

**TOWN OF GOLDEN BEACH
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Building Regulatory Advisory Board
 Town of Golden Beach

From: Michael J. Miller, AICP *MJM*
 Consultant Town Planner

Date: June 3rd, 2019

Subject: Zoning Variance Applications
 Allow a 2nd Oceanfront Pergola
 307 Ocean Boulevard
 Lots 18 and 19 / Block B / Section B
 MMPA Project No.04-0101-0516

ISSUE

The applicant, Martin Litman from the architectural firm TOMA Design Group, Inc, as agent for the property owner Lloyd Myers (owner of record is listed as Jan A. Marks Trust), has filed applications with the Town to (1) allow for site plan modifications to the existing oceanfront swimming pool / deck / yard areas, and (2) a variance application to obtain approval to construct a 2nd pergola structure over an outdoor cooking / kitchen area in the rear yard (oceanfront) for a single-family home at the above address. The BRAB approved renovation plans for this house in 2016 and the home has been in the process of construction since. There is currently a cabana structure at the northeast corner of the site. At the time of approval in 2016 the roof of the cabana was shown as an open viewing deck. A pergola has now been built on top of the cabana. The 2016 plans showed a pergola over the outdoor cooking area – but it has not been built as yet. The Town adopted Code amendments in 2016 and 2018 that further restricted the size and number of cabanas / gazebos / pergolas (only one allowed / NTE 2% of the lot area / NTE 500 sq. ft. max.). The combined area of the existing cabana / pergola structure and 2nd pergola over the outdoor kitchen would be 387+/- sq. ft. This staff report is related only to the zoning variance application.

Following is the applicant's current request:

- Variance from Section 66-251(a) to allow a 2nd accessory structure (pergola) to be built within the rear (oceanfront) yard area. This section of the Town Code has a limitation of allowing only one (1) cabana, gazebo or pergola structure.

**Town of Golden Beach
Town Staff Report
307 Ocean Boulevard – Variance Request
June 3rd, 2019**

ANALYSIS

As per the Town's request MMPA has completed our review of the above referenced variance application requests and provide the following comments for consideration:

Variance from Section 66-251(a) to allow a 2nd accessory structure (cabana / gazebo / pergola) to be built within the rear (oceanfront) yard area. This section of the Town Code has a limitation of allowing only one (1) cabana, gazebo or pergola structure.

The applicant is requesting a variance to allow for the construction of a 2nd accessory structure (pergola) to be constructed over an outdoor cooking / kitchen area within the rear (oceanfront) yard area of the home. The BRAB approved renovation plans for this house in 2016. There is currently a cabana structure at the northeast corner of the site. At the time of approval in 2016 the roof of the cabana was shown as an open viewing deck. A pergola structure has now been built on top of the cabana. The 2016 plans showed a pergola over the outdoor cooking area – but it has not been built as yet. The Town adopted Code amendments in 2016 and 2018 that further restricts the size and number of cabanas / gazebos / pergolas for lots (only one allowed / NTE 2% of the lot area / NTE 500 sq. ft. max.). Prior to the recent Code amendments, the maximum allowable square feet allowed for such structures was 250 sq. ft. The combined area of the existing cabana / pergola structure and 2nd pergola would be 387+/- sq. ft. (less than the now allowed 500 sq. ft.).

NON-USE VARIANCE JUSTIFICATION

In recent years the Town has studied its Land Development Regulations (LDRs) and updated many Code provisions to address perceived problems or inadequacies. The Town has had regulations governing cabanas, gazebos, pergolas and other accessory structures since at least 1989. A number of Code updates have occurred to this section of the Code over the years – the last of which occurred in both 2016 and 2018. As we understand the recent Code modifications clarity was added to specify that only one (1) of either a cabana, a gazebo or a pergola could be constructed in the rear (oceanfront) yard of Zone One lots. When communities adopt new updated LDRs there are often pre-existing conditions that might fail to meet the new design criteria. In this instance there has been an oceanfront cabana for some time. That structure was recently renovated. At the time of approval in 2016 the roof of the cabana was shown as an open viewing deck. A pergola has now been built on top of the cabana. The 2016 plans showed a pergola over the outdoor cooking area – but it has not been built as yet. While the earlier Code provision (prior to 2016) stated that "a" cabana / gazebo / pergola structure was allowed in the rear yards of oceanfront lots it was not clear if one of each structure could be built or if only one structure was allowed. The new Code language clarifies this. Below are the applicant's revised justification and MMPA responses.

- 1) *The variance requested is for relief from the provisions of the Town Code.*

The applicant seeks relief from Sections 66-251(a) of the Town's Code of Ordinances.

