL RESOLUTIONS

None

N. CONSENT AGENDA

- 2. Minutes of the May 21, 2013 Regular Town Council Meeting**
- 3. A Resolution of the Town Council Approving A Joint Project Agreement with the Florida Department of Transportation for Turf and Landscape Maintenance.**

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, APPROVING A JOINT PROJECT AGREEMENT WITH THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FOR TURF AND LANDSCAPE MAINTENANCE; AUTHORIZING THE MAYOR TO EXECUTE THE AGREEMENT; AUTHORIZING THE MAYOR AND TOWN MANAGER TO TAKE ALL ACTION NECESSARY TO IMPLEMENT THE AGREEMENT; PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 3
Resolution No. 2302.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2302.13

- 4. A Resolution of the Town Council Approving Amendment #3 to the 2012-2013 Fiscal Year Operating Budget.**

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, APPROVING AMENDMENT #3 TO THE 2012-2013 FISCAL YEAR OPERATING BUDGET; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 4
Resolution No. 2303.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2303.13

5. A Resolution of the Town Council Authorizing and Approving the Payment of \$2,500.00 to the Sunny Isles Beach Trust Foundation.

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING THE PAYMENT OF \$2,500.00 TO THE SUNNY ISLES BEACH TRUST FOUNDATION; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

Exhibit: Agenda Report No. 5
Resolution No. 2304.13

Sponsor: Town Administration

Recommendation: Motion to Approve Resolution No. 2304.13

Consensus vote 5 Ayes, 0 Nays. Items N2-N5.

O. TOWN RESOLUTIONS

None

P. DISCUSSION & DIRECTION TO TOWN MANAGER

Mayor Glenn Singer:
None Requested

Vice Mayor Amy Isackson-Rojas:
None Requested

Councilmember Judy Lusskin:
None Requested

Councilmember Kenneth Bernstein:

**** Beach Pavilion**

Town Manager stated that it seems like the rules that were enacted in 2009 may not have gone far enough, so the Mayor and Councilmember Bernstein both have some recommendations and the Town Manager wanted to get more input from the Council to bring before them a revised rules and regulations for the beach pavilion for discussion at the August meeting.

Mayor Singer stated that one of his recommendations is that every event at the beach pavilion should require a police officer, regardless of the amount of guests attending. His second suggestion is that every party be required to pay a fee to cover the public works employee who has to come after the party is over to clean up.

Councilmember Bernstein recommended that if someone is having a party with a bounce house or anything like that, Golden Beach residents should be able to use it.

Town Manager stated that the administration will work over the next 60 days on the rules and regulations of the beach pavilion to make it more attractive for the residents to use it. Both of those issues will be taken into consideration. He also stated that the Town has never issued a permit for more than 60 guests, except for Town events.

Mayor Singer stated that after this meeting if the Council thinks of suggestions, they should contact the Town Manager.

Councilmember Bernard Einstein:
None Requested

Town Manager Alexander Diaz
None Requested

Q. ADJOURNMENT:

A motion to adjourn the Council Meeting was made by Councilmember Rojas, seconded by Vice Mayor Lusskin.

Consensus vote 5 Ayes 0 Nays. Motion passes.

The meeting adjourned at 8:40 p.m.

Respectfully submitted,

Lissette Perez
Lissette Perez
Town Clerk



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

Item Number:

To: Honorable Mayor Glenn Singer &
Town Council Members

10

From: Alexander Diaz,
Town Manager

Subject: Resolution No. 2310.13 – Authorizing and Approving Payment
of \$1,000.00 to Florida International University Biscayne Bay
Campus for it's Prestige Cultural Series

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. 2310.13 as presented.

Background:

This resolution approves the donation made to Florida International University Biscayne Bay Campus.

Florida International University is partnering up with area municipalities, businesses and individuals to present The Prestige Cultural Series at Biscayne Bay Campus. The university will host a number of events that will be open to all of the residents of the sponsoring communities.

Florida International University offers quality public education to a number of Golden Beach residents. In honor of all of the residents that benefit from the public education Florida International University provides, the Town would like to make this donation to FIU's Prestige Cultural Series.

Fiscal Impact:

As approved by Council the amount authorized was \$1,000.00.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2310.13

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING THE PAYMENT OF \$1,000.00 TO FLORIDA INTERNATIONAL UNIVERSITY BISCAYNE BAY CAMPUS IN MEMORIAM OF RICHARD FISHBEIN; PROVIDING FOR IMPLEMENTATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Florida International University is partnering with area municipalities, businesses and individuals to present The Prestige Cultural Series at Biscayne Bay Campus; and

WHEREAS, Florida International University Biscayne Bay Campus, is the premier provider of public higher education in northern Miami-Dade County; and

WHEREAS, the Town Council finds that a contribution in the amount of \$1,000.00 to the Florida International University Biscayne Bay Campus is in the best interest of the Town.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. That each of the above-stated recitals is hereby adopted and confirmed.

Section 2. Authorization. That the payment of \$1,000.00 to Florida International University Biscayne Bay Campus is hereby authorized and approved.

Section 3. Implementation. That the Mayor and Town Manager are authorized to take any and all action which is necessary to implement this Resolution.

Section 4. Effective Date. That this Resolution shall become effective immediately upon approval of the Town Council.

Sponsored by the Town Administration.

The Motion to adopt the foregoing resolution was offered by _____,
seconded by _____, and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Luskin	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Kenneth Bernstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida,
this 20th day of August, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:


STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013
To: Honorable Mayor Glenn Singer &
Town Council Members
From: Alexander Diaz, 
Town Manager
Subject: **Resolution No. 2311.13- LETF Assets to Provide for
Community Policing Initiatives and Awareness Programs**

Item Number: _____11_____

Recommendation:

It is recommended Council adopt the attached Resolution No. 2311.13 as presented.

Background:

The costs associated with Community Policing Initiatives and Awareness Programs. It is requested the Town authorize the expenditure of LETF monies in the amount of \$3,000.00 to provide community policing initiatives and awareness programs in the Town of Golden Beach for budget year 2013 / 2014.

Federally Seized Assets: At the discretion of the United States Attorney General under United States Statute: 18 U.S.C. Section 981 (e) (2), and 21 U.S.C. Section 881 (e) (1) (A) and (e) (3) (b), the Golden Beach Police Department may lawfully receive equitable shares of the federally seized funds at the conclusion of the legal proceedings. These shares are deposited in the Town’s Law Enforcement Trust Fund account.

The U.S. Department of Justice publication titled “*Guide to Equitable Sharing for State and Local Law Enforcement Agencies*” specifically provides that the equitably shared forfeited asset funds resulting from the participation of a local agency in investigations with Federal law enforcement agencies may be utilized by the participating local agency for law enforcement for Community Policing Initiatives and Awareness Programs.

State Seized Assets: Under Florida State Statute (FSS) 932.7055, the Florida Contraband Forfeiture Act, the Golden Beach Police Department lawfully receives equitable share(s) of State seized funds at the conclusion of the legal proceedings involving the regional task force.

The Town uses both the federally seized and the State seized funds to increase crime prevention efforts and to also enhance the quality of police services for Town residents without increasing the Town’s budget. The attached item meet the requirements of the Federal and/or State Statute requirements and are requested to be funded.

Financial Impact:

This will not have a financial impact on the Town’s budget.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2311.13

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING THE USE OF LETF FUNDS FOR THE IMPLEMENTATION OF COMMUNITY POLICING INITIATIVES AND AWARENESS PROGRAMS; PROVIDING FOR IMPLEMENTATION; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town desires the approval of LETF funds to provide Community Policing Initiatives and Awareness Programs; and

WHEREAS, It is requested the Town authorize the expenditure of LETF funds in the amount of \$3,000.00 to provide Community Policing Initiatives and Awareness Programs for budget year 2013 / 2014; and

WHEREAS, the Town's Law Enforcement Trust Fund account (the "LETF") includes assets forfeited to the Town by authority of the Florida Contraband Forfeiture Act and by the Federal Asset Forfeiture Statutes; and

WHEREAS, the Town Council desires to utilize LETF funds to pay for Community Policing Initiatives and Awareness Programs; and

WHEREAS, the funds contained in the LETF are the result of seized assets from investigations by the Town's Police Department and joint investigations with other law enforcement agencies – not from tax revenue; and

WHEREAS, the Chief of Police has recommended that the \$3,000.00 be taken from the Town's LETF for "***Community Policing Initiatives and Awareness Programs***" specifically authorized by law; and

WHEREAS, the Chief of Police certifies that this expenditure complies with § 932.7055, Florida Statutes, and / or the Federal Seizure statutes in that the funds will be used for an appropriate law enforcement purpose; and

WHEREAS, the Chief of Police certifies that the Town's LETF is not being used as a normal source of revenue for the Town Police Department; and

WHEREAS, the Chief of Police certifies that the Town's LETF was not considered in the adoption and approval of the Police Department budget; and

WHEREAS, the Town Council finds that it is in the best interest of the Town to proceed as indicated in this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. That each of the above-stated recitals is hereby adopted and confirmed.

Section 2. The expenditure of authorized LETF funds. That the use of LETF funds for Community Policing Initiatives and Awareness Programs is hereby authorized and approved.

Section 3. Implementation. That the Mayor and Town Manager are authorized to take any and all action which is necessary to implement this Resolution.

Section 4. Effective Date. That this Resolution shall be effective immediately upon adoption.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____, seconded by _____ and on roll call the

following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Kenneth Bernstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida, this 20th day of August, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: July 19, 2013
To: Town Manager Alexander Diaz
From: Police Chief Don DeLucca
Ref: Community Policing Initiative

The Town is allowed by law to use federal and state seized funds to increase crime prevention efforts and to enhance the quality of life to our residents, without increasing the Town's budget.

I am requesting your approval to authorize the expenditure of LETF monies in the amount of \$3,000.00 to provide community policing initiatives and awareness programs in the Town of Golden Beach for budget year 2013 / 2014.

Our initiatives will consist of crime prevention through environmental design training, safety child seat installation certification and a resident boat safety operation course.



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz, *Alex B*
Town Manager

Subject: **Resolution No. 2312.13 – A Resolution Renewing
Comprehensive Health Insurance through the Florida League
of Cities who has indicated their agent of record will be Florida
Municipal Insurance Trust**

Item Number:

12

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. 2312.13 as presented.

Background:

I recommend that the Town's comprehensive group health insurance be awarded to the Florida League of Cities Florida Municipal Insurance Trust (FMIT) as the agent of record. Because of the competitive nature of the FMIT's renewal, the Town finds staying with its current agent and carrier the most physically prudent course of action to take.

The renewal premium in comparison to the Town's current premium has increased by 13.75% from \$34,422.64 to \$39,156.28.

Fiscal Impact:

Because we have not completed our Open Enrollment, it is difficult to provide an exact cost. We anticipate the total increase not to exceed \$35,000 for F/Y 2013-2014.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2312.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AWARDED A COMPREHENSIVE HEALTH INSURANCE PLAN FOR THE BENEFIT OF THE TOWN OF GOLDEN BEACH EMPLOYEES AND ELIGIBLE DEPENDENTS; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town's wishes to renew its current insurance agreement with the Florida League of Cities who has indicated their agent of record to be the Florida Municipal Insurance Trust (FMIT); and

WHEREAS, the Town's current comprehensive health insurance plan with FMIT came in at a minimal 3% increase: and

WHEREAS, the Town Council finds that entering into this Contract is in the best interest of the Town.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above recitals are hereby adopted, confirmed and incorporated herein.

Section 2. Proposal Accepted. The proposal to go into a Contract with the Florida League of Cities as described and set forth in the Agenda Item Report attached hereto and incorporated herein, and are hereby accepted.

Section 3. Implementation. The Mayor and Town Manager are hereby authorized to take any and all action necessary to implement this Resolution in accordance with its terms and conditions including, but not limited to, the designation of a new agent of record.

Section 4. Effective Date. That this Resolution shall become effective immediately upon approval of the Town Council.

Sponsored by the Town Administration.

The Motion to adopt the foregoing resolution was offered by _____,
seconded by _____, and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Kenneth Bernstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day of August, 2013.

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

Florida Municipal Insurance Trust
Town of Golden Beach
Rate Quote for Medical and Prescription Drug Benefit Coverage

Current Rates - Plan 1				
Contract Type	Enrollment	10/1/2012 -		
		9/30/2013	Monthly Premium	Annual Premium
Single	20	\$526.34	\$10,526.80	\$126,321.60
EE + Spouse	5	\$1,131.63	\$5,658.15	\$67,897.80
EE + Children	9	\$973.73	\$8,763.57	\$105,162.84
Family	6	\$1,579.02	\$9,474.12	\$113,689.44
Total	40		\$34,422.64	\$413,071.68

Renewal Rates - Plan 1				
Contract Type	Enrollment	10/1/2013 -		
		9/30/2014	Monthly Premium	Annual Premium
Single	20	\$598.72	\$11,974.40	\$143,692.80
EE + Spouse	5	\$1,287.25	\$6,436.25	\$77,235.00
EE + Children	9	\$1,107.63	\$9,968.67	\$119,624.04
Family	6	\$1,796.16	\$10,776.96	\$129,323.52
Total	40		\$39,156.28	\$469,875.36

Percent Change	13.75%
-----------------------	---------------

Medicare Supplement Rate	
Monthly Premium:	\$366.29
Prescription Drug Copays	
Retail:	\$10/\$30/\$50
Mail Order:	\$25/\$75/\$125



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

Item Number:

To: Honorable Mayor Glenn Singer &
Town Council Members

13

From: Alexander Diaz,
Town Manager

Subject: **Resolution No. 2313.13 – Renewing the agreements for Dental Insurance and Vision Coverage to Guardian Insurance and Compbenefits with Sapoznik Insurance as the agent of record**

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. 2313.13 as presented.

Background:

I recommend that Sapoznik Insurance be renewed as the agent of record for vision coverage and dental coverage. The resolution renews the following: dental coverage to Guardian Insurance, and vision coverage to Compbenefits.

The renewal premiums in comparison to the Town's current premiums have increased as follows:

Dental (Guardian) increased by 5%, from \$3,354.50 to \$3,490.41.

Vision (Compbenefits) increased by 3.4% from \$315.26 to 325.30.

(the renewal rate for Compbenefits is guaranteed from 10/1/13 – 9/30/15)***

Fiscal Impact:

Because we have not completed our Open Enrollment, it is difficult to provide an exact cost. We anticipate the total increase not to exceed \$2,500.00.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2313.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, RENEWING THE AGREEMENTS FOR A DENTAL INSURANCE AND A VISION INSURANCE PLAN FOR THE BENEFIT OF THE TOWN OF GOLDEN BEACH EMPLOYEES AND ELIGIBLE DEPENDENTS; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council by Resolution 1868.07 awarded to each of Guardian Insurance and Compbenefits Insurance, the lowest responsible bidders, a one year contract with two (2) one-year renewal options (the "Contracts"), to provide dental and vision insurance benefits to Town employees and their eligible dependents; and

WHEREAS, that renewal option expired on September 30, 2010 and the Town has granted annual extensions since; and

WHEREAS, the Town finds that the renewal rates continues to provide a more competitive comprehensive option than a bid option;

WHEREAS, the Town wishes to renew its vision and dental insurance coverage under each of the Contracts; and

WHEREAS, the Town Council finds that renewal of the Contracts is in the best interest of the Town.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above recitals are hereby adopted, confirmed and incorporated herein.