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- 2) *Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district.*

The applicant states that due to the large rear (oceanfront) yard area they are seeking to provide additional shade structures for sun relief and heavy coastal winds. The applicant makes reference to the existing cabana / pergola at the northeast corner of the site (178 sq. ft.) and rationalizes that adding a new 225 sq. ft. pergola over the new outdoor cooking / kitchen that totals about 387 sq. ft. is well below the 2% / 500 sq. ft. maximum allowed. It is our understanding the Town Council initiated the 2016 / 2018 Code amendments to minimize building lot coverage (main house / accessory structures). This is particularly true on oceanfront lots to minimize sight obstructions of the ocean. MMPA notes the proposed outdoor kitchen / 2nd pergola structure is near the back of the home and would not obstruct views.

- 3) *The special conditions and circumstances do not result from the actions of the applicant.*

The applicant's justification statement is the pergola structure is necessary for shade and abatement to the coastal winds. MMPA is not aware of any special conditions or circumstances on this property that is different than any other oceanfront lot. It could be argued that providing shade from the sun is good; however, trees can equally provide shade. As to wind abatement this may serve as a barrier while cooking.

- 4) *Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district.*

The applicant states they have no knowledge of others being granted permission to construct multiple accessory structures in the rear (oceanfront) yard area. No inventory of other oceanfront sites with existing multiple accessory structures was not provided by the applicant or conducted by the Town. As stated prior to 2016 the Code was somewhat vague on whether only "one of each" cabana / gazebo / pergola structure was allowed. The recent Code amendments make it explicitly clear only one structure (owner gets to select) is allowed. MMPA believes that since the Code was changed no other home has been granted permission to construct multiple accessory structures.

- 5) *Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.*

The applicant states that other owners along the oceanfront have multiple structures that were allowed prior to the Code amendments. While this may true MMPA believes that the granting of this variance could be construed as granting this owner a special privilege not available to others due to the current Code limitations. The Town recently clarified the Code as to the quantity of these structures (but doubled the allowed size).

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- 6) *The variance granted is the minimum variance that will make possible the reasonable use of the land or structure.*

The applicant states the pergola will protect the outdoor cooking / kitchen from the climate (sun / wind). Shade structures are often a good idea for those sensitive to the sun – but this could be accomplished by landscaping (trees / others). There are also numerous portable umbrellas that could provide shade and would not be considered a structure. As to abatement of winds while cooking either this type of structure or others, or landscaping could accomplish this as well.

- 7) *The granting of the variance will be in harmony with the general intent and purpose of the Town Code and the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

The applicant states the 2nd pergola will be in harmony with the Town and Code as the combined square footage of both the existing cabana w/ pergola on top of it and the 2nd pergola are within the Code allowances (2% of lot area / 500 sq. ft. max.). While this may be true as related to only to the maximum square footage allowed, the Town Council has recently made the Code clearer that only one oceanfront accessory structure can be built. It is up to the Town officials if they wish to allow this 2nd accessory structure (pergola).

SUMMARY

MMPA was requested to review and comment on the requested variance. MMPA has attempted to analyze the request and provide applicable planning / zoning comments. MMPA understands some of the existing Town Codes frustrate owners / developers, but communities are allowed to write their Codes as they wish and prohibit certain improvements.



TOWN OF GOLDEN BEACH NOTICE OF PUBLIC HEARING

The **BUILDING ADVISORY BOARD** and **THE TOWN COUNCIL** of the Town of Golden Beach will hold a **Public Hearing** on the following proposal:

(X) Variance Request(s)
 New Construction X Modifications to an existing residence.

Application for approval of exterior modifications adding a summer kitchen, Pergola and changes to the landscaping design.

66-251 – Cabanas/Gazebos/Pergolas

a) In Zone One, one Cabana, Gazebo or Pergola separate from the main house structure may be permitted to be erected and only within the rear yard. The covered area of such structure, whether covered with roofing, trellis or open rafters, shall not exceed two percent of the net lot area up to a maximum floor area of 500 square feet. The roofed area measurement shall not include eaves or overhangs.

Request to allow an additional Pergola to be constructed measuring about 163 square feet when the code only allows for one.

JOB ADDRESS: 307 Ocean Boulevard, Golden Beach, FL. 33160
OWNER ADDRESS: 1001 Liberty Avenue, Suite 1150, Pittsburgh, PA. 15222
REQUESTED BY: Jan A. Marks Trs.
BLOCK DESCRIPTION: Lot 18 & 19 , Block B, GB Sect B, PB 9-52
FOLIO NO.: 19-1235-002-0490

The **BUILDING ADVISORY BOARD** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
DATE: July 9, 2019 at 6pm
The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
DATE: August 20, 2019 at 7pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: June 26, 2019


Linda Epperson, Building & Zoning Director

PURSUANT TO FLA. STATUTE 289.0106, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 307 Ocean Blvd Meeting Date: June 11
Variance Hearing Dates: Advisory Board _____ Town Council _____

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Building Approval:

Applicant: submit 8 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 7 sets; 11" x 17", 1 full size set and 1 CD containing all drawings marked with the address. Separate from the landscaping plan submittal

Landscape Approval:

Applicant submit, separate from the Building application, 8 complete packages for approval, Each package shall consist of an application, existing landscape survey, and drawings as required. The plans shall be sized as follows: 7 sets; 11 x 17, 1 full size set and 1 CD containing all drawings separate from the building plan submittal.