Section 2. Proposal Accepted. The proposals to renew the Contracts with Guardian Insurance and Compbenefits, as described and set forth in the Agenda Item Report attached hereto and incorporated herein, and are hereby accepted.

Section 3. Implementation. The Mayor and Town Manager are hereby authorized to take any and all action necessary to implement this Resolution in accordance with its terms and conditions including, but not limited to, the designation of a new agent of record.

Section 4. Effective Date. That this Resolution shall become effective immediately upon approval of the Town Council.

Sponsored by the **Town Administration.**

The Motion to adopt the foregoing resolution was offered by _____,
seconded by _____, and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Kenneth Bernstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day of August, 2013.

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

HUMANA[®]

CompBenefits

1100 Employers Blvd

Green Bay, WI 54344

www.humana.com

1-800-327-9728

July 30, 2013

THE TOWN OF GOLDEN BEACH -- Group #VS6693

Attn: Maria Camacho

1 Golden Beach Dr

Golden Beach, FL 33160

Dear Group Benefits Administrator:

Thank you for allowing Humana Specialty Benefits/CompBenefits the opportunity to provide our vision plan as part of your employee benefits package. It is our pleasure to provide you with the renewal of your vision plan effective October 1, 2013. Our goal is to ensure that you experience the highest quality service and benefits.

Your renewal rates for the next benefit period are as follows:

Renewal Date and Rate Guarantee Period: 10/1/2013 - 9/30/2015

	<u>Current Monthly Rates</u>	<u>Renewal Monthly Rates</u>
Employee Only	\$4.70	\$4.86
Employee + Spouse	\$9.38	\$9.68
Employer + Child(ren)	\$8.92	\$9.20
Employer + Family	\$13.98	\$14.40

Your plan will automatically renew thereafter for consecutive twelve (12) month periods unless terminated by either party with written notice provided sixty (60) days prior to the plan anniversary date.

We are also pleased to announce an enhancement to the current Lasik benefit available to your employees. For information on our new TruVision Advantage Program, please visit our website at tlcvision.com or call 888-358-3937.

Please feel free to contact either our office or your agent should you have any questions. We appreciate your business.

Sincerely,

Your Humana Underwriting Consultant
HUMANA/CompBenefits

<cc> <Agent>

Notice: Every policy marketed, issued or delivered to a California resident, regardless of where the policy is issued, must provide equal coverage to domestic partners as provided to spouses.



**It's renewal
time!**

**Guardian is
here to help.**

RENEWAL INFORMATION FOR

**TOWN OF GOLDEN BEACH
GROUP PLAN # 00429802**

**RENEWAL PERIOD
October 1, 2013 - September 30, 2014**



GUARDIAN®

DENTAL | DISABILITY | LIFE | VISION | CRITICAL ILLNESS | CANCER | ACCIDENT

The Guardian Life Insurance Company of America 7 Hanover Square, New York, NY 10004-4025

Renewal Rates At-a-Glance

This plan is currently offered for Insurance Class 1

DENTAL PLAN RATES -					
Tier	Enrolled Employees	CURRENT		RENEWAL	
		MONTHLY Rate	Annual Premium	MONTHLY Rate	Annual Premium
EE	19	\$40.52	\$9,239	\$42.55	\$9,700
EE & SP	9	\$89.72	\$9,690	\$94.21	\$10,174
EE & CH	5	\$114.80	\$6,888	\$120.54	\$7,232
FAMILY	7	\$153.62	\$12,904	\$161.30	\$13,549
TOTAL	40		\$38,720		\$40,656



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

14

Subject: Resolution No. 2314.13 – Accepting the benefit proposal for short term/long term disability insurance, life, and accidental death and dismemberment insurance submitted by Mutual of Omaha for the 2013/2014 and 2014/2015 Fiscal Years

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. 2314.13 as presented.

Background:

I recommend that the Town Council renew the short term disability, long term disability, life insurance and accidental death and dismemberment insurance with Mutual of Omaha Insurance for the next two fiscal years.

Mutual of Omaha has provided the Town with competitive short term disability, long term disability, life insurance, and accidental death and dismemberment insurance for the last four fiscal years in accordance with the applicable codes and ordinances of the Town.

The unchanged renewal premiums in comparison to the Town's current premiums have been attached as attachment "A" to the resolution as the Agenda Item Report.

The new short term disability, long term disability, life insurance and accidental death and dismemberment plans will go into effect October 1st, 2013, pending Town Council approval.

The benefits and features of the short term disability are:

- Mutual of Omaha only requires a 1% loss of earnings to be eligible for benefits.
- If an employee is working part-time and making 50% of their earnings, Mutual of Omaha will give them the other 50% to make them whole.
- Mutual of Omaha will consider a part-time disabled employee disabled until they can earn 99% of their income. The employee will be entitled to a partial benefit until he/she fully recovers his/her earnings.
- The short term disability premium will stay at a yearly amount of \$6427.19

The benefits and features of the long term disability are:

- Mutual of Omaha only requires a 1% loss of income in your own occupation to be eligible for benefits.
- If an employee is working part-time in the “any occupation period,” Mutual of Omaha will consider that person partially disabled until he/she is able to earn more than 85% of his/her pre-disability earnings.
- Mutual of Omaha has a separate 24 month limitation for alcohol/substance abuse, and mental disorder, as opposed to a combined lifetime limitation.
- Mutual of Omaha has an unlimited return to work incentive. If the employee is working part-time, Mutual of Omaha will not offset any work earnings unless the work earnings and Mutual of Omaha’s benefit exceed 100% of his/her pre-disability income.
- The long term disability premium will stay at a yearly amount of \$11,003.14.

The benefits and features of the life insurance and accidental death and dismemberment insurance are:

- Seat Belt Benefit – If the employee is injured in a car accident while wearing a seat belt, and that injury results in death, a benefit is payable equal to 10% of the Principal Sum, up to \$50,000.
- Common Carrier Benefit – If the employee is injured while riding as a fare-paying passenger, and not as an operator or member of the crew, in any public air, land or water conveyance provided by a common carrier primarily for passenger service, and that injury results in death, a benefit is payable equal to 100% of the Principal Sum, up to the lesser of the plan maximum or \$1,000,000.
- Airbag Benefit – If the employee is injured in an automobile accident, an airbag is in use and that injury results in death, the benefit is equal to 10% of the Principal Sum, up to \$50,000.
- Child Education Benefit – If the employee is injured and that injury results in death, benefits are payable equal to 5% of the Principal Sum, up to \$5,000. This benefit will be payable at the end of each school year for a maximum of four consecutive years, and will be

paid to the eligible dependent, student, or, if a minor child, to the student's legal guardian.

- Paralysis Benefit – Benefits for additional losses:
 - Loss – Quadriplegia / Benefit – Principal Sum
 - Loss – Triplegia / Benefit – $\frac{3}{4}$ of the Principal Sum
 - Loss – Paraplegia or Hemiplegia / Benefit – $\frac{1}{2}$ of the Principal Sum
 - Loss – Uniplegia / Benefit – $\frac{1}{4}$ of the Principal Sum
- The life and accidental death and dismemberment insurance will stay at \$5,743.92.

Short and Long Term Disability of the Town Manager require an individual policy as the Group Policy is not sufficient to cover his salary. His Individual Policies are administered through AFLAC for the short term and The Standard Insurance Company for the long term.

Fiscal Impact:

There is no increase, as the Town's current rate with Mutual of Omaha is locked for two additional years. The Town Manager's AFLAC rate of \$949.44 and Standard Insurance rate of \$1,478.56 are fixed and therefore will not increase in F/Y 2013-2014.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2314.13

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, ACCEPTING THE BENEFIT PROPOSAL FOR SHORT TERM/LONG TERM DISABILITY INSURANCE, LIFE AND ACCIDENTAL DEATH AND DISMEMBERMENT INSURANCE SUBMITTED BY MUTUAL OF OMAHA INSURANCE; PROVIDING FOR CONDITIONS; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town wishes to provide disability and life insurance to its employees; and

WHEREAS, Mutual of Omaha Insurance (“Mutual”) has provided the Town with a competitive unchanged rate for the last six fiscal years; and

WHEREAS, the Town Council has determined that Mutual is a responsible provider, offering the same rate and services for two more fiscal years for short term/long term disability, and life and accidental death and dismemberment insurance; and

WHEREAS, the Town Council finds that the proposals offered by Mutual are in the best interest of the Town.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above recitals are hereby adopted, confirmed and incorporated herein.

Section 2. Proposal Accepted. The proposals presented by Mutual for short term/long term disability, and life and accidental death and dismemberment insurance,

as described and set forth in the Agenda Item Report attached hereto and incorporated herein, are hereby accepted.

Section 3. Conditions. The acceptance of this proposal is conditioned upon the guarantee of the current fixed rates for another two fiscal years as stated in the attached proposal letter between the Town and Mutual and the approval of the Town Attorney the proposal letter and any related agreements as to form and legal sufficiency. Once so approved, the Town Mayor is hereby authorized to execute said proposal or other agreement on behalf of the Town.

Section 4. Implementation. The Mayor and Town Manager are hereby authorized to take any and all action necessary to implement this Resolution in accordance with its terms and conditions including, but not limited to, the designation of a new agent of record.

Section 5. Effective Date. That this Resolution shall become effective immediately upon approval of the Town Council.

Sponsored by the **Town Administration**

The Motion to adopt the foregoing resolution was offered by _____,

seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Bernard Einstein	_____
Councilmember Kenneth Bernstein	_____
Councilmember Amy Isackson-Rojas	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day of August, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

SOUTH FLORIDA GROUP OFFICE
 MUTUAL OF OMAHA
 1000 SAWGRASS CORPORATE PARKWAY
 SUITE 158
 SUNRISE, FL 33323-0000
 PHONE: (866) 660-0828
 FAX: (954) 845-6077



July 1, 2013

Gloria Rosen
 21549 Cavandish Road
 Boca Raton, FL 33433

Re: Town of Golden Beach
 Group #: **G000757J**

Dear Gloria:

Thank you for choosing Mutual of Omaha as your client's benefits provider. It has been our pleasure to provide Town of Golden Beach with group benefits and services that are unique to your client's individual needs. Mutual of Omaha is committed to providing unparalleled service that will meet the needs of our customers.

Each renewal period, we analyze current benefit and rate structures to determine the appropriate rates for continued group insurance protection for your valued employees. This process includes recalculation of the premium rates to reflect factors like:

- plan features
- demographics
- nature of business
- experience
- any adjustments to our underlying rate structure

Based upon our review, your renewal rates, effective 10/1/2013, are as follows:

Coverage	Rate Basis	Current Rate	Current Monthly Premium	Renewal Rate	Renewal Monthly Premium	Renewal Monthly Premium Change	Rate Guarantee Date
Employee Term Life	Per \$1,000	\$0.250	\$534.08	\$0.250	\$534.08	\$0.00	10/1/2015
Employee AD&D	Per \$1,000	\$0.030	\$64.09	\$0.030	\$64.09	\$0.00	10/1/2015
Short-Term Disability	Per \$10 of Weekly Benefit	\$0.270	\$698.55	\$0.270	\$698.55	\$0.00	10/1/2015
Long-Term Disability	Per \$100 of Monthly Covered Payroll	\$0.640	\$1,174.92	\$0.640	\$1,174.92	\$0.00	10/1/2015
Premium Totals			\$2,471.64		\$2,471.64	\$0.00	

The monthly premium shown is based upon current billed lives and volume.

We appreciate your business and look forward to the continued opportunity to meet your group insurance needs. If you have any questions or if we can be of further assistance, please contact me at (866) 660-0828 or Karen.Plunkett@mutualofomaha.com.

Sincerely,

Karen Plunkett
Account Executive



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Subject: Resolution No. 2315.13 – Declaring Certain Personal Property
(Police K-9 Dog “Bento”) to be disposed of :

Item Number:

15

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. 2315.13 as presented.

Background:

K-9 Bento is at or about 7 years old. Bento has been out of service and not trained for the past two and a half years. Bento’s training is minimal at best; and his assignment to another officer, based on his age, would be ineffective. This is why it is recommended that he be retired and sold to Mr. Lyndean Peters, his handler for several years.

Fiscal Impact:

The Town would save on Bento’s monthly food, supply and, yearly veterinarian expenses.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2315.13

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, DECLARING CERTAIN PERSONAL PROPERTY (POLICE K-9 DOG) OWNED BY THE TOWN TO HAVE NO INSTRINSIC MONETARY VALUE AND PROVIDING FOR DISPOSITION; AUTHORIZING THE TOWN MANAGER TO PROVIDE FOR THE DISPOSITION OF SUCH PERSONAL PROPERTY BY BILL OF SALE; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Golden Beach's (the Town's) police K-9 dog, "Bento", is 7 years old and has been out of service for the past two and a half years. Bento's training is minimal at best, and his assignment to another officer, based on his age, would be ineffective and no longer eligible for public service; and

WHEREAS, due to "Bento's" age and lack of training for an extended period of time, the Town has determined that he has no intrinsic monetary value; and

WHEREAS, the Town wishes to decommission "Bento," and as personal property of the Town, provide for his disposition and transfer to his handler, Mr. Lyndean Peters; and

WHEREAS, the Town Council is authorized to determine that certain personal property owned by the Town has no value, is no longer needed for public purposes, and should be disposed of; and

WHEREAS, the Town Council hereby finds and determines that it is in the Town's best interest to decommission the police K-9 dog "Bento" and provide for the disposition and transfer as personal property.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals is hereby adopted and confirmed.

Section 2. Determination. The Town Council hereby finds and determines that the police K-9 dog “Bento” should be decommissioned, has no intrinsic monetary value, and should be disposed of and transferred as personal property to his handler, Mr. Lyndean Peters.

Section 3. Disposition Authorized. The Town Manager is hereby authorized to dispose of and transfer the above referenced personal property by Bill of Sale, substantially in the form attached hereto as Exhibit “A” once approved as to form and legal sufficiency by the Town Attorney, and any other procedures established by the Town Manager.

Section 4. Implementation. The Mayor and Town Manager are authorized to take any and all action which is necessary to implement this Resolution.

Section 5. Effective Date. That this Resolution shall become effective immediately upon adoption hereof.

Sponsored by **the Town Administration.**

The Motion to adopt the foregoing Resolution was offered by _____,
seconded by _____ and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackson-Rojas	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day of August, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

Exhibit “A”

Bill of Sale

QUITCLAIM BILL OF SALE

For the purchase price of One Dollar (\$1.00) and other good and valuable consideration, the **TOWN OF GOLDEN BEACH, a Florida municipal corporation** (the "Seller"), does hereby grant, bargain, sell, transfer, and deliver to **Mr. Lyndean Peters** (collectively, the "Buyer"), all of Seller's right, title and interest, in and to that certain personal property located in Miami-Dade County, Florida, and more particularly described as follows:

One (1) male police canine dog, German Sheppard breed, seven (7) years old, and known as "Bento" (the "Personal Property").

TO HAVE AND TO HOLD the Personal Property unto the Buyer, its successors and assigns, forever.

THE PERSONAL PROPERTY CONVEYED "AS IS," "WHERE IS," AND "WITH ALL FAULTS" AS OF THE DATE OF THE EXECUTION OF THIS BILL OF SALE, WITHOUT ANY REPRESENTATION OR WARRANTY WHATSOEVER AS TO ITS CONDITION, FITNESS FOR ANY PARTICULAR PURPOSE, MERCHANTABILITY OR ANY OTHER WARRANTY, EXPRESS OR IMPLIED. BUYER IS HEREBY ACQUIRING THE PERSONAL PROPERTY BASED SOLELY UPON BUYER'S OWN INDEPENDENT INVESTIGATIONS AND INSPECTIONS OF THAT PROPERTY AND NOT IN RELIANCE ON ANY INFORMATION PROVIDED BY SELLER OR SELLER'S AGENTS OR CONTRACTORS.