Zoning Variance Approval:

Submittals for a zoning variance: submit 16 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 15 sets; 11" x 17", 1 full size set and 1 CD containing all drawings.

As directed by the Building Official or Building Director.

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days prior to scheduled meeting, (**not including the day of the meeting**), by 2:00 P.M. that day to allow for preliminary review and for mailing of a public notice if a variance is requested.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

Please see page 5 for required documents.

****NOTICE****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date and time.
2. The Building Official and/ or the Building Director will review the application package. If it is determined that the application is incomplete, the item will be tabled and not placed on the Agenda for that month.
3. During the three (3) week period from deadline date to the hearing date, the following events shall take place in proper order:
 - a. During the first week of submittal, the Building Official, or agent will endeavor to review the application, and complete a comment sheet 15 days prior to the meeting. The critique sheet will specify all deficiencies for correction.
 - b. The critique sheet will be faxed, or emailed, to the applicant as soon as the review is completed.
 - c. If the deficiencies are substantial the application will be moved to the next scheduled meeting/hearing of the B.R.A.B.
 - d. If the deficiencies are minor, the applicant must submit the corrections including the revised paperwork within 5 days of the scheduled meeting/hearing. Corrections not received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package will be given to the processor and the Friday, prior to the scheduled meeting one set will be delivered to each Board member. The Building Dept shall retain all originals for the records.
6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
7. After the meeting, three (3) copies of the approved items (one full size and 2 ledger) shall be retained by the building department, the applicant must request the two reduced sized sets for inclusion into the building permit package.

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>
1. Residence (new construction).....	\$300.00
2. Addition/Remodel of existing structure.....	\$225.00
3. Fencing, site walls, driveways, pool decks (charged per each item included in the plans)	\$150.00
4. Accessory Building or Structure.....	\$150.00
5. Swimming pools.....	\$100.00
6. Docks.....	\$100.00
7. Boat Lifts.....	\$100.00
9. Carports, awnings.....	\$100.00
10. Landscape plan review; required for new construction, addition and remodeling project. (submit plans with site plan elevations separate from the building plan approval package)	\$300.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception.	\$750.00
b. Per additional variance/exception, for the same initial variance (example: request for a dock, affecting two different codes)	\$200.00
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, For each Section to be verified.....	\$100.00

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the second time period

\$250.00

**TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING**

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
	<p>If a zoning variance is applied for, the petition for variance, pages 9, 10 and 11 shall be submitted with the application and shall include:</p> <ul style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
	<p>Eight (8) property surveys, building plans, Warranty Deeds, and applications (1 original, 7 copies). Survey not older than six (6) months. Completed sets are to be submitted as follows: Seven (7) copies no larger than 11" x 17" & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies no larger than 11" x 17" and 1 original at full size). Each completed package shall consist of 1 each of an application, survey, Warranty Deed and building plans. Submit 1 CD with all documents included</p>	
	<p>Conceptual construction drawings prepared and signed by a licensed design professional that shall include, at a minimum, the following:</p> <ul style="list-style-type: none"> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Proposed Floor Plan views, at a scale not less than 1/4"=1'-0" c. Cross and longitudinal sections preferably through vaulted areas, if any. d. Typical exterior wall cross section. e. Full elevations showing flat roof and roof ridge height and any other higher projections. f. Sample board of construction materials to be used. g. Existing and proposed ground floor elevations (NGVD). h. Grading & Drainage Calculations i. Zone 3 Properties: Affidavit of Seawall Conformity 	
	<p>Landscaping Plan, separate from building plan package, prepared and signed by a licensed landscape design professional: Each completed package shall consist of 1 each of an application, existing landscape survey, Warranty Deed, landscape plans with building site plans. Seven (7) 11 x 17 and One (1) full size set. Submit 1 CD with all documents included. Mark CD accordingly (separate from building)</p>	
	<p>Pervious area calculations marking the geometrical areas used to calculate the overall required pervious area percentage.</p>	
	<p>Colored rendering showing new or proposed addition Work marked with the applicable address.</p>	
	<p>Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.</p>	
	<p>Site plan detailing construction site personnel parking.</p>	

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Request hearing in reference to: _____ Application fee: _____

New residence/addition: _____ Variance(s): _____
Exterior alterations: _____ Other Structure: _____
Date application filed: _____ For hearing date: _____

1. Project information:
Project description: Exterior Alteration (rear only) to existing ocean front residence.
Legal Description: Lot 18/19, Block "B", Section "B", Platbook 9, page 52
Folio #: 19-1235-002-0490
Address of Property: 307 Ocean Blvd

2. Is a variance(s) required: Yes No _____ How Many? 1
(If yes, please submit variance application form for each request).