IN WITNESS WHEREOF, Seller has caused this Bill of Sale to be executed this _____ day of _____, 2013.

TOWN OF GOLDEN BEACH,
a Florida municipal corporation

By: _____
Alexander Diaz, Town Manager

Pursuant to Resolution No. _____

Attest:

Town Clerk

Approved as to form and legal sufficiency:

Town Attorney

STATE OF FLORIDA)
 SS:
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2013,

by Alexander Diaz, as Town Manager, of the Town of Golden Beach, a Florida municipal corporation, on behalf of said corporation, who (check one) is personally known to me or has produced a _____ as identification.

(seal)

NOTARY PUBLIC

[Acknowledgment of Buyer Follows on Next Page]

ACCEPTED AND AGREED TO BY BUYER THIS ___ DAY OF _____ 2013.

Mr. Lyndean Peters

STATE OF FLORIDA)
 SS:
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ___ day of _____, 2013, by Mr. Lyndean Peters, who (check one) [] is personally known to me or [] has produced a _____ as identification.

(seal)

NOTARY PUBLIC



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz, *Alex B*
Town Manager

Subject: Resolution No. 2316.13 – Proposed Millage Rate, Voted Millage Rate and Budget Hearing Dates

Item Number: _____16_____

Recommendation:

The Administration recommends that the Mayor and Town Council adopt the attached resolution, which authorizes the Town Manager to set the Proposed Millage Rate, Voted Millage Rate and set the dates for the two (2) public budget hearings. The Resolution places a ceiling (cap) of the rate as follows:

1). Caps the Proposed Millage and Voted Millage Rates for Fiscal Year 2013-2014

General Operating	7.7756 (7.6556 last year, 0.1200 increase)
Voted Debt Service	1.3870 (1.5070 last year, 0.1200 decrease)
Total	9.1626 (8.5000 last year, 0.6626 increase)

2). The first public hearing to consider the proposed millage rates and tentative budgets for fiscal year 2013-2014 shall be set for the week of Tuesday, September 18, 2013 at 7:00 pm., at Town Hall, One Golden Beach Drive, Golden Beach, Florida. The exact date will be selected by the Town Manager after first consultation with the Mayor and Members of the Town Council.

Background:

The Administration is recommending a total combined millage rate for the Town of Golden Beach that would not exceed 9.1626 **for TRIM (Truth In Millage) notice purposes only.**

The Administration will prepare and propose an Operating Budget based on the combined millage rate of 8.5000 mills as adopted for Fiscal Year 2012-2013.

Thus for planning and budgeting purposes the following millage rate will be followed:

Tentative Millage Rates for Fiscal Year 2013-2014:

General Operating	7.1130 (6.9799 last year, 0.1331 increase)
Voted Debt Service	1.3870 (1.5070 last year, 0.1200 decrease)
Total	8.5000 (8.5000 last year, 0.0000 increase)

As of June 1, 2011 the Town's June 1st Estimate of Taxable Value is \$633,000,000 an increase of \$2,317,394.00 from the prior year at which time the Town's Taxable Values was \$630,682,606.

The chart below offers a historical representation of the Town's millage rate as of F/Y 2003-2004 to present.

Year	Assessed Value	Operating Millage	Debt Millage	Ad Valorem Revenues
2003-2004	438,751,852	8.59	0	\$3,768,878
2004-2005	481,258,016	8.59	0	\$4,134,006
2005-2006	537,187,063	8.59	0	\$4,614,437
2006-2007	620,709,625	8.59	0	\$5,331,896
2007-2008	705,403,202	8.5	0	\$5,995,927
2008-2009	727,052,005	7.605	0.895	\$5,529,230
2009-2010	712,373,295	7.1525	1.3475	\$5,095,250
2010-2011	644,237,679	7.014	1.486	\$4,518,683
2011-2012	630,000,000	6.9799	1.5201	\$4,397,337
2012-2013	633,000,000	6.995	1.5070	\$4,427,835
2013-2014	693,713,276	7.7756	1.3870	\$5,394,037

Over the last several years, I have presented, and the Town of Golden Beach has adopted, budgets that provide services that exceed the expectations of our residents, visitors, Mayor and Members of the Town Council.

As we commence the Operating Budget preparation we must all keep in-mind that we are starting off the 2013-2014 Operating Budgets with a deficit in excess of -\$550,000. This is due to the non-recurring allocation of \$550,000.00 from the Town's reserves to balance the 2012-2013 Operating Budget.

When I present our budgets in September it will continue our focus on providing **“value of services for tax dollars paid”** by continuing to provide those services our residents have come to expect of Golden Beach and this Administration.

After setting the proposed operating and debt service millage rate, the Town Council may, at any time prior to the final adoption, lower the rates. Increasing the millage rate may only be accomplished by an expensive mailing and advertising process to every property owner of Golden Beach.

This process is similar to that used in setting the FY 2011-2012 and the 2012-2013 millages.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2316.13

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, RATIFYING THE MAXIMUM PROPOSED MILLAGE RATE FOR F/Y 2013-2014 THAT WAS TRANSMITTED TO THE PROPERTY APPRAISER OF MIAMI-DADE COUNTY PURSUANT TO THE REQUIREMENTS OF FLORIDA STATUTES AND THE RULES AND REGULATIONS OF THE DEPARTMENT OF REVENUE OF THE STATE OF FLORIDA; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on July 1, 2013, The Property Appraiser of Miami-Dade County, Florida, served upon the Town of Golden Beach (the "Town") a "Certification of Taxable Value" certifying to the Town its 2013 taxable value; and

WHEREAS, the provisions of Section 200.065, Florida Statutes, require that within thirty-five (35) days of service of the Certification of Taxable Value upon a municipality, said municipality shall be required to furnish to the Property Appraiser of Miami-Dade County the proposed millage rate, the current year rolled-back rate, and the date, time, and place at which a public hearing will be held to consider the proposed millage and the tentative budget; and

WHEREAS, the Town through its Mayor and Manager have complied with the submittal requirements; and

WHEREAS, based upon preliminary valuations provided by the Property Appraiser, the Town Council agreed for the Town, through the Mayor and Manager, to advise the Property Appraiser that the proposed millage shall be an amount not to exceed 7.6556 mills and 1.5070 of voted millage.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. That each of the above stated recitals is hereby adopted and confirmed.

Section 2. Acceptance. The Town Council acknowledges and accepts that the Town Mayor and Manager set the Proposed Millage and the Proposed Voted Millage at a rate not to exceed 7.6556 mills and 1.5070 voted mills respectively, and shall advise the Property Appraiser of said rates and provide the Property Appraiser with all other information required by law.

Section 3. Effective Date. That this Resolution shall be effective immediately upon adoption.

Sponsored by **the Town Administration.**

The Motion to adopt the foregoing resolution was offered by _____,
seconded by _____, and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Bernard Einstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Kenneth Bernstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida, this 20th day of August, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY




TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz, 
Town Manager

Subject: **Draft Budget For Discussion**

Item Number:

XX

Attached for your review is a draft of the financial portion of our budget. As you know, at the September 18th, 2013 First Budget Hearing I will present to you the budget in its entirety with our goals, priorities, history, and financial data. This year, I've chosen only to present to you at today's meeting simply the numbers. And as you will find in the attached documents we have been able to present to you a balanced budget meeting all of our financial goals and expectations for the coming year while maintaining a combined millage rate of 8.5 mills. I look forward to having a brief discussion with you this evening, and as you will find in the attached budget I have included your goals, priorities and expectations that we discussed during our one-on-one meetings.

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 001	GENERAL FUND						
311100	CURRENT AD VALOREM TAX (GF)	5,239,320	4,840,487	4,292,749	4,181,996	4,212,019	4,653,144
311101	VOTED DEBT SERVICE (AD VALOREM)	616,593	-	-	-	-	-
312100	LOCAL OPTION GAS TAX	27,926	24,819	24,023	24,023	24,429	25,390
312400	MIAMI-DADE NEW 1/2 C SALES TAX	32,000	32,000	9,449	20,000	20,000	31,000
323100	ELECTRICITY - FRANCHISE	-	-	-	-	-	-
323400	GAS - FRANCHISE	5,000	5,000	5,000	5,000	5,000	5,000
323500	CABLE - FRANCHISE	-	-	-	-	-	-
315100	COMMUNICATIONS SERVICES TAX	28,309	28,309	26,973	26,973	24,534	23,336
314400	UTILITY TAX - GAS	4,000	4,000	4,000	4,500	4,500	5,200
316100	LOCAL BUSINESS TAX (MUNICIPAL OCCUPATIONAL LICENSE)	8,000	6,000	6,000	8,000	10,000	10,000
322100	BUILDING PERMITS	250,000	200,000	200,000	250,000	250,000	275,000
322102	RE-INSPECTIONS	500	200	200	200	200	100
322103	BUILDING IMAGING FEE	-	1,000	1,500	3,000	3,000	4,000
322104	BUILDING STREET SWEEPING	-	1,200	1,500	2,500	2,500	3,000
322105	BUILDING DUMPSTER PERMIT	-	1,500	2,000	12,000	12,000	13,500
322106	BUILDING FEES - TRANSIENT	-	-	75	100	500	500
322200	BUILDING REGULATORY BOARD	6,000	3,000	3,000	10,000	10,000	10,000
322300	EDUCATIONAL FEE	2,500	1,500	1,500	1,500	1,500	100
322400	CONTRACTOR REGISTRATION FEE	6,000	5,000	4,500	7,000	10,000	10,000
322500	BUILDING MISCELLANEOUS	450	450	450	450	450	500
322900	PERMIT PROCESSING FEES	66,000	50,000	66,000	90,000	110,000	140,000
329100	FILM PERMITS	35,000	15,000	15,000	19,000	19,000	19,000
329200	CERTIFICATE OF OCCUPANCY	1,200	1,200	1,200	1,200	1,800	1,800
334200	STATE GRANT PROCEEDS	-	27,000	-	-	-	-
335120	STATE REVENUE SHARING	17,826	15,488	16,398	17,342	17,309	18,221

Town Of Golden Beach Budget Support Information Proposed FY 2013-2014

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
FUND 001	GENERAL FUND		
311100	CURRENT AD VALOREM TAX (GF)	Current Year Gross Taxable Value 688,604,864 X Proposed Millage Rate of 7.1130. We are to budget only 95% of the ad valorem	4,653,144
311101	VOTED DEBT SERVICE (AD VALOREM)		-
312100	LOCAL OPTION GAS TAX	State Estimates	25,390
312400	MIAMI-DADE NEW 1/2 CENT SALES TAX	Miami Dade Co. estimates	31,000
313100	ELECTRICITY-FRANCHISE		-
313400	GAS-FRANCHISE	Town estimate based on prior years' revenues. Tax is based on a percentage of actual usage.	5,000
313500	CABLE-FRANCHISE		-
314200	COMMUNICATIONS SERVICES TAX	FL Dept of Revenue estimate	23,336
314400	UTILITY TAX-GAS	Teco Gas Estimate based on prior years' collections	5,200
316100	MUNICIPAL OCCUPATIONAL LICENSE	Based on submission of municipal contractors licenses (provided by Building Department)	10,000
322100	BUILDING PERMITS	Provided by Building Department	275,000
322102	RE-INSPECTIONS	Estimate based on review of prior years' actual income - (provided by Building Department)	100
322103	BUILDING IMAGING FEE	Fee for copy of plans (provided by Building Department)	4,000
322104	BUILDING STREET SWEEPING	Fee charged to all permitting per 1,000 of value project .20	3,000
322105	BUILDING DUMPSTER PERMIT	Trash Hauling Fee (provided by Building Department)	13,500
322106	BUILDING FEES-TRANSIENT	Fees for registration of rental property	500
322200	BUILDING REGULATORY BOARD	Estimate based on older homes currently for sale - (provided by Building Department)	10,000
322300	EDUCATIONAL FEE	Permit surcharge on master permits charged at 20 cents per \$1000 of value - (provided by Building Department)	100
322400	CONTRACTOR REGISTRATION FEE	Registration of all contractors that provide services within the Town	10,000
322500	BUILDING MISCELLANEOUS	Structural Review fees - (provided by Building Director)	500
322900	PERMIT PROCESSING FEES	Based on the value of all construction work x .75% - (provided by Building Dept.)	140,000
329100	FILM PERMITS	Estimate based on prior years actual revenues	19,000
329200	CERTIFICATE OF OCCUPANCY	\$200 per certificate for temporary & permanent	1,800
344200	STATE GRANT PROCEEDS		-

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
335180	HALF (1/2) CENT SALES TAX	62,160	53,171	56,129	56,000	62,729	64,656
335182	NEW HALF CENT SALES TAX	-	-	-	-	-	-
335490	MOTOR FUEL TAX REBATE	2,250	4,500	1,000	-	-	-
341100	STORMWATER FUND ADMIN. FEE	197,206	200,000	200,000	200,000	244,000	200,000
342900	OFF DUTY	2,000	8,000	4,000	4,000	4,000	2,000
343900	LOT CLEANING	1,000	1,000	1,000	1,000	1,000	-
343911	A1A REIMBURSEMENT	13,969	13,969	13,969	13,969	13,969	13,969
347900	RECREATION PROCEEDS	3,000	3,000	1,500	1,500	1,500	1,500
351100	FINES AND FORFEITURES	23,000	23,000	23,000	23,000	23,000	23,000
351101	LAW ENF. TRUST FUND (LETF)	1,500	1,500	1,500	-	1,500	1,500
354100	VIOLATION OF LOCAL ORDINANCES	5,000	5,000	10,000	130,000	90,000	90,000
354101	SPECIAL MASTER ADMIN. FEES	1,000	1,000	1,000	1,000	1,000	1,000
361100	INTEREST ON INVESTMENTS	35,000	35,000	35,000	17,000	17,000	12,000
361113	INTEREST INCOME	60,000	60,000	10,000	1,100	1,100	1,100
369900	MISCELLANEOUS REVENUES	19,000	19,000	94,000	96,000	90,000	70,000
369901	TAX LIEN LETTER INCOME	4,000	4,000	4,000	2,500	2,500	500
369903	PUBLIC RECORDS REQUESTS & PHOTOCOPIES	1,000	1,000	1,000	800	800	800
369904	PUBLIC RECORDS REQUESTS DOCUMENT IMAGING RETRIEVAL	2,000	2,000	-	-	-	-
369905	TRANSPONDERS	1,500	1,200	1,000	-	-	-
381200	TRANSFER FROM FUND BALANCE	1,820,000	460,000	550,000	550,000	550,000	550,000
361210	TRANSFER FROM FUND-120	195,000	195,000	195,000	190,000	60,000	60,000
001 GENERAL FUND TOTALS		8,796,210	6,354,493	5,884,615	5,972,653	5,902,839	6,340,816