Owner's Name: Jan A Marks, Trustee Phone 3054012223 Fax _____
Owner's address: 307 Ocean Blvd City/State Golden Beach, FL Zip 33160
Email address: info@tomadesigngroup.com
Agent: Martin Litman Phone 3054012223 Fax _____
Agent's address: 20900 NE 30th Ave. #1001 City/State Aventura, FL Zip 33180
Email address: martinlitman@gmail.com
Architect: Toma Design Group Inc. Phone 3054012223 Fax _____
Email address: info@tomadesigngroup.com
Contractor: N/A Phone _____ Fax _____

3. Describe project and/ or reason for hearing request: Rear exterior alteration, new outdoor kitchen/bbq and rear yard alteration to existing residence

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual: _____ Preliminary: _____ Final: _____
Other: _____

5. Estimated cost of work: \$ 250,000
Estimated market value of: Land \$ 8,000,000.00
Building \$ 6,500,000.00

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? NO
7. Are there any structures on the property that will be demolished? NO
8. Does legal description conform to plat? YES
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge

Signature of owner(s): *J. R. Litman, Trustee*

Acknowledged before me this May 29 day of, 2019

Type of identification:
Personally Known to Me

Diana Lynn Hannes
COMMONWEALTH OF PENNSYLVANIA
Notary Public
Diana Lynn Hannes, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires March 29, 2020
MEMBER PENNSYLVANIA ASSOCIATION OF NOTARIES

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: B.A.R.B. and Variance request relative to my property and I am hereby authorizing Martin R. Litman to be my legal representative before the Building Regulation Advisory Board and Town Council.

Signature of owner(s)

Acknowledged before me this _____ day _____ 20_____

Type of identification:

Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? NO
7. Are there any structures on the property that will be demolished? NO
8. Does legal description conform to plat? YES
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s) *J. R. Litman*

Acknowledged before me this May 29 day of, 2019

Type of identification:

Personally Known to Me

Diana Lynn Hannes

COMMONWEALTH OF PENNSYLVANIA
NOTARY PUBLIC
Diana Lynn Hannes, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires March 29, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: B.A.R.B. and Variance request relative to my property and I am hereby authorizing Martin R. Litman to be my legal representative before the Building Regulation Advisory Board and Town Council.

Signature of owner(s)

Acknowledged before me this _____ day _____ 20____

Type of identification:

Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 307 Ocean Blvd.
 Legal Description: Lot 18/19, Block "B", Section "B", Platbook 9, page 52
 Owner's Name: Jan A. Marks Trustee Phone 3054012223 Fax _____
 Agent's Name: Martin Litman Phone 3054012223 Fax _____
 Board Meeting of: June 2019

- NOTE: 1. **Incomplete applications will not be processed.**
 2. Applicant and/or architect must be present at meeting.

Application for: New outdoor kitchen and rear yard alteration
 Lot size: 27,950 sqft
 Lot area: 100' x 279'
 Frontage: 100 feet
 Construction Zone: Zone 1
 Front setback: Existing to remain
 Side setback: Main residence: Existing to remain, outdoor kitchen: 10'-9"
 Rear setback: Main residence: Existing to remain, outdoor kitchen: 104'-7"
 Coastal Construction: Yes No East of coastal const. control line: Yes No
 State Road A1A frontage: Yes
 Swimming pool: Yes No Existing: Proposed: _____
 Fence Type: Chain Link Existing: Proposed: _____
 Finished Floor elevation N.G.V.D.: _____
 Seawall: No Existing: _____ Proposed: _____
 Lot Drainage: Provided landscape swale drainage to remain, 10 yr / 24h
 How will rainwater be disposed of on site? Swale Drainage

Adjacent use (s): Residential
 Impervious area: 14,330 sqft.
 % of impervious area: 51%
 Existing ground floor livable area square footage: 5339 sqft.
 Proposed ground floor livable area square footage: 5339 sqft. (no alteration)
 Existing 2nd floor livable area square footage: Existing to remain
 Proposed 2nd floor livable area square footage: Existing to remain
 Proposed % of 2nd floor over ground floor: Existing to remain
 Vaulted area square footage: Existing to remain
 Vaulted height: Existing to remain
 Color of main structure: White
 Color of trim: White
 Color & material of roof: Grey Roof Tile
 Building height (above finished floor elevation): Existing to remain
 Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum):
N/A
 Existing trees in Lot: Yes in Swale: _____
 Proposed trees in Lot: Yes in Swale: _____
 Number & type of shrubs: _____
 Garage Type: Yes Existing: Proposed: _____
 Driveway width & type: Existing to remain

Signature of Applicant: *Jan A. Marks*, Trustee Date: May 29, 2019
 BUILDING REGULATION ADVISORY BOARD APPLICATION (September 2016)
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TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: 5/14/19

Fee: _____

I, Jan A Marks Trust hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at:

307 Ocean Blvd. Folio No. 19-1235-002-0490

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of **(list section number(s) of the Town of Golden Beach Code of Ordinances)**: Sec. 66-251 permits, in zone 1, one Cabana, Gazebo or Pergola separate from house with maximum 500 sq.ft.

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Sec. 66-251 that allows a Cabana, Gazebo or Pergola separate/detached from main house with a maximum of 500 sq.ft.

b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. The rear lot area is very large in size for which we are requesting 2 covered areas for sun relief and heavy prevailing oceanfront winds. There is an existing Pergola on the North East of property that is 178 sq.ft. and we are proposing a 2nd separate structure with lateral wind protection screens on the South East for an outdoor kitchen which is 225 sq.ft. Sec 66-251 mentions 1 structure no more than 500 sq.ft. and we are proposing 2 structures that are well below the 500 sq.ft. permitted to total 387 sq.ft.

c. The special conditions and circumstances do not result from the actions of the applicant. Besides share relief from heavy sun exposure of property, being this is an the oceanfront property, heavy coastal breeze, and local prevailing winds that come from ocean impede any outdoor cooking to occur comfortably.

d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. We do not have knowledge of this being allowed in other properties.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. New change in code to section 66-251 does not allow more than 1 accessory structure. Several neighbors on ocean front properties enjoy the benefit of several shade structures (more than 1) prior to code change.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Yes, to have outdoor allowed kitchen (below 36") to be protected from the sun and outdoor climate protection

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Granting this variance will be in harmony with town and code due to fact we are proposing 1 new pergola structure that will be in line with existing main residence design and we are proposing existing and new pergola to not exceed 500 ft. ft maximum floor area permitted.

Does the Variance being requested comply with all the above listed criteria?
 Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No.
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? Yes No

8. Is construction in progress? No

9. Is this request as a result of a code violation? No

10. Did this condition exist at the time property was acquired? Yes No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No

12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
ACKNOWLEDGEMENT and AFFIDAVIT BY OWNER
Chapter 46 Waterways of the Code of Ordinances
Article IV Seawalls and Docks.

Affidavit by Owner:

Folio No.: 19-1235-002-0490 Address: 307 Ocean Blvd.

Legal Description: Lot 18/19, Block "B", Section "B", Platbook 9, page 52

Being duly sworn, deposes and says: That He/She is the Owner named in the permit application for construction or other related work to be performed on, or in connection with, the premises, as indicated above, and is in agreement that granting of a permit for construction on said premises, agrees to repair, or replace said seawall in question, to a conforming 4 foot elevation and to replace/and or repair any deteriorated seawall or portion thereof, as required by the Town's Code of Ordinances, Article IV "Seawalls and Docks, The Dept. of Environmental Resource Management, and the Florida Building Code 2010.

Jan A. Marks, Trustee
Signature of Owner or Legal Representative
Print Name: JAN A. MARKS, TRUSTEE

Sworn to and subscribed before me this 29 day of May, 2019

Diana Lynn Hannes
Notary Public State of Florida at Large

Personally know to me Produced Identification

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Diana Lynn Hannes, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires March 29, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-002-0490 Address: 307 Ocean Blvd.

Legal Description: Lot 18/19, Block "B", Section "B", Platbook 9, page 52

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of _____ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

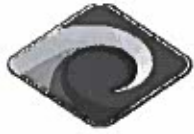

Signature of Owner or Legal Representative

Sworn to and subscribed before me this 29 day of May 2019


Notary Public State of Florida at Large

Personally know to me Produced Identification

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Diana Lynn Hannes, Notary Public
City of Pittsburgh, Allegheny County
My Commission Expires March 29, 2020
MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES



**OCEAN
ENGINEERING**

CIVIL ENGINEERING CONSULTANTS

**STORMWATER DRAINAGE CALCULATIONS
FOR
TOWN OF GOLDEN BEACH
PUBLIC WORKS DEPARTMENT**

**Myers Residence
307 Ocean Boulevard
Golden Beach, FL 33160**

June 2019

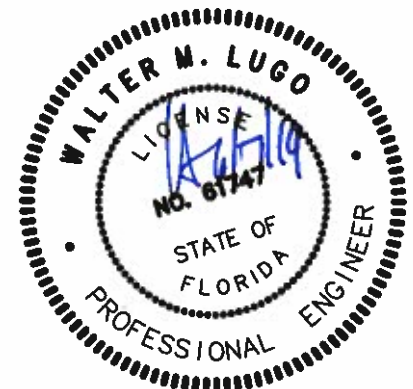
Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