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
335120	STATE REVENUE SHARING	FL Dept of Revenue Estimates	18,221
335180	HALF (1/2) CENT SALES TAX	FL Dept of Revenue estimates	64,656
335182	NEW HALF CENT SALES TAX		-
335490	MOTOR FUEL TAX REBATE		-
341100	STORMWATER FUND ADMIN. FEE	Administration Fee Charged to the Stormwater Fund	200,000
342900	OFF DUTY	Administration Fee charged for off duty detail	2,000
343900	LOT CLEANING	For Worked Performed on Vacant Lots	-
343911	A1A REIMBURSEMENT	Per reimbursement agreement with F.D.O.T.	13,969
347900	RECREATION PROCEEDS	Monies Collected on Ticket Sales for Events and Facility Rental Fees	1,500
351100	FINES AND FORFEITURES	Distributed by County Court	23,000
351101	LAW ENFORCEMENT TRAINING TRUST FUND (LETF)	Distributed by County Court	1,500
354100	VIOLATION OF LOCAL ORDINANCES	Special Master Program violation exclude administration fees	90,000
354101	SPECIAL MASTER ADMIN. FEES	Administration Fee for Special Master Hearing	1,000
361100	INTEREST ON INVESTMENTS	Interest earned on funds held at State Board of Admin.	12,000
361113	INTEREST INCOME	Interest earned on funds at Northern Trust Bank.	1,100
369900	MISCELLANEOUS REVENUES	Newsletter Ads, Public Records and other misc.	70,000
369901	TAX LIEN LETTER INCOME	Lien requests to finance dept & building dept.	500
369903	PUBLIC RECORDS REQUESTS & PHOTOCOPIES	Decreased due to verification of true revenue breakdown	800
369904	PUBLIC RECORDS REQUESTS FOR DOCUMENT IMAGING PHOTOCOPIES		-
369905	TRANSPONDERS		-
381200	TRANSFER FROM FUND BALANCE	For Operational Enhancements	550,000
381210	TRANSFER FROM FUND - 120	Administrative Fee	60,000
<u>001 GENERAL FUND TOTALS</u>			6,340,816

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 120	LAW ENFORCEMENT TRUST FUND						
351100	FORFEITURES (DEA)	-	-	125,000	350,000	50,000	60,000
361100	INTEREST ON INVESTMENTS	2,000	100	500	500	-	-
361113	INTEREST INCOME	-	3,000	150	150	-	-
361911	TASK FORCE PROCEEDS (SFMLTF)	225,000	191,000	75,000	100,000	100,000	30,000
369900	MISC. REVENUES	-	-	-	1,500	-	8,000
381200	TRANSFER FROM FUND BALANCE	6,963	195,000	195,000	-	260,411	392,847
	<u>120 LAW ENFORCEMENT FUND TOTALS</u>	<u>233,963</u>	<u>389,100</u>	<u>395,650</u>	<u>452,150</u>	<u>410,411</u>	<u>490,847</u>

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
FUND 120	LAW ENFORCEMENT		
351100	FORFEITURES (DEA)	Forfeitures	60,000
361100	INTEREST ON INVESTMENTS		-
361113	INTEREST INCOME		-
361911	TASK FORCE PROCEEDS (SFMLTF)	Forfeitures	30,000
369900	MISC. REVENUES	Misc. forfeitures	8,000
381200	TRANSFER FROM FUND 120 FUND BALANCE	Fund balance transfer	392,847
	<u>120 LAW ENFORCEMENT FUND TOTALS</u>		490,847

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 140	SPECIAL ASSESSMENT II						
363102	SPECIAL ASSESSMENT II	50,000	50,000	14,000	12,000	10,000	5,000
361113	INTEREST INCOME	6,000	1,000	2,000	500	200	-
361100	INTEREST ON INVESTMENTS	250	5	60	20	10	-
381200	TRANSFER FROM FUND BALANCE	206,868	213,402	76,500	79,480	-	-
140 SPECIAL ASSESSMENT II FUND TOTALS		263,118	264,407	92,560	92,000	10,210	5,000

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
FUND 140	<u>SPECIAL ASSESSMENT II</u>		
363102	SPECIAL ASSESSMENT II	Sewer Assessment II Funds received either as an annual payment or in a lump payoff when a home is sold	5,000
361113	INTEREST INCOME	Interest (Northern Trust Bank).	-
361100	INTEREST ON INVESTMENTS	Interest (State Board of Administration).	-
381200	TRANSFER FROM FUND BALANCE		-
	<u>140 SPECIAL ASSESSMENT II FUND TOTALS</u>		5,000

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 210	DEBT SERVICE FUND						
311101	VOTED DEBT SERVICE (ADVALOREM)	-	911,926	909,470	958,700	906,231	907,340
389195	TRANSFER FROM S/A II	-	-	-	92,000	10,210	5,000
381200	TRANSFER FROM GENERAL FUND	-	-	-	-	-	-
381210	LETF FUNDS	20,000	84,000	-	-	-	-
381220	FUND-330 CAPITAL FUND	62,000	262,000	170,000	66,747	103,190	107,346
381230	TRANSFER FROM GENERAL FUND (Fund Balance)	616,593	507,000	-	-	-	-
210 DEBT SERVICE FUND TOTALS		698,593	1,764,926	1,079,470	1,117,447	1,019,631	1,019,686

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
FUND 210	<u>DEBT SERVICE FUND</u>		
311101	VOTED DEBT SERVICE	Current Year Gross Taxable Value 633,839,127 X Proposed Millage Rate 1.505	907,340
389195	TRANSFER FROM S/A II	Debt Obligations (i.e. Interest on Lots)	5,000
381200	TRANSFER FROM GENERAL FUND		-
381210	LETF FUNDS		-
381220	FUND-330 CAPITAL FUND	Transfer for Payment on Northern Trust Loans Interest and Principle	107,346
381220	TRANSFER FROM GENERAL FUND		-
	<u>210 DEBT SERVICE FUND TOTALS</u>		1,019,686

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 330	CAPITAL IMPROVEMENT FUND						
381200	TRANSFER FROM GENERAL FUND	735,792	1,045,000	-	1,394,757	-	-
361113	INTEREST INCOME	220,000	50,000	10,000	-	-	-
369110	Town Bridge Replacement Program	317,931	-	-	-	-	-
363110	FDOT LAP	650,000	690,000	-	-	-	-
331400	TRANSPORTATION TRUST	100,000	-	-	-	-	-
384200	MIAMI-DADE G.O. BOND	180,000	160,000	-	160,000	-	-
384100	2008 TGB G.O. BOND	10,966,980	-	-	-	-	-
381200	INTER-FUND TRANSFER (LETF)	-	-	-	-	582,262	-
381230	CAPITAL FUND BALANCE	1,355,397	7,856,887	6,717,815	960,147	453,462	307,000
330	CAPITAL IMPROVEMENT FUND	14,526,100	9,801,887	6,727,815	2,514,904	1,035,724	307,000

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
<u>FUND 330</u>	<u>CAPITAL IMPROVEMENT FUND</u>		
381200	TRANSFER FROM GENERAL FUND		-
361113	INTEREST INCOME		-
369110	Town Bridge Replacement Program		-
363110	FDOT JPA		-
331400	TRANSPORTATION TRUST		-
384200	MIAMI-DADE G.O. BOND		-
384100	2008 TGB G.O. BOND		-
381200	INTER-FUND TRANSFER (LETF)	Transfer from LETF Funds for CIP projects	-
381230	GENERAL FUND RESERVES	Prior Fund Committed to Projects	307,000
	<u>330 CAPITAL IMPROVEMENT FUND TOTALS</u>		307,000

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 340	BRIDGE REPAIR & REPLACEMENT						
331490	FOOT LAP AGREEMENT	-	-	-	4,387,200	5,939,750	1,039,200
369110	Miami-Dade County PTP (Bridges)	-	300,000	-	-	-	-
381200	Bridge Fund (Fund Balance Allocation)	-	981,307	1,263,114	-	-	-
340	BRIDGE REPAIR & REPLACEMENT FUND		1,281,307	1,263,114	4,387,200	5,939,750	1,039,200

Town Of Golden Beach Budget Support Information Proposed FY 2013-2014

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
<u>FUND 340</u>	<u>BRIDGE REPAIR & REPLACEMENT</u>		
331490	FDOT LAP AGREEMENT	Federal Grant Florida Department of Transportation for Town Bridges	1,039,200
369100	Miami-Dade County PTP (Bridges)		-
381200	Bridge Fund Fund Balance		-
<u>340 BRIDGE REPAIR & REPLACEMENT FUND TOTALS</u>			1,039,200

**Town of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
FUND 410	STORMWATER UTILITY FUND						
324210	STORMWATER UTILITY FEES	160,000	160,000	160,000	160,000	160,000	166,000
312410	NEW LOCAL OPTION GAS TAX	10,646	9,583	10,318	10,318	9,521	9,856
323100	ELECTRICITY - FRANCHISE	95,000	95,000	95,000	95,000	60,000	85,000
314100	UTILITY TAX - ELECTRIC	100,000	100,000	100,000	100,000	100,000	95,000
331500	FEMA - FEDERAL GRANT	-	-	3,227,590	540,000	648,326	-
361100	INTEREST ON INVESTMENTS	3,200	3,200	400	400	-	100
361113	INTEREST INCOME	3,500	4,000	1,000	1,000	-	50
381121	STORMWATER FUND BALANCE	200,000	475,669	-	209,797	-	-
389300	S.F.W.M.D. GRANT PROCEEDS	1,100,000	542,589	-	-	-	-
334361	STATE REVOLVING LOAN	1,000,000	1,216,296	-	-	-	-
381230	STORMWATER FUND BALANCE	3,530,100	-	-	-	397,702	-
410 STORMWATER UTILITY FUND TOTALS		6,202,446	2,606,337	3,594,308	1,116,515	1,375,549	356,006

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>DESCRIPTION OF ITEM AND JUSTIFICATION</i>	<i>PROPOSED AMOUNT</i>
FUND 410	STORMWATER UTILITY FUND		
324210	STORMWATER UTILITY FEES	Estimate based prior year revenues & \$420 per year per home or vacant lot	166,000
312410	NEW LOCAL OPTION GAS TAX	Estimate provided by State of Florida Dept of Revenue	9,856
323100	ELECTRIC - FRANCHISE FEE	Municipal Franchise fee on sale of electric power. Based on our share which is 6% of 90% of net revenue less license fee.	85,000
314100	UTILITY TAX-ELECTRIC	Estimate based on avg monthly revenue x 12 months adjusted for possible changes in fuel charges by FPL (8%) STORMWATER FUND	95,000
331500	FEMA-FEDERAL GRANT	This is for the Seawalls at the Strand and Navona	-
361100	INTEREST ON INVESTMENTS	Interest	100
361113	INTEREST INCOME	Interest	50
381200	STORMWATER FUND BALANCE		-
389300	SFWMD GRANT PROCEEDS		-
389300	STATE REVOLVING LOAN		-
381230	Capital Fund Reserves	Fund Balance	-
	<u>410 STORMWATER UTILITY FUND TOTALS</u>		356,006

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
511 - LEGISLATIVE							
Personal Services							
511100	Council Compensation	5	5	5	5	5	5
511230	Council Insurance	-	-	-	-	-	45,708
Total Personal Services		5	5	5	5	5	45,713
Operating Expenses							
511360	Election Expenses	-	-	-	-	-	-
511400	Travel & Per Diem	4,000	3,800	2,000	1,500	1,000	1,000
511410	Communication and Freight Services	1,000	1,000	1,000	1,000	1,000	1,000
511480	Public Relations/Events/Ads	13,500	13,500	13,000	13,000	13,000	13,000
511485	Council Reimbursement Expense	500	-	-	-	-	-
511520	Operating Supplies	1,300	1,300	1,000	1,000	1,000	1,000
511528	Council Meeting Expenses	5,500	5,500	5,000	5,000	5,000	5,000
511540	Books, Pub, Subscrip, Memberships	4,000	3,000	2,500	2,500	2,500	2,500
511640	Machinery & Equipment	10,000	8,500	5,000	8,100	8,100	8,100
Total Operating Expenses		39,800	36,600	29,500	32,100	31,600	31,600
TOTAL LEGISLATIVE - 511		39,805	36,605	29,505	32,105	31,605	77,313

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
511 - LEGISLATIVE			
Personal Services			
511100	Council Compensation	Set by Town Charter	5
511230	Council Insurance	Insurance Authorized by Resolution #2290.13	45,708
Total Personal Services			45,713
Operating Expenses			
511360	Election Expenses		-
511400	Travel & Per Diem	Travel costs, reimbursements for private vehicles, per diem, meals, and incidental travel expenses	1,000
511410	Communication and Freight Svcs	Teleconference & FedEx w/council members, include special Mayor mailings i.e., surveys, notices, wireless cards, etc.	1,000
511480	Public Relations/Events/Ads	Employee Luncheon's/Employee of the Quarter	13,000
511485	Council Reimbursement Expense		-
511520	Operating Supplies	Office Supplies; Copy paper; File Folders; Pens; etc.	1,000
511528	Council Meeting Expenses	Food & drinks for Council Meetings (includes additional meetings)	5,000
511540	Books, Pub, Subscrip, Memberships	Board Meeting FL League of Cities (860) City Attorneys Dues (495) FL League Annual Memb. (964.64) FL Magazine Subs. (371) FSBPA Conf (375)	2,500
511640	Machinery & Equipment	AV/IT equipment as needed	8,100
Total Operating Expenses			31,600
TOTAL LEGISLATIVE - 511			77,313

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
512 - EXECUTIVE							
	Personal Services						
512110	Town Manager	134,550	134,550	134,550	134,550	137,190	141,172
512111	Retirement	13,455	13,455	13,267	13,455	13,719	17,500
512120	Salary - General Employees	75,848	78,842	78,842	78,842	80,770	81,914
512140	Overtime	1,000	1,000	1,000	1,000	1,000	1,000
512210	FICA	16,096	16,401	16,401	16,401	17,917	18,385
512220	Retirement	14,761	15,059	15,059	15,059	15,427	16,219
512230	Life, Health & Dental Insurance	18,980	20,702	15,103	15,103	23,431	26,043
512240	Workers Compensation	1,010	808	808	808	883	906
512250	Unemployment	-	-	-	-	-	-
	Total Personal Services	275,700	280,817	275,030	275,218	290,337	303,139
	Operating Expenses						
512400	Travel & Per Diem	16,121	20,000	15,000	15,000	15,000	15,000
512410	Communication and Freight Services	4,500	5,300	5,000	5,000	5,000	5,000
512460	Repairs & Maintenance	1,000	1,000	500	500	500	500
512470	Printing & Binding	19,400	18,600	10,000	10,000	10,000	10,000
512510	Office Supplies	4,850	4,200	3,000	3,000	2,000	2,000
512520	Operating Supplies	4,850	4,200	4,000	4,000	4,000	4,000
512528	Meetings Expenses - Food	-	-	-	-	2,600	2,600
512540	Books, Pub, Subscrip, Memberships	4,850	4,800	4,600	4,600	4,600	4,600
512541	Continuing Education	3,850	3,800	3,500	3,500	3,500	5,286
512640	Machinery & Equipment	1,490	3,600	2,000	2,000	2,000	3,600
	Total Operating Expenses	60,911	65,500	47,600	47,600	49,200	52,586
TOTAL EXECUTIVE DEPARTMENT - 512		336,611	346,317	322,630	322,818	339,537	355,725

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
512 - EXECUTIVE			
Personal Services			
512110	Town Manager	Town Manager Salary (Balance of Salary and Bonus in Capital Budget)	141,172
512111	Retirement	10% of Salary as per contract (Balance in Capital Budget)	17,500
512120	Salary - General Employees	Assistant to the Town Manager and Community Development Specialist	81,914
512140	Overtime	As needed for Special Projects	1,000
512210	FICA	7.65% of Salary	18,385
512220	Retirement	Town Pension Retirement Plan (excluding contract employees).	16,219
512230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	26,043
512240	Workers Compensation	Code 8010 (gross salary multiplied by current rate of .00377)	906
512250	Unemployment		-
Total Personal Services			303,139
Operating Expenses			
512400	Travel & Per Diem	Travel costs, reimbursement for private vehicle (\$13,500 no change), per diem, meals, conferences, and travel expenses	15,000
512410	Communication and Freight Svcs	Cell phones, air cards, etc.	5,000
512460	Repairs & Maintenance	Minor repair to office equipment or furniture	500
512470	Printing & Binding	Business stationary and monthly newsletter to residents	10,000
512510	Office Supplies	Office supplies, copy paper, file folders, pens, etc.	2,000
512520	Operating Supplies	Toner ink for printers, fax, water, coffee, and Zee medical supply	4,000
512528	Meeting Expenses -Food	Meeting Expenses	2,600
512540	Books, Pub, Subscrip, Memberships	ICMA, FCCMA, MDCCMA, and Employee Law Bulletin	4,600
512541	Continuing Education	Reimbursement for employee continued education at an accredited school	5,286
512640	Machinery & Equipment	As needed for upgrades	3,600
Total Operating Expenses			52,586
TOTAL EXECUTIVE DEPARTMENT - 512			355,725

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
512 -TOWN CLERK							
	Personal Services						
512-113100	Town Clerk Salary	57,846	57,846	57,846	57,846	59,292	60,775
512-125100	Support Service Clerk	21,632	21,632	21,632	21,632	36,393	37,289
512-210100	FICA	6,080	6,080	6,080	6,080	7,141	7,319
512-220100	Retirement	11,251	11,049	11,049	11,049	18,276	19,417
512-230100	Life, Health & Dental Insurance	6,683	7,304	14,072	14,072	14,976	16,717
512-240100	Workers Compensation	381	300	300	300	352	361
	Total Personal Services	103,873	104,211	110,979	110,979	136,430	141,878
	Operating Expenses						
512-360100	Election Expenses	10,000	8,500	10,000	5,000	10,000	5,000
512-400100	Travel & Per Diem	2,828	2,100	1,500	1,500	1,500	1,500
512-410100	Communication and Freight Services	1,591	1,800	1,500	1,500	2,500	2,500
512-440100	Off Site Storage	2,352	2,100	2,100	2,100	3,100	3,100
512-460100	Repairs & Maintenance	-	-	-	-	-	-
512-470100	Printing & Binding	5,500	5,500	4,500	4,500	4,500	4,500
512-492100	Legal Advertising	18,000	18,000	16,000	16,000	16,000	16,000
512-510100	Office Supplies	2,822	2,600	2,000	2,000	2,000	2,000
512-520100	Operating Supplies	3,764	3,200	2,000	2,000	2,000	2,000
512-540100	Books, Pub, Subscrip, Memberships	970	900	800	800	800	800
512-640100	Machinery & Equipment	2,200	2,100	1,600	1,600	1,000	1,000
	Total Operating Expenses	50,027	46,800	42,000	37,000	43,400	38,400
TOTAL TOWN CLERK - 512		153,900	151,011	152,979	147,979	179,830	180,278

Town Of Golden Beach Budget Support Information Proposed FY 2013-2014

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
512 - TOWN CLERK			
Personal Services			
512113100	Town Clerk Salary	Town Clerk salary	60,775
512-125100	Support Service Clerk	Part-Time assistant	37,289
512210100	FICA	7.65% of Salary	7,319
512220100	Retirement	Town Pension Retirement Plan	19,417
512230100	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	16,717
512240100	Workers Compensation	Code 8010 (gross salary multiplied by current rate of .00377)	361
Total Personal Services			141,878
Operating Expenses			
512360100	Election Expenses	Election this year	5,000
512400100	Travel & Per Diem	FACC Conf. & Institute ; IIMC	1,500
512410100	Communication and Freight Svcs	Cell Phone, Fed Ex, Courier	2,500
512440100	Off Site Storage	Iron Mountain	3,100
512460100	Repairs & Maintenance		-
512470100	Printing & Binding	Codification	4,500
512492100	Legal Advertising	RFP; Legal Notices	16,000
512510100	Office Supplies	Council Binders, index sheets, copy paper etc.	2,000
512520100	Operating Supplies	Videos and tapes, water, coffee, Zee medical supplies, code books, Sunshine manuals	2,000
512540100	Books, Pub, Subscrip, Memberships	FACC; IIMC; MDCCA and class registration fees	800
512640100	Machinery & Equipment	As needed for upgrades	1,000
Total Operating Expenses			38,400
TOTAL TOWN CLERK - 512			180,278

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
513 - FINANCE DEPT							
Personal Services							
513110	Finance Director	65,578	66,828	66,828	66,828	68,499	70,211
513120	Salary - General Employee	43,379	43,379	43,379	45,449	46,585	47,757
513140	Overtime	-	-	-	-	1,000	1,000
513210	FICA	8,335	8,430	8,430	8,430	8,589	8,804
513220	Retirement	21,192	21,047	21,047	21,047	21,981	23,358
513230	Life, Health & Dental Insurance	17,854	19,693	21,022	21,022	18,708	20,573
513240	Workers Compensation	523	416	416	416	423	434
513250	Unemployment	-	-	-	-	-	-
	Total Personal Services	156,861	159,793	181,122	163,192	165,785	172,137
Operating Expenses							
513310	Professional Services	5,000	5,400	5,400	5,400	5,400	5,400
513320	Accounting & Auditing	45,000	40,000	40,000	40,000	40,000	40,000
513400	Travel & Per Diem	3,000	3,000	2,500	2,500	2,500	2,500
513410	Communication and Freight Services	2,300	2,300	2,000	2,000	2,000	2,000
513464	Repairs & Maintenance	-	-	-	-	-	-
513510	Office Supplies	2,500	1,300	1,000	1,000	1,000	1,000
513520	Operating Supplies	5,136	6,290	5,000	5,000	4,000	4,000
513540	Books, Pub, Subscrip, Memberships	1,700	1,000	1,000	1,000	1,000	1,000
513640	Machinery & Equipment	1,000	1,000	1,000	1,000	1,000	1,000
	Total Operating Expenses	65,636	60,290	57,900	57,900	56,900	56,900
TOTAL FINANCE DEPARTMENT - 513		222,497	220,083	219,022	221,092	222,685	229,037

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
513 - FINANCE DEPT			
Personal Services			
513110	Finance Director	Finance Director Salary	70,211
513120	Salary - General Employee	Accountant & Asst. to Finance Director	47,757
513140	Overtime	Payment for time worked in excess of 40 hours per week	1,000
513210	FICA	7.65% of Salary	8,804
513220	Retirement	Town Pension Plan	23,358
513230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	20,573
513240	Workers Compensation	Code 8010 (gross salary multiplied by current rate of .00377)	434
513250	Unemployment		-
Total Personal Services			172,137
Operating Expenses			
513310	Professional Services	Payroll Services (\$187 X 26= \$4862 and W2 Service)	5,400
513320	Accounting & Auditing	Audit (\$35,000) and Single Audit	40,000
513400	Travel & Per Diem	Travel costs, per diem, meals, conferences, and travel expenses	2,500
513410	Communication and Freight Svcs	Cell Phone, Wireless Card, FedEx, Postage, and courier charges	2,000
513464	Repairs & Maint - Equipment		-
513510	Office Supplies	Copy paper and file folders	1,000
513520	Operating Supplies	Printer Supplies and updates for accounting software and technical support (\$1250)	4,000
513540	Books, Pub, Subscrip, Memberships	Seminars & Training, FGFOA(\$40+\$310), GFOA (\$270), SFGFO&CCA (\$40)	1,000
513640	Machinery & Equipment	As needed for upgrades	1,000
Total Operating Expenses			56,900
TOTAL FINANCE DEPARTMENT - 513			229,037

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
514 - LEGAL							
	Operating Expenses						
514310	Town Attorney	242,500	242,500	220,000	220,000	200,000	200,000
514311	Special Council - Code Enforcement	9,700	9,700	8,500	8,500	8,500	8,500
514312	Special Council	55,000	55,000	50,000	50,000	30,000	30,000
514330	Legal Cost	1,164	1,164	1,000	1,000	1,000	1,000
	Total Operating Expenses	308,364	308,364	279,500	279,500	239,500	239,500
TOTAL LEGAL DEPARTMENT - 514		308,364	308,364	279,500	279,500	239,500	239,500

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
514 - LEGAL			
	Operating Expenses		
514310	Town Attorney	Attorney Billable Hours @ \$200/hour	200,000
514311	Special Council - Code Enforcement	Special Master for Code Violations	8,500
514312	Special Council	New cases and miscellaneous legal matters outside 514310	30,000
514330	Legal Cost	Covers costs of deposition rooms, stenographers, arbitration, and mediation	1,000
	Total Operating Expenses		
	<u>TOTAL LEGAL DEPARTMENT - 514</u>		<u>239,500</u>

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
519 - GENERAL GOVERNMENT							
Operating Expenses							
519310	Professional Services	44,000	44,000	38,000	38,000	38,000	38,000
519340	Contract Services	8,000	8,000	5,000	5,000	5,000	5,000
519341	Contract Services - Exterminator	12,000	10,000	10,000	10,000	20,000	20,000
519343	Contract Services - Computers	14,000	12,000	10,000	10,000	41,422	41,422
519344	Contract Services - Landscaping	72,000	72,000	72,000	72,000	43,719	55,000
519410	Communication & Freight Services	25,000	21,000	20,000	20,000	33,000	33,000
519430	Utilities - Electric	8,445	8,700	15,000	15,000	25,000	25,000
519432	Utilities - Water	1,206	-	-	-	-	-
519440	Rentals & Leases	7,000	7,000	5,000	5,000	5,000	5,000
519450	Insurance	200,594	200,594	200,000	175,000	175,000	175,000
519462	Repair & Maintenance - Buildings	15,000	15,000	10,000	10,000	19,600	19,600
519464	Repair, Replacement & Maintenance	39,850	38,000	10,000	10,000	10,000	10,000
519468	Beautification	20,000	20,000	10,000	20,000	20,000	20,000
519469	Minor Tools & Equipment	1,000	1,000	200	200	200	200
519484	Town of GB Website	10,500	5,500	-	4,000	4,000	4,000
519490	Donations	3,000	3,000	-	3,000	3,000	3,000
519520	Operating Supplies	-	-	-	-	-	-
519550	Continuing Education	-	12,000	10,000	10,000	10,000	35,000
519925	Town Facilities Renovations	60,000	75,704	-	-	5,576	21,000
519930	Contingency	380,150	379,719	340,162	285,000	250,000	250,000
519931	Contingency - Bldg Dept	40,000	35,000	-	-	-	-
519932	Capital Project Fund	1,620,000	-	-	-	-	-
519630100	Town Bridge Funds	307,664	-	-	-	-	-
519632410	Transfer to Stormwater	-	-	-	-	-	-
519933	Transfer to Debt Service	616,593	-	-	-	-	-
	Total Operating Expenses	3,506,002	968,217	755,362	692,200	708,516	760,222
TOTAL GENERAL GOVERNMENT - 519		3,506,002	968,217	755,362	692,200	708,516	760,222

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
519 - GENERAL GOVERNMENT			
Operating Expenses			
519310	Professional Services	Legislative Services	38,000
519340	Contract Services	General Needs	5,000
519341	Contract Services - Exterminator	Extermination; Termite; Mosquito Control	20,000
519343	Contract Services - Computers	Increase Costs Due to Increase in Tec. and Lisc. Requirements) (IDC est. \$37,250)	41,422
519344	Contract Services - Landscaping	Non-Park and Non-A-1-A	55,000
519410	Communication & Freight Services	Phone & Postage - New ABB Internet Service	33,000
519430	Utilities - Electric	FPL costs	25,000
519432	Utilities - Water		-
519440	Rentals & Leases	Copier in Town Hall, postage machine and the water cooler	5,000
519450	Insurance	Florida League of Cities (FMIT)	175,000
519462	Repair & Maintenance - Buildings	AC Maintenance, and other service Building Related	19,600
519464	Repairs & Maint - Equip	Server System License Maintenance for Town Facilities	10,000
519468	Beautification	Committee Projects	20,000
519469	Minor Tools & Equipment	Miscellaneous small tools	200
519484	Town of GB Website	Web page maintenance	4,000
519490	Donations	Donation requests will be brought to Town Council as received	3,000
519520	Operating Supplies		-
519550	Continuing Education	Reimbursement for employee continuing education at an accredited school	35,000
519925	Town Facilities Renovations	Minor Town facilities renovations	21,000
519930	Contingency	Dedicated for Capital Project Related Expenses (i.e. A&E, Lot Acquisition, etc.)	250,000
519931	Contingent - Bldg. Dept.		-
519932	Capital Project Fund		-
519630100	Town Bridge Funds		-
519932410	Transfer to Stormwater		-
519933	Transfer to Debt Service		-
Total Operating Expenses			760,222
TOTAL GENERAL GOVERNMENT - 519			760,222

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
521 - POLICE DEPARTMENT							
Personal Services							
521110	Police Chief	90,178	91,178	91,178	100,000	102,500	105,063
521111	Retirement	9,018	9,118	9,118	10,000	17,630	18,071
521120	Salary - General Employees	40,018	40,019	40,019	40,019	41,019	42,043
521113	Salary - Administrative Division	79,625	79,875	79,875	79,875	55,350	75,645
521100	Salary - Operational Division	-	-	-	35,000	79,950	81,949
521121	Salary - Sergeant	191,676	191,676	191,676	191,676	104,850	106,619
521125	Salaries - Officers	834,432	872,428	872,428	890,000	729,856	852,536
5211251	Part-Time Officers		10,000	10,000	40,000	102,336	115,128
521126	Salaries - Code Enforcement	17,500	17,500	17,500	17,500	-	-
521130	Community Service Aids (CSA)	-	-	-	-	-	111,969
521140	Salaries - Overtime	57,000	42,000	42,000	42,000	42,000	30,000
521141	Salaries - Overtime (Strike force)	75,000	75,000	75,000	75,000	-	-
521152	Crime Suppression Detail	-	15,000	8,000	8,000	-	-
521153	Salaries - State Incentive	10,500	10,500	10,500	10,500	10,500	10,500
521154	Salaries - Education Comp	3,500	3,500	3,500	3,500	3,500	3,500
521156	Longevity	9,200	11,900	-	4,000	4,000	4,000
521157	Uniform Allowance	15,200	15,200	15,200	15,200	15,200	15,200
521210	FICA Taxes	97,001	113,453	113,453	113,453	92,996	111,037
521220	Retirement Contribution	209,109	213,409	213,409	213,409	219,913	223,229
521230	Life, Health & Dental Insurance	169,787	183,641	193,142	193,142	152,856	217,187
521240	Worker's Compensation	57,410	54,553	54,553	54,553	39,739	47,896
521250	Unemployment Compensation	12,000	12,000	12,000	12,000	12,000	7,200
	Total Personal Services	1,978,155	2,061,950	2,052,551	2,148,827	1,826,195	2,178,772