JUL 09 2019

PREPARED BY:

WALTER M. LUGO, P.E.
Florida Registration # 61747
Ocean Engineering, Inc.
8101 Biscayne Blvd. Ste. 508
Miami, FL 33138
CA 29490

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____



**Myers Residence
307 Ocean Blvd
Golden Beach, FL 33160**

PRE- / POST- 10YR/24HR DRAINAGE CALCULATIONS

Myers Residence
307 Ocean Blvd
Golden Beach, FL 33160

I. PROJECT DESCRIPTION:

Myers Residence (307 Ocean Blvd) is located within Township 51S, Range 42E, Section 35 within Golden Beach, FL 33160. According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map #12086C0153L, the project site is located within several flood zones namely Flood Zone X, AE and VE with an flood elevation of Undetermined, 8.0' NGVD, and 10.0' NGVD respectively. The proposed renovations is concentrated to the rear yard where the existing elevated lawn will be extended easterly. A new detached trellis is being proposed with a sunken den area located at the east end of the pool. The existing main residence and detached bungalow will remain with no proposed modifications. The proposed landscape will include perimeter swales to allow onsite stormwater retention.

II. PROPOSED DRAINAGE MODIFICATIONS:

The proposed drainage system will be designed in accordance to the Town of Golden Beach stormwater design standards and requirements. In accordance to the Town's stormwater design guidelines, all residential developments within the City's jurisdiction is required to retain the stormwater quantity treatment volume for a 10yr/1day storm event with a rainfall amount equal to 7-inches. Proposed drainage swales and perimeter landscape berms will be designed for potential storage volume prior to any implementation of exfiltration trenches. The most effective and cost efficient method of retaining and discharging the required stormwater runoff will be implemented.

III. DESIGN CRITERIA:

A. Water Quantity Criteria:

1. Design Event for Minimum Discharge Elevation (P):

Frequency:	10-year
Duration:	1-day
Amount:	7.0-inches

2. Difference between pre- and post- runoff volumes.

B. Additional Design Consideration:

1. Miami-Dade County Average Wet Season Elevation:
2. Rain event is a 10-year/24-hour storm event.
3. Stormwater quantity must be retained onsite.

2.00' NGVD

IV. CONCLUSION:

A. Existing Condition Results:

1. Calculated storm water quantity volume for a 10-yr/1-day storm event: **0.192 ac-ft**

B. Proposed Condition Results:

2. Calculated storm water quantity volume for a 10-yr/1-day storm event: **0.202 ac-ft**

C. Pre- Conditions vs. Post- Conditions

Post-Condition runoff - Pre-Condition Runoff = Design Volume
0.202 ac-ft - 0.192 ac-ft = 0.009 ac-ft

D. Retention Design Criteria:

The proposed dry retention swale design shall have the capacity to retain the following volume:

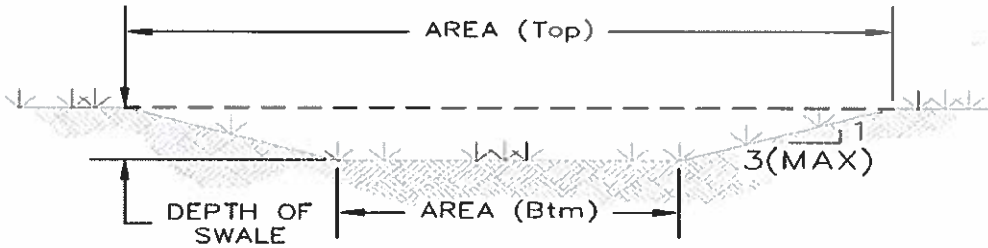
1. The calculated volumetric difference between pre-condition and post- condition runoff: **0.009 ac-ft**

**The volume of 0.009 ac-ft controls
 or 413 cf controls**

E. Storage Provided:

Surface volume storage developed by the proposed landscape swale areas are calculated by using the following formula:

$$\text{Swale storage volume (V)} = \frac{(\text{Area}_{\text{top}} + \text{Area}_{\text{Btm}})}{2} \times \text{Depth of swale}$$



Swale	Area _{Top} (sf.)	Area _{Btm} (sf.)	Average Area (sf.)	Elev. Top (ft.)	Elev. Btm (ft.)	Depth of Swale (ft)	Calc. Vol (CF)
SW-1	1311.34	559.67	935.51	13.50	13.00	0.50	467.8
SW-2							0
Total Available Retention Volume:							467.8

Total Available Retention Volume (Vp) > Calculated Required Retention Volume (V)
468 cf. > 413 cf.

V. PROPOSED SITE DATA INFORMATION

Description	Storage Type	Area (ac.)	High Elev. (ft.)	Low Elev. (ft.)	Total Area (%)
Building Area:	V	0.123	16.42	7.50	19.1%
Lake Area (water features, pools, etc.):	V	0.012	13.90	13.90	1.9%
Pervious Areas (landscape, swales etc.):	L	0.313	14.55	8.50	48.7%
Impervious Area (sidewalk, driveways, etc.):	L	0.194	15.92	8.50	30.2%
Total Area		0.642	15.92	8.50	100.0%

Developed Available Storage

Soil type: Coastal (1)

Depth to Water	Comp. Avail.	Comp. CN Value
1.0	0.45	96
2.0	1.88	84
3.0	4.95	67
4.0	8.18	55

Depth to Water Table

	Elevation (ft.)
Average Developed Elevation:	12.21
Average Water Table Elevation:	2.00
Average Depth to Water Table:	10.21

Available Soil Storage

Because the average grade after development will place the water table > 10.21' below the surface, the developed available storage for this site is taken to be 8.18 inches

Available Soil Storage

Calculated soil moisture storage (S):

$$\begin{aligned}
 \text{Soil Storage (S)} &= \left(\frac{\text{Pervious Area}}{\text{Total Area}} \right) \times \text{Developed available storage} \\
 &= \frac{0.313 \text{ acres}}{0.487} \times 8.18 \text{ inches} \\
 &= \underline{\underline{3.99 \text{ inches}}}
 \end{aligned}$$

Calculated Runoff

Estimated stormwater runoff (Q) generated by the specified 10-year/1-day rainfall event (P) for a given site with a weighted soil moisture storage value for maximum retention parameter (S).

$$Q = \frac{(P - 0.2S)^2}{(P + 0.8S)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches) as determined based on soil type and depth to GWT.

$$\begin{aligned}
 &= \frac{(7.00 \text{ inches} - 0.2 \times 3.99 \text{ inches})^2}{(7.00 \text{ inches} + 0.8 \times 3.99 \text{ inches})} \\
 &= \frac{38.47}{10.19} \\
 &= \underline{\underline{3.78 \text{ inches}}}
 \end{aligned}$$

VOLUME OF RUNOFF (V)

The volume (V) of runoff generated during a 10-year/1-hour storm must be contained within the property boundaries.

Runoff

$$\begin{aligned}
 \text{Volume (V)} &= \frac{(\text{Total Area}) \times (Q)}{12} \\
 &= \frac{0.64164371 \text{ acres} \times 3.78 \text{ inches}}{12} \\
 &= \frac{2.42 \text{ ft}^2\text{-in}}{12} \\
 &= \underline{\underline{0.202 \text{ ac-ft}}}
 \end{aligned}$$

VI. EXISTING SITE DATA INFORMATION

Description	Storage Type	Area (ac.)	High Elev. (ft.)	Low Elev. (ft.)	Total Area (%)
Building Area:	V	0.123	16.42	7.50	19.1%
Lake Area (water features, pools, etc.):	V	0.012	13.90	13.90	1.9%
Pervious Areas (landscape, swales etc.):	L	0.339	14.55	8.50	52.9%
Impervious Area (sidewalk, driveways, etc.):	L	0.167	15.92	8.50	26.1%
Total Area		0.642	15.92	8.50	100.0%

Developed Available Storage

Soil type: Coastal (1)

Depth to Water	Comp. Avail.	Comp. CN Value
1.0	0.45	96
2.0	1.88	84
3.0	4.95	67
4.0	8.18	55

Depth to Water Table

	Elevation (ft.)
Average Developed Elevation:	12.21
Average Water Table Elevation:	2.00
Average Depth to Water Table:	10.21

Available Soil Storage

Because the average grade after development will place the water table > 10.21' below the surface, the developed available storage for this site is taken to be **8.18 inches**

Available Soil Storage

Calculated soil moisture storage (S):

$$\text{Soil Storage (S)} = \left(\frac{\text{Pervious Area}}{\text{Total Area}} \right) \times \text{Developed available storage}$$

$$= \frac{0.339 \text{ acres}}{0.642 \text{ acres}} \times 8.18 \text{ inches}$$

$$= 0.529 \times 8.18 \text{ inches}$$

$$= \underline{\underline{4.32 \text{ inches}}}$$

Calculated Runoff

Estimated stormwater runoff (Q) generated by the specified 10-year/1-day rainfall event (P) for a given site with a weighted soil moisture storage value for maximum retention parameter (S).