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
521 - POLICE DEPARTMENT			
Personal Services			
521110	Police Chief	Police Chief Salary	105,063
521111	Retirement	10% of Salary	18,071
521120	Salary - General Employees	Executive Assistant to the Chief	42,043
521113	Salary - Administrative Division	Salary	75,645
521100	Salary - Operational Division	Salary	81,949
521121	Salary - Sergeant	Three Full Time or Acting Positions	106,619
521125	Salaries - Officers	As stipulated in the agreed to FOP Union Contract	852,536
5211251	Part-Time Officers	Part-Time Officers	115,128
521126	Salaries - Code Enforcement	Code Enforcement Officer (50% from Bldg. Dept and 50% from Police Department)	-
521130	Community Service Aids (CSA)	Guard House/Substation personnel	111,969
521140	Salaries - Overtime	Payments of time worked in excess of 40 hours; estimate includes court time, hurricanes & day to day	30,000
521141	Salaries - Overtime (Strikeforce)		-
521152	Crime Suppression Detail		-
521153	Salaries - State Incentive	Incentive paid by state for continuing education/based on actual payment & a contingency for add'l incentives; lieutenant salary incentive	10,500
521154	Salaries - Education Comp	Additional pay per contract dependent on highest degree earned/estimate based on actual + contingency	3,500
521156	Longevity	As per FOP contract, Recognition for years of service	4,000
521157	Uniform Allowance	Clothing Maintenance allowance \$150/qr per officer and 1 time annual shoe allowance of \$120 per Contract	15,200
521210	FICA Taxes	7.65% of compensation	111,037
521220	Retirement Contribution	Estimate per actuary includes increase form 2.25% to 3% multiplier	223,229
521230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	217,187
521240	Worker's Compensation	Estimate based on category rates for police and officer x payroll	47,896
521250	Unemployment Compensation	Contingency estimate based on previous years' payout	7,200
Total Personal Services			2,178,772

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
521 - POLICE DEPARTMENT							
Operating Expenses							
521316	Professional Services	4,000	6,000	6,000	10,000	10,000	10,000
521340	Contract Services	145,752	155,000	165,000	165,000	165,000	82,500
521341	Strike Force Contract Services	110,000	110,000	-	-	-	-
521345	K-9 Expense	4,000	4,000	3,000	3,000	6,000	6,000
521400	Travel & Per Diem	5,000	4,500	2,100	2,100	2,100	2,100
521410	Communication & Freight	12,000	12,000	12,000	12,000	15,000	15,000
521430	Utilities-Electric	3,480	3,480	3,000	3,000	3,000	3,000
521432	Utilities-Water	1,508	1,900	1,500	1,500	1,500	1,500
521440	Rentals & Leases	20,000	15,000	10,000	10,000	8,000	15,000
521462	Repairs & Maint - Bldg	2,000	1,000	1,000	1,000	1,000	1,000
521463	Repairs & Maint - Vehicles	27,000	29,000	25,000	20,000	20,000	20,000
521464	Repairs & Maint - Equip	7,760	7,800	7,800	7,800	7,800	7,800
521469	Minor Tools & Equip	1,000	1,000	1,000	1,000	1,000	1,000
521470	Printing	1,000	1,000	600	600	600	600
521480	Public Relations/Events/Ads	9,000	8,200	8,000	7,000	7,000	7,000
521492	Legal Advertising	2,000	2,000	-	-	-	-
521510	Office Supplies	4,000	4,000	2,000	2,000	2,000	2,000
521520	Operating Supplies	8,000	8,000	8,000	8,000	8,000	8,000
521521	Gas & Oil	52,000	52,000	55,000	60,000	75,000	75,000
521521100	Marine Patrol Fuel	6,000	6,000	5,000	5,000	5,000	5,000
521525	Uniforms	10,000	10,000	8,000	8,000	8,000	8,000
521540	Books, Pubs, Subs, Memberships	1,500	1,400	1,200	1,200	1,200	1,200
521550	Police Training	12,000	10,000	10,000	10,000	10,000	10,000
521640	Machinery & Equipment	11,000	44,000	44,000	43,066	20,000	20,000
521911	Transfer to Debt Service	-	-	-	-	-	-
	Total Operating Expenses	460,000	497,280	379,200	381,266	377,200	301,700
TOTAL POLICE DEPARTMENT - 521		2,438,155	2,559,230	2,431,751	2,530,093	2,203,395	2,480,472

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
521 - POLICE DEPARTMENT			
	Operating Expenses		
521316	Professional Services	Psychological & medical testing, background & internal investigations, and polygraphs	10,000
521340	Contract Services	Navarro Security; GPS Service; Copy Machine (Maint/copies)	82,500
521341	Strike Force Contract Services		-
521345	K-9 Expense	K-9 medical & dental; food & supplies; vehicle insurance; membership for USPCA	6,000
521400	Travel & Per Diem	Employees attending conferences and other trainings in accordance with travel forms	2,100
521410	Communication & Freight	AT&T Wireless Phone Service for 12 phones (average monthly bill \$550), wireless cards, courier service, and FedEx	15,000
521430	Utilities - Electric	Substation & Police Station	3,000
521432	Utilities - Water	Substation & Police Station	1,500
521440	Rentals & Leases	Toshiba Copier	15,000
521462	Repairs & Maint - Bldg	Misc. repairs at substation and Police Station	1,000
521463	Repairs & Maint - Vehicles	Repair and maintenance of all police vehicles and the marine patrol boat	20,000
521464	Repairs & Maint - Equipment	Equipment repair at substation, phones, radios, office equipment, and transponders	7,800
521469	Minor Tools & Equipment	Transmitter, cones, flex cuff, etc.	1,000
521470	Printing	Police Department forms and documents	600
521480	Public Relations/Events/Ads	Officer of the Quarter; Dade County Chiefs annual event	7,000
521492	Legal Advertising		-
521510	Office Supplies	Paper, pens, etc.	2,000
521520	Operating Supplies	Medical supplies, drinking water, coffee	8,000
521521	Gas & Oil	Increased due to cost increase	75,000
521521100	Marine Patrol Fuel & Oil	New line item for better tracking of expenses	5,000
521525	Uniforms	Uniforms, new name embroidery, name badges, etc.	8,000
521540	Books, Pubs, Subs, Memberships	Reference books, IACP; FCOP; DCCP	1,200
521550	Police Training	Training classes for officers and staff	10,000
521640	Machinery & Equipment	Laptops and Misc. for Patrol Vehicles (\$4k); Purchase ATV (\$7k); Replace Boat Engines (\$33k)	20,000
521911	Transfer to Debt Service		-
	Total Operating Expenses		301,700
	TOTAL LAW ENFORCEMENT - 521		2,480,472

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
524 - BUILDING DEPARTMENT							
	Personal Services						
524110	Building Official	50,020	50,020	50,020	50,020	51,270	52,552
524120	Salary - General Employees	91,005	91,015	91,015	91,015	95,421	97,807
524125	Salary - Code Compliance	17,500	17,500	17,500	17,500	35,875	35,875
524140	Salaries - Overtime	2,500	2,500	2,500	2,500	2,500	2,500
524210	FICA Taxes	12,127	10,980	10,980	10,980	13,626	13,899
524220	Retirement Contribution	24,026	21,204	21,204	21,204	25,078	26,469
524230	Life, Health & Dental Insurance	12,761	16,281	14,452	14,452	25,863	28,843
524240	Worker's Compensation	9,856	9,856	9,856	9,856	2,474	2,532
	Total Personal Services	219,795	219,356	217,527	217,527	252,107	260,477

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
524 - BUILDING DEPARTMENT			
Personal Services			
524110	Building Official	Building Official Salary	52,552
524120	Salary - General Employees	Building Director (\$75 monthly incentive for network maintenance); Permit Clerk	97,807
524125	Salary - Code Compliance	Code Enforcement Officer (50% from Bldg. Dept. and 50% from Police Dept.)	35,875
524140	Salaries - Overtime	Special Projects	2,500
524210	FICA Taxes	7.65% of compensation	13,899
524220	Retirement Contribution	Town Pension Plan	26,469
524230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	28,843
524240	Worker's Compensation	Estimate based on category rates x payroll	2,532
Total Personnel Services			260,477

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
524 - BUILDING DEPARTMENT							
Operating Expenses							
524340	Contract Services - Computer	2,000	2,000	2,000	2,000	2,000	2,000
524341	Contract Services - Planner	15,000	10,000	8,000	8,000	8,000	8,000
524345	Building Inspector	16,640	16,640	16,640	16,640	16,640	16,640
524345100	Structural Plans Examiner	10,000	10,000	10,000	10,000	10,000	10,000
524346	Consulting/Engineering Svcs	10,000	10,000	5,000	5,000	5,000	5,000
524347	Plumbing Inspector	12,610	12,610	12,610	12,610	12,610	12,610
524348	Mechanical Inspector	10,670	10,670	10,670	10,670	10,670	10,670
524349	Electrical Inspector	21,000	20,000	20,000	20,000	20,000	20,000
524400	Travel & Per Diem	2,037	2,000	2,000	2,000	2,000	2,000
524410	Communication & Freight	1,976	1,700	1,000	1,000	1,000	1,000
524464	Repairs & Maint - Equipment	941	-	-	-	-	-
524470	Printing & Binding	14,450	12,000	8,000	8,000	8,000	7,000
524510	Office Supplies	2,328	1,800	1,000	1,000	1,000	1,000
524520	Operating Supplies	4,704	3,900	3,000	3,000	4,500	4,500
524540	Books, Pubs, Subs, Memberships	1,455	1,000	1,000	1,000	1,000	1,000
524640	Machinery & Equipment	1,940	-	-	-	-	-
524931	Contingency - Bldg Dept	-	-	-	-	-	-
	Total Operating Expenses	127,751	114,320	100,920	100,920	102,420	101,420
TOTAL BUILDING DEPARTMENT- 524		347,546	333,676	318,447	318,447	354,527	361,897

Town Of Golden Beach

Budget Support Information

Proposed FY 2013-2014

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
524 - BUILDING DEPARTMENT			
Operating Expenses			
524340	Contract Services	EnerGov Maintenance fee (\$1196) Printer Service (\$350) Sweeping Services	2,000
524341	Contract Services-Planner	Michael Miller code review	8,000
524345	Building Inspector	Structural Inspector \$45/hr for a minimum 5 hours	16,640
524346	Consulting/Engineering Svcs	Project Manager for Large projects	10,000
524346100	Structural Plans Examiner	Added position due to change in Building Official	5,000
524347	Plumbing Inspector	Minimum \$650 monthly for 75% of permit fees collected	12,610
524348	Mechanical Inspector	Minimum \$750 monthly or 75% of permit fees collected (rarely makes minimum)	10,670
524349	Electrical Inspector	Minimum \$650 monthly for 75% of permit fees collected	20,000
524400	Travel & Per Diem	Travel expenses for seminars	2,000
524410	Communication & Freight	Phone Service for Bldg. Manager, Bldg. Official & Code Officer, postage variance, Special Master Courier Service FedEx	1,000
524464	Repairs & Maint- Equip		-
524470	Printing & Binding	Imaging and Microfilming	7,000
524510	Office Supplies	Paper, pens, etc.	1,000
524520	Operating Supplies	Software; coffee, water, Zee medical, etc.	4,500
524540	Books, Pubs, Subs, Memberships	Memberships with ACI; ASE; and FSEI and class registration fees	1,000
524640	Machinery & Equipment		-
524931	Contingency - Bldg Dept		-
	Total Operating Expenses		101,420
TOTAL BUILDING DEPARTMENT- 524			361,897

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
539	- PUBLIC WORKS						
	Personal Services						
539110	Public Works Director	56,922	56,922	56,922	56,922	58,345	59,803
539112	Facilities & General Maintenance Director	25,622	25,622	25,622	25,622	-	-
539120	Salary - General Employees	308,237	313,222	313,222	313,222	304,147	311,747
539140	Salaries - Overtime	20,000	20,000	20,000	20,000	20,000	20,000
539156	Longevity	-	3,500	3,500	3,500	3,500	3,500
539210	FICA Taxes	29,895	32,074	32,074	32,074	27,054	27,730
539220	Retirement Contribution	76,007	78,714	78,714	78,714	69,235	73,567
539230	Life, Health & Dental Insurance	83,723	93,766	93,268	93,268	92,584	103,523
539240	Worker's Compensation	57,336	52,582	52,582	52,582	42,971	44,045
	Total Personal Services	657,741	676,402	675,904	675,904	617,836	643,915

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
539 - PUBLIC WORKS			
Personal Services			
539110	Public Works Director	Salary	59,803
539112	Facilities & General Maintenance Director		-
539120	Salary - General Employees	Employee salaries and Incentive Pay for CDL driver's licenses (\$25 a pay period) 5% crew leader incentive	311,747
539140	Salaries - Overtime	Time worked in excess of 40 hours	20,000
539156	Longevity	Employees with 10 yrs. \$500; 15 yrs. \$800; 20 yrs. 1,000; 21 yrs. plus \$1,000 each year	3,500
539210	FICA Taxes	7.65% of compensation	27,730
539220	Retirement Contribution	Estimate per actuary	73,567
539230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	103,523
539240	Worker's Compensation	Estimate based on category rates x payroll	44,045
Total Personal Services			643,915

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
539	PUBLIC WORKS						
	Operating Expenses						
539340	Contract Services	13,774	13,000	10,000	10,000	19,000	43,000
539400	Travel & Per Diem	8,245	8,200	6,000	4,000	4,000	4,000
539410	Communication & Freight	1,564	1,500	1,000	1,000	1,000	1,000
539430	Utilities - Electric	44,637	41,000	52,000	52,000	52,000	52,000
539432	Utilities - Water	69,971	69,000	55,000	75,000	77,000	77,000
539434	Utilities - Waste Disposal	64,990	62,000	70,000	70,000	70,000	70,000
539437	Utilities - Recycling	21,340	23,000	27,600	27,600	27,000	27,000
539440	Rentals & Leases	38,800	37,750	20,000	15,000	10,000	10,000
539462	Repairs & Maint - Bldg	5,335	5,000	5,000	5,000	2,500	2,500
539463	Repairs & Maint - Vehicles	15,190	15,000	20,000	15,000	15,000	15,000
539464	Repairs & Maint - Equipment	10,224	9,500	3,000	3,000	2,000	2,000
539467	Landscaping & Maintenance	36,000	36,000	20,000	55,000	40,000	30,000
539470	Printing & Binding	97	120	1,000	1,000	1,000	1,000
539510	Office Supplies	631	631	600	600	300	300
539520	Operating Supplies	17,315	17,000	17,000	17,000	12,000	12,000
539521	Gas & Oil	22,198	23,000	20,000	20,000	20,000	20,000
539540	Books, Pubs, Subs, Memberships	291	300	300	300	300	300
539640	Machinery & Equipment	32,297	25,000	-	-	-	-
	Total Operating Expenses	402,899	387,001	328,500	371,500	353,100	387,100
TOTAL PUBLIC WORKS - 539		1,060,640	1,063,403	1,004,404	1,047,404	970,936	1,011,015

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
539 - PUBLIC WORKS			
	Operating Expenses		
539340	Contract Services	Uniform Service cleaning (G & K Services)	43,000
539400	Travel & Per Diem	Auto allowance for Public Works Director and Facilities & General Maintenance Director; Seminars (APWA)	4,000
539410	Communication & Freight	AT&T Wireless phone expenses of Public Works Director and Facilities & General Maintenance Director	1,000
539430	Utilities - Electric	Street Lights, Pump Stations, Sprinklers, etc	52,000
539432	Utilities - Water	Sprinklers	77,000
539434	Utilities - Waste Disposal	Solid waste disposal fees	70,000
539437	Utilities - Recycling	Recycling charges from Allied Waste Services	27,000
539440	Rentals & Leases	Leases and Misc. Rentals	10,000
539462	Repairs & Maint - Bldg	Repairs To Town Facilities	2,500
539463	Repairs & Maint - Vehicles	Garbage Truck, Trash Truck, Tractor & Public Works Trucks, Fleet Maintenance & Gem Cart	15,000
539464	Repairs & Maint - Equip	Lawnmowers, sprinkler repair, maintenance of gardening equipment	2,000
539467	Landscaping & Maintenance	Plants, sod, etc.	30,000
539470	Printing & Binding	Door Hangers	1,000
539510	Office Supplies	Paper, pens, etc.	300
539520	Operating Supplies	Medical, cleaning supplies, maintenance supplies, minor tools & equip., safety shoes, safety vests, goggles, keys, landscaping tools, fire extinguishers, etc.	12,000
539521	Fuel & Oil	Public Works Fleet	20,000
539540	Books, Pubs, Subs, Memberships	APWA	300
539640	Machinery & Equipment		-
	Total Operating Expenses		367,100
	TOTAL PUBLIC WORKS - 539		1,011,015

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

<i>ACCOUNT NO.</i>	<i>ACCOUNT DESCRIPTION</i>	<i>COUNCIL APPROVED BUDGET FY 08-09</i>	<i>COUNCIL APPROVED BUDGET FY 09-10</i>	<i>COUNCIL APPROVED BUDGET FY 10-11</i>	<i>COUNCIL APPROVED BUDGET FY 11-12</i>	<i>COUNCIL APPROVED BUDGET FY 12-13</i>	<i>COUNCIL PROPOSED BUDGET FY 13-14</i>
541	ROAD AND STREET FACILITIES						
	Operating Expenses						
541112	Facilities & General Maintenance Director	25,622	25,622	25,622	25,622	52,525	53,838
541210	FICA Taxes	1,960	1,960	1,960	1,960	3,920	4,018
541220	Retirement Contribution	4,984	4,894	4,894	4,894	10,032	10,657
541230	Life, Health & Dental Insurance	-	-	-	-	7,490	8,361
541240	Worker's Compensation	2,824	2,480	2,480	2,480	4,960	5,084
	Total Personal Services	35,390	34,956	34,956	34,956	78,927	81,958

**Town Of Golden Beach
 Budget Support Information
 Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
541 - ROAD AND STREET FACILITIES			
Operating Expenses			
541112	Facilities & General Maintenance Director	50% of salary paid from 539112	53,838
541210	FICA Taxes	7.65% of salary	4,018
541220	Retirement Contribution	Town Pension Plan	10,657
541230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	8,361
541240	Worker's Compensation	Estimate based on category rates x payroll	5,084

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
	Operating Expenses						
541430	Utilities - Electric	-	-	-	-	24,000	24,000
541432	Utilities - Water	-	-	-	-	20,000	20,000
541344	Median Maintenance	-	-	-	-	104,000	104,000
541465	Repair & Maintenance - Streets	28,000	28,000	44,074	44,074	44,074	44,074
	Total Operating Expenses	28,000	28,000	44,074	44,074	192,074	192,074
	TOTAL ROADS & STREETS - 541	63,390	62,956	79,030	79,030	271,001	274,032

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
541430	Utilities - Electric	Power to the street sprinkler timers	24,000
541432	Utilities - Water	Water use greenway and medians	20,000
539344	Median Maintenance	Median Maintenance, Fertilization	104,000
541465	Repairs & Maintenance - Streets	Overlay streets & striping; Street Sweeping (50% budgeted in 524340)	44,074
Total Operating Expenses			274,032
<u>TOTAL ROADS & STREETS - 541</u>			<u>274,032</u>

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
572 - RECREATION DEPARTMENT							
Personal Services							
572120	FT Lifeguard	38,707	38,709	38,709	38,709	39,675	40,668
572136	PT Lifeguard	14,672	20,800	20,800	20,800	58,416	45,198
572125100	PT Beach Attendant	42,264	42,245	42,245	42,245	73,341	74,722
572210	FICA Taxes	7,393	8,015	8,015	8,015	10,249	10,394
572140	Salaries-Overtime	3,000	3,000	3,000	2,000	2,000	2,000
572220	Retirement Contribution	7,529	7,393	7,393	7,393	7,578	8,052
572230	Life, Health & Dental Insurance	6,297	6,667	7,021	7,021	7,435	8,277
572240	Worker's Compensation	3,422	5,302	5,302	4,302	5,113	4,514
	Total Personal Services	123,284	132,131	132,485	130,485	203,807	193,825
Operating Expenses							
572430	Utilities - Electric	3,601	3,600	5,000	5,000	5,000	5,000
572432	Utilities - Water	13,502	14,000	20,000	17,000	17,000	17,000
572462	Repairs & Maint-Bldg	2,522	2,100	2,000	2,000	2,000	2,000
572464	Repairs & Maint-Equip	3,500	3,100	2,000	2,000	2,000	2,000
572480	Pub Relations/Events/Ad	73,000	60,000	60,000	60,000	60,000	60,000
572481	Teens Committee/Movie Nights	4,200	4,200	-	-	-	-
572490	Other Current Charges & Obligations	-	-	-	-	-	-
572520	Operating Supplies	2,500	3,500	3,500	3,500	2,500	2,500
572344	Park Maintenance	76,190	65,000	60,000	75,000	84,000	84,000
572640	Machinery & Equipment	17,000	17,000	7,000	7,000	5,000	5,000
	Total Operating Expenses	196,015	172,500	159,500	171,500	177,500	177,500
TOTAL RECREATION DEPARTMENT - 572		319,299	304,631	291,985	301,985	381,307	371,325

General Fund Totals:

<u>8,796,210</u>	<u>6,354,493</u>	<u>5,884,615</u>	<u>5,972,653</u>	<u>5,902,839</u>	<u>6,340,816</u>
0.00	0.00	0.00	0.00	0.00	0.00

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
Personal Services			
572120	Salaries - General Employees (521)	Full time lifeguard	40,668
572136	Salaries - Part-Time Employees	Weekend lifeguard	45,198
572125100	PT Beach Attendant	Three Part-time beach attendants	74,722
572210	FICA Taxes	7.65% of compensation	10,394
572140	Salaries - Overtime	Special Events	2,000
572220	Retirement Contribution	Estimate by actuary	8,052
572230	Life, Health & Dental Insurance	Full cost of employee premium and half of family premium	8,277
572240	Worker's Compensation	Estimate based on category rates x payroll	4,514
Total Personal Services			193,825
Operating Expenses			
572430	Utilities - Electric	Park and Beach Pavilion	5,000
572432	Utilities - Water	Park, beach pavilion, & park sprinklers; increased due to additional sprinklers	17,000
572462	Repairs & Maint - Bldg	Repair and maintenance of Tweedle Park and beach pavilion	2,000
572464	Repairs & Maint - Equipment	Park & Beach repairs	2,000
572480	Pub Relations/Events/Ad	Recreation Committee Events	60,000
572481	Teens Committee		-
572490	Other Current Charges & Obligations		-
572520	Operating Supplies	Medical & sanitary supplies, replacement of recreation equipment, and paper for flyers	2,500
572344	Park Maintenance	Resurfacing of playground/Park maintenance beach pavilion	84,000
572640	Machinery & Equipment	Trash cans, dog litter equipment, and the cover for play area at Tweedle Park	5,000
Total Operating Expenses			177,500
TOTAL RECREATION DEPARTMENT - 572			371,325

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
MISCELLANEOUS FUNDS							
120 - LAW ENFORCEMENT TRUST FUND							
OPERATING EXPENSES							
521100	Supervisor Salaries	-	-	-	73,117	18,450	-
521125	Specialty Unit Salaries	-	-	-	151,033	193,267	95,532
521140	Over Time	-	-	-	-	75,000	75,000
521210	FICA	-	-	-	-	14,424	7,061
521230	Life, Health & Dental Insurance	-	-	-	21,000	25,916	25,143
521240	Workers Comp	-	-	-	-	6,354	3,111
521310	GF521 - Contract Salaries	110,000	110,000	62,031	-	-	-
	Total Personnel Expenses				245,150	333,411	205,847
521140	GF521-OT Reimbursement	75,000	75,000	75,000	-	-	-
521640	Machinery & Equipment	20,000	84,000	120,000	-	-	140,000
521316	Professional Services	28,000	-	17,619	-	-	15,000
521463	Vehicle Maintenance	-	-	-	15,000	15,000	
521520	Operating Supplies	963	-	1,000	2,000	2,000	10,000
521634	Comprehensive Access Control	-	-	-	-	-	60,000
521581	Inter-Fund Transfer	-	-	120,000	190,000	60,000	60,000
	Restricted Reserves		120,100	-	-	-	-
	Total Operating Expenses	233,963	389,100	395,650	207,000	77,000	285,000
TOTAL LAW ENFORCEMENT TRUST FUND - 120		233,963	389,100	395,650	452,150	410,411	490,847
		0.00	0.00	0.00	0.00	0.00	0.00

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
120 - LAW ENFORCEMENT FUND			
OPERATING EXPENSES			
521100	Supervisor Salaries	25% of the Administrative Commander	-
521125	Specialty Unit Salaries	Police Officers for Specialty Units (includes all associated liabilities)	95,532
521414	Overtime	one and a half times the hourly rate	75,000
521210	FICA	7.65% of Salary	7,061
521230	Life, Health & Dental Insurance	Health, Vision, Dental, Short Term, Long Term and other insurances	25,143
521240	Workers Comp	Code 7720	3,111
521310	Contract Salaries		-
Total Personnel Expenses			205,847
521140	GF-OT Reimbursement		-
521640	Machinery & Equipment	Public Safety Ocean Rescue and Dive Boat	140,000
521316	Professional Svcs	Training	15,000
521463	Vehicle Maintenance	Repairs and Operating costs as needed	-
521520	Operating Supplies	Service Fee from State Board of Administration	10,000
521634	Comprehensive Access Control	Master database of all residents to guardhouse and beach	60,000
521581	Inter-Fund Transfer	Due to General Fund	60,000
521582	Restricted Reserves		-
Total Operating Expenses			490,847
TOTAL LAW ENFORCEMENT - 120			

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
140 - SPECIAL ASSESSMENT II FUND							
	Operating Expenses						
590316	Professional Services	-	-	-	-	-	-
590520	Operating Supplies	3	-	3	-	-	-
590719	Debt Service - Principle Payment	70,626	74,298	79,000	83,000	-	-
590726	Debt Service - Interest Payment	20,560	16,852	13,557	9,000	-	-
590911	Transfer to Debt Service	-	-	-	-	-	-
590920	Transfer to Debt Service	-	-	-	-	10,210	-
590930	Contingency Restricted	171,929	173,257	-	-	-	-
	Total Operating Expenses	263,118	264,407	-	92,000	10,210	-
TOTAL SPECIAL ASSESSMENT II - 140		263,118	264,407	92,560	92,000	10,210	-
		263,118	264,407	92,560	92,000	10,210	-
		0.00	0.00	0.00	0.00	0.00	5,000.00

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
140 - SPECIAL ASSESSMENT II FUND			
OPERATING EXPENSES			
590316	Professional Services		-
590520	Miscellaneous		-
590719	Debt Service - Principle Payment		-
590726	Debt Service - Interest Payment		-
590911	Transfer to Debt Service		-
590920	Transfer to Debt Service	Transfer to Debt Service	-
590930	Contingency		-
Total Operating Expenses			-
<i>TOTAL SPECIAL ASSESSMENT II - 140</i>			-

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
210 - DEBT SERVICE FUND							
Operating Expenses							
519716	SA II Bond Principal Pmt	-	-	-	79,000	-	-
519719	Norther Trust 2 Lots on A1A	62,000	62,000	100,000	-	100,000	100,000
5197231	Interest - Lots on A1A	-	700,000	66,747	66,747	13,400	13,400
519725	Interest SA II Bond	-	-	-	13,000	-	-
519717	Police Rentals/Lesseees	20,000	91,000	-	-	-	-
519730	General Obligation Bond Payment	616,593	911,926	912,724	909,749	906,231	906,286
	General Obligation Bond Contg.	-	-	-	48,951	-	-
	Total Operating Expenses	698,593	1,764,926	1,079,470	1,117,447	1,019,631	1,019,686
TOTAL DEBT SERVICE - 210		698,593	1,764,926	1,079,470	1,117,447	1,019,631	1,019,686
		698,593	1,764,926	1,079,470	1,117,447	1,019,631	1,019,686
		0.00	0.00	0.00	0.00	0.00	0.00

Town Of Golden Beach Budget Support Information Proposed FY 2013-2014

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
210 - DEBT SERVICE FUND			
OPERATING EXPENSES			
519716	SA II Bond Principle Pmt		-
519719	Northern Trust 2 Lots on AIA	Principle Paydown	100,000
5197231	Interest - Lots on A1A	Interest Only Loans	13,400
519725	Interest SA II Bond		-
519717	Police Rentals/Lessees		-
519730	General Obligation Bond Payment	Projected Debt Service for the \$14.5 General Obligation Bond And Reserves Available for Capital Debt Needs	906,286
Total Operating Expenses			1,019,686
<u>TOTAL DEBT SERVICE - 210</u>			<u>1,019,686</u>

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
330 - CAPITAL IMPROVEMENT PROJECTS							
Operating Expenses							
Administrative/Operating Costs - Project 02-006							
519342	General Fund - Admin Reimbursement	53,926	136,727	150,000	60,000	70,000	70,000
519314	Owners Representative	70,000	87,600	25,000	25,000	-	-
519520	Operating Supplies	4,500	1,877	1,000	-	-	-
519310	Bond Counsel	-	-	-	-	-	-
519315	Financial Consultants	-	-	-	-	-	-
519310	Disclosure Counsel	-	-	-	-	-	-
519316	Survey	104,000	29,692	-	-	-	-
519930	Contingency	224,549	40,000	50,000	-	260,062	-
Beach Pavilion - Project 13-003							
519313	Engineering Fees	-	-	-	-	-	10,000
519314	Owners Representative	-	-	-	-	-	8,000
519634	Construction	-	-	-	-	-	213,000
519630	Contingency	-	-	-	-	-	6,000
Civic Center Master Plan-13-004							
519313	Engineering Fees	-	-	-	-	-	-
519314	Owners Representative	-	-	-	-	-	-
519634	Construction	-	-	-	-	-	-
519640	Machinery & Equipment	-	-	-	-	-	-
519630	Contingency	-	-	-	-	-	-
Total Operating Expenses		4,212,631	7,884,414	4,729,001	4,738,788	330,062	307,000
CAPITAL IMPROVEMENT PROJECTS - 330		4,669,606	8,180,310	9,801,887	6,727,815	330,062	307,000

Town Of Golden Beach Budget Support Information Proposed FY 2013-2014

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
330 - CAPITAL IMPROVEMENT PROJECTS			
OPERATING EXPENSES			
Administrative / Operating Costs-Project 02-006			
519342	General Fund - Admin Reimbursement	Compensation for the Town Managers Salary, Pension, 457-Contribution, Town Fuel Card, Car Wash, other Administrative Costs associated with Administration of the CIP.	70,000
519314	Owners Representative		-
519520	Operating Supplies		-
519310	Bond Council		-
519315	Financial Consultants		-
519310	Disclosure Council		-
519316	Survey		-
519930	Contingency	Dedicated for Capital Project Related Expenses	-
Beach Pavilion - Project 13-003			
519313	Engineering Fees		10,000
519314	Owners Representative		8,000
519634	Construction		213,000
519630	Contingency		6,000
Civic Center Master Plan-13-004			
519313	Engineering Fees		-
519314	Owners Representative	Owners Representative	-
519634	Construction		-
519640	Machinery & Equipment		-
519630	Contingency		-
Total Operating Expenses			307,000

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
340 - BRIDGE REPAIR & REPLACEMENT							
519313	Engineering Fees - Bridges	598,000	18,193	-	270,000	588,822	-
519314	Owners Representative	-	-	-	67,200	65,700	29,200
519342	Administrative	-	-	-	50,000	10,000	10,000
519496	Permit Fees	-	-	-	-	-	-
519634	Construction	1,632,661	1,263,114	1,263,114	4,000,000	4,541,138	1,000,000
519930	Contingency	-	-	-	-	734,090	-
	Total Operating Expenses	2,230,661	1,281,307	1,263,114	4,387,200	5,939,750	1,039,200
Bridge Fund		2,230,661	1,281,307	1,263,114	4,387,200	5,939,750	1,039,200
		<u>2,230,661</u>	<u>1,281,307</u>	<u>1,263,114</u>	<u>4,387,200</u>	<u>5,939,750</u>	<u>1,039,200</u>
		0.00	0.00	0.00	0.00	0.00	0.00

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
340 - BRIDGE REPAIR & REPLACEMENT			
519313	Engineering Fees - Bridges	Engineering fees	-
519314	Owners Representative	Owners Representative	29,200
519342	Administrative	Administrative	10,000
519496	Permit Fees		-
519634	Construction	Construction of Center Island Bridge and Navona Ave	1,000,000
519930	Contingency	Contingency	-
Total Operating Expenses			1,039,200

**Town of Golden Beach
Budget Appropriations Worksheets
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	COUNCIL APPROVED BUDGET FY 08-09	COUNCIL APPROVED BUDGET FY 09-10	COUNCIL APPROVED BUDGET FY 10-11	COUNCIL APPROVED BUDGET FY 11-12	COUNCIL APPROVED BUDGET FY 12-13	COUNCIL PROPOSED BUDGET FY 13-14
410 - STORMWATER UTILITY FUND							
Operating Expenses							
538313	Engineering Fees	-	25,000	25,000	25,000	10,600	-
538313-08-999	Engineering Fees - Phase 2-6	62,883	30,813	40,000	40,000	-	-
538313-05-003	Engineering Fees Phase 1	-	24,165	10,000	10,000	-	-
538314	Professional Services	-	-	20,000	-	6,000	-
538316	Survey	-	57,854	20,000	20,000	-	-
538330	Legal Costs	100,000	100,000	50,000	50,000	-	-
538342	Administration & Planning	20,000	40,000	40,000	40,000	-	-
538343	Administration Fees - NMB W & S	7,600	7,600	8,000	-	-	-
538460	Repairs & Maintenance	22,000	22,000	1,522,000	-	20,000	20,000
538496	NPDES Stormwater Permit	5,000	5,000	5,000	5,000	5,000	-
538590	Depreciation Expenses	2,330	2,330	2,330	56,127	56,127	56,127
538520	Operating Supplies	5,000	5,000	1,000	1,000	-	-
538537	Stormwater Administrative Charges	108,106	200,000	200,000	200,000	244,000	200,000
538634-08-999	Stormwater Construction	1,670,525	1,917,187	435,810	500,000	-	-
538634-10-003	Added Valley Gutter Work TownWide	-	-	801,080	-	-	-
538634	Seawall at Bridges	-	-	-	-	864,434	-
538719	Principle Pmt Stormwater Project	165,759	165,759	165,759	165,759	165,759	150,430
538726	Interest Pmt Stormwater Project	3,629	3,629	3,629	3,629	3,629	11,530
538930	Contingency	441,451	-	244,700	-	-	-
538910	Stormwater Reserves	3,588,163	-	-	-	-	-
Total Operating Expenses		6,202,446	2,606,337	3,594,308	1,116,515	1,375,549	438,087
STORMWATER UTILITY FUND - 410		6,202,446	2,606,337	3,594,308	1,116,515	1,375,549	438,087

<u>6,202,446</u>	<u>2,606,337</u>	<u>3,594,308</u>	<u>1,116,515</u>	<u>1,375,549</u>	<u>438,087</u>
	0.00	0.00	0.00	0.00	(92,080.70)

**Town Of Golden Beach
Budget Support Information
Proposed FY 2013-2014**

ACCOUNT NO.	ACCOUNT DESCRIPTION	DESCRIPTION OF ITEM AND JUSTIFICATION	PROPOSED AMOUNT
410 - STORMWATER UTILITY FUND			
OPERATING EXPENSES			
538313	Engineering Fees	Craig A. Smith & Associates	-
538313-08999	Engineering Fees - Phase 2-6		-
538313-05-003	Engineering Fees - Phase 1		-
538314	Professional Services		-
538316	Survey		-
538330	Legal Costs	Legal Fees	-
538342	Administration & Planning		-
538343	Administration Fees - NMB W & S		-
538460	Repairs & Maintenance	Outfall and Drain Cleanings (Semi-Annual) And Replacement of Phase One	20,000
538496	NPDES Stormwater Permit	Annual Permit Fee with Miami-Dade County	-
538590	Depreciation Expenses	Provided by Auditors	56,127
538520	Operating Supplies		-
538537	Stormwater Administrative Charges	7.5% General Fund Administrative Fee	200,000
538634	Stormwater Construction		-
538634-08-999	Added Valley Gutter Work Townwide		-
538634	Seawall At Bridges	Seawall repair at Navona Ave and The Strand Bridges	-
538719	Principle Pmt Stormwater Project	SRF Loan	150,430
538726	Interest Pmt Stormwater Project	SRF Loan	11,530
538930	Contingency		-
538910	Fund Balance In Reserve		-
Total Operating Expenses			438,087
<u>STORMWATER UTILITY FUND - 410</u>			<u>438,087</u>



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Item Number:

XX

Subject: Resolution No. 2XXX.13 – Establishing a New Stormwater Fee

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. 2XXX.13 as presented.

Background:

At the May 21st, 2013 Regular Town Council meeting I recommended to the Mayor and Town Council that we evaluate the need to increase the Towns Stormwater Utility Fee. In doing so, we discovered that the current fee of \$35 per Equivalent Residential Unit (ERU) has been in place since 1996. And, year after year the Stormwater Fund has had to borrow funds from the General Fund to meet its obligations.

The Stormwater Fund owes the General Fund \$2,426,800, and this number continues to grow every year. I am proposing a two-prong approach to alleviating this matter: (1) First, that we increase the current \$35 per ERU to \$50 per ERU; and (2) second, that each year we reduce the General Fund Administration Fee until we reach \$160,000 (this fee was \$197,200 in 2005), to help accelerate the repayment.

The attached Spreadsheet is our review and analysis of our current and potential Stormwater Activity.

Fiscal Impact:

\$15 per ERU monthly to our residents.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. XXXX.13

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, INCREASING THE STORMWATER UTILITY FEES EFFECTIVE AS OF _____, 2013; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, in accordance with the provisions of Article IV, Chapter 42, of the Code of Ordinances (the "Code") of the Town of Golden Beach (the "Town"), the Town created a Town-wide Stormwater Utility in order to implement a Stormwater Management Program for the Town; and

WHEREAS, Section 42-78 of the Code established and assessed the initial Stormwater Utility Fees against each developed and undeveloped property within the Town for the services and facilities provided by the Stormwater Management Program ; and

WHEREAS, the Stormwater Utility Fees set forth in Section 42-78 of the Code have not been amended since 1996 ; and

WHEREAS, the Council hereby determines that based upon a study conducted by Town Manager Alexander Diaz and Finance Director Maria D. Camacho, the increased costs of operating and maintaining the Stormwater Utility necessitates an increase in the Stormwater Utility Fees at this time; and

WHEREAS, Section 42-78 of the Code provides that adjustments to the Stormwater Utility Fees shall be set by resolution of the Town Council.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE

TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. That each of the above stated recitals is hereby adopted and confirmed.

Section 2. Establishment of New Stormwater Utility Fees. That effective October 1st, 2013, the Stormwater Utility Fees shall be set at a rate of \$50.00 per ERU, per month.

Section 3. Effective Date. That this Resolution shall be effective immediately upon adoption.

Sponsored by **the Town Administration.**

Mayor Glenn Singer _____
Vice Mayor Judy Lusskin _____
Councilmember Kenneth Bernstein _____
Councilmember Bernard Einstein _____
Councilmember Amy Isackson-Rojas _____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida, this ____ day of _____, 2013.

MAYOR GLENN SINGER

ATTEST:

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: August 20, 2013

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz, *Alex B*
Town Manager

Subject: **Resolution No. XXXX.13 - Reauthorizing the Building Permit Fees and Associated Fee Schedule**

Item Number:

XX

Recommendation:

It is recommended that the Town Council adopt the attached Resolution No. XXXX.13 as presented.

Background:

I am proposing the reauthorization of the Building Permit Fees and Associated Fee Schedule. In the proposed Fee Schedule, I am also recommending two new fees.

They are:

A Sidewalk, Gutter and Street Maintenance Fee:

- New construction, and addition work = \$50 per LF
- Remodel work = \$20 per LF

A Development Extension Fee:

- New Construction or Remodel in Zone 1- 36 months from the date the Master Permit is issued a renewal fee of 30% of the original Master Permit Fee is required
- New Construction or Remodel in Zone 2 and 3- 24 months from the date the Master Permit is issued a renewal fee of 30% of the original Master Permit Fee is required

Fiscal Impact:

None.

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. XXXX.13

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, REAUTHORIZING THE TOWN'S SCHEDULE OF BUILDING PERMIT AND PROCESSING FEES; PROVIDING FOR IMPLEMENTATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, pursuant to Fla. Stat. 166.222, the Town imposes fees upon applicants for various development permits for development within the Town; and

WHEREAS, the Town desires to reauthorize the schedule of fees attached hereto as Exhibit "A" to defer the reasonable costs of inspection and enforcement of the provisions of the Town's building code; and

WHEREAS, the Town Council finds that the reauthorization of the Town's schedule of permit fees is in the best interest of the Town.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. The foregoing recitals are adopted, confirmed and incorporated herein.

Section 2. Reauthorize Schedule of Fees. Pursuant to Fla. Stat. 166.222 and Section 50-8(e) of the Town's Code of Ordinances, the Schedule of Permit and Processing Fees attached to this Resolution as Exhibit "A" is hereby adopted and supersedes all prior schedules and fees for said services.

Section 3. Implementation. The Town Manager and Town Mayor are hereby authorized to take all reasonable measures to implement this Resolution and the

Schedule of Fees adopted herein.

Section 4. Effective Date. The Resolution shall become immediately effective upon adoption.

Sponsored by **the Town Administration.**

The Motion to adopt the foregoing resolution was offered by _____
_____, seconded by _____, and on roll call the following vote ensued:

Mayor Glenn Singer	_____
Vice Mayor Judy Lusskin	_____
Councilmember Kenneth Bernstein	_____
Councilmember Amy Isackson-Rojas	_____
Councilmember Bernard Einstein	_____

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,
Florida, this 20th day of August, 2013.

ATTEST:

MAYOR GLENN SINGER

LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

STEPHEN J. HELFMAN
TOWN ATTORNEY

TOWN OF GOLDEN BEACH BUILDING DEPARTMENT FEE SCHEDULE

EXHIBIT TO RESOLUTION NUMBER: _____

DESCRIPTION		Current			
		Fee Schedule	Proposed	New Changes	Fee
I Upfront - Permit Processing Fee					
	All Permits; Building, Electrical, Plumbing, Mechanical	Value of Project x	0.75%	0	0.75%
	Change in Value of Project - Revision	Value increase x	0.75%	0	0.75%
II Permit Fees:					
a	New Construction, or Addition to Existing Res.	Air Conditioned Space x	3	0	3
b	New Construction, or Addition to Existing Res.	Non-Air Conditioned Space x	1.5	0	1.5
c	All other building permits	Value of Project x	3	0	3
d	Electrical, Mechanical, Plumbing & Structural	Value of Project x	3	0	3
e	Minimum permit fee		\$175.00	0	\$175.00
f	Shop Drawing fees	Per review	\$175.00	0	\$175.00
g	Trash Hauling/Dumtper Container Fees		\$300.00	0	\$300.00
h	Change of Contractor fee		\$250.00	0	\$250.00
i	Revision to active permit	Per Trade Review	\$175.00	0	\$175.00
j	Lost permit card		\$125.00	0	\$125.00
k	Expired permit - new plan submittal & plan review required	100% of original fees paid		0	
l	Replacement of plans for an active permit:	Cost of Reproduction	at cost	0	at cost
		Recertification - Building	\$175.00	0	\$175.00
		Recertification - Electrical	\$175.00	0	\$175.00
		Recertification - Mechanical	\$175.00	0	\$175.00
		Recertification - Plumbing	\$175.00	0	\$175.00
		Recertification - Structural	\$175.00	0	\$175.00
m	Contractor registration fee	First Time Application	\$50.00	0	\$50.00
		Renewal each Fiscal Year	\$30.00	0	\$30.00
n	Educational Fund for building department personnel	Per 1,000 of value project	\$0.30	0	\$0.30
o	Building permit imaging	Per plan sheet submitted	\$1.50	0	\$1.50
		Per 8 1/2 x 11 and 14	\$.46	0	\$.46
p	Special projects, meetings	Per hour	\$50.00	0	\$50.00
q	Certificates of Occupancy and Completion	Temporary	\$200.00	0	\$200.00
		Final	\$300.00	0	\$300.00
r	Lien Search Requests	Regular - 5 Day Response	\$60.00	0	\$60.00
		Expedited - 3 Day Response	\$70.00	0	\$70.00
s	Minimum per square foot pricing for:	New Construction	\$275.00	0	\$275.00
		Addition	\$175.00	0	\$175.00
		Remodel	\$150.00	0	\$150.00
t	Reinspection Fees:	Failed Inspections-1st & 2nd	\$75.00	0	\$75.00
		Failed Inspections- 3rd	\$125.00	0	\$125.00
u	Building Code Compliance Fee	Per 1,000 of value project	\$0.60	0	\$0.60
v	Street Sweeping Fee (charged to all permitting)	Per 1,000 of value project	\$0.20	0	\$0.20
w	Sidewalk, gutter and street maintnenace fees:	Basis:			
	**New construction, and addition work = \$50 per LF	Linear Frontage of Property	0	\$50/LF	\$50/LF
	**Remodel work = \$20 per LF	Linear Frontage of Property	0	\$20/LF	\$20/LF
x	Extension Fee:				
	New construction, addition and remodel work permits				
	Zone 1:				
	Construciton work that exceeds 36 months	30% of Master Permit Fee	0	See	See
	from permit date issuance shall pay an additional fee			Descript.	Descript.
	based on the Original Master Permit Fee cost				
	Zones 2 & 3:				
	Construciton work that exceeds 24 months	30% of Master Permit Fee	0	See	See
	from permit date issuance shall pay an additional fee			Descript.	Descript.
	based on the Original Master Permit Fee cost				

** to offset the cost of future repairs and maintenance to all sidewalks, gutters and roadway systems within the Town.