$$Q = \frac{(P - 0.2S)^2}{(P + 0.8S)}$$

Q = direct runoff (inches)

P = rainfall (inches)

S = soil storage (inches) as determined base don soil type and depth to GWT.

$$= \frac{(7.00 \text{ inches} - 0.2 \times 4.32 \text{ inches})^2}{(7.00 \text{ inches} + 0.8 \times 4.32 \text{ inches})}$$

$$= \frac{37.64}{10.46}$$

$$= \underline{\underline{3.60 \text{ inches}}}$$

VOLUME OF RUNOFF (V)

The volume (V) of runoff generated during a 10-year/1-hour storm must be contained within the property boundaries

Runoff





$$\text{Volume (V)} = \frac{(\text{Total Area}) \times (Q)}{12}$$

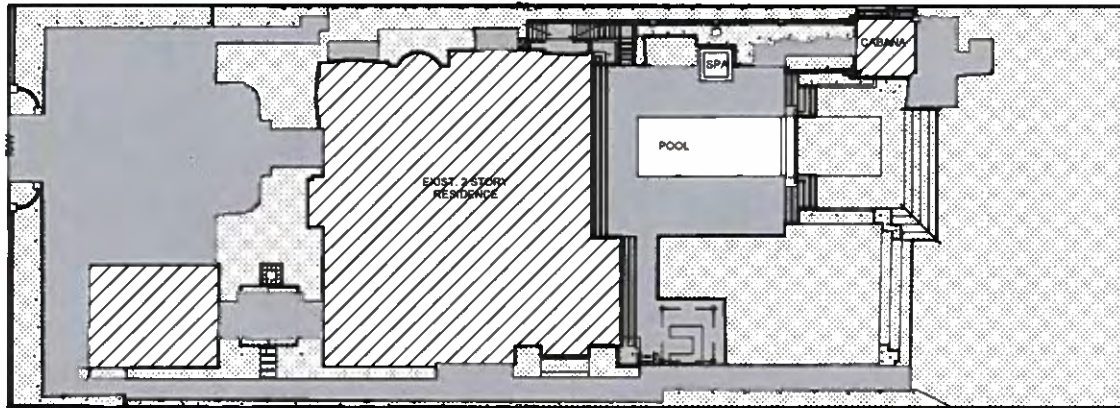
$$= \frac{0.64164371 \text{ acres} \times 3.60 \text{ inches}}{12}$$

$$= \frac{2.31 \text{ ft}^2\text{-in}}{12}$$

$$= \underline{\underline{0.192 \text{ ac-ft}}}$$

BASIN AREAS

PATTERN	DESCRIPTION	AREA (AC.)	(%)
	BUILDING AREA	0.123 AC	19.1%
	PERVIOUS AREA	0.313 AC	48.7%
	IMPERVIOUS AREA	0.194 AC	30.2 %
	WATER FEATURES	0.012 AC	1.9%
TOTAL AREA		0.642 AC	100.0%



WALTER M. LUGO P.E.
FL. LIC. NO. 61747



PROJECT NO:
2017-1018-27

DRAWN BY: L.M.M

SCALE:

CHECKED BY: WML

DATE: 06-03-2019

PROPOSED DRAINAGE BASIN MAP





MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33160

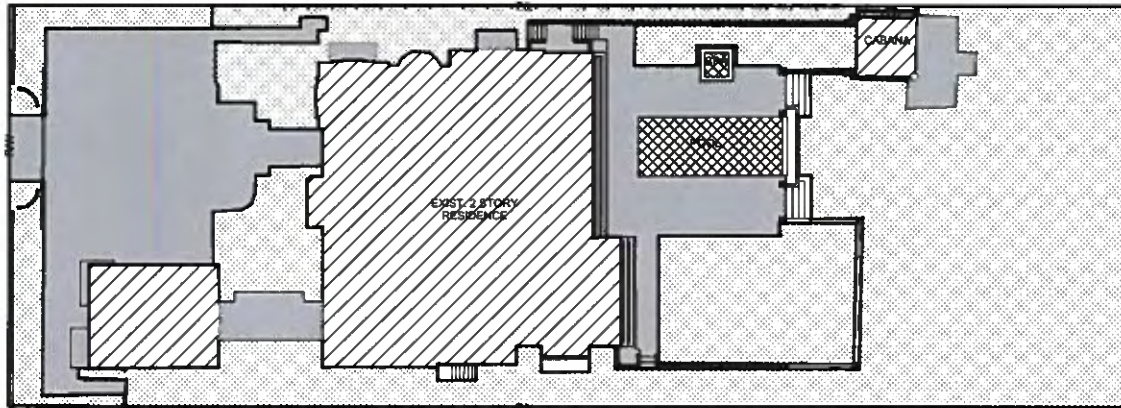
NO.	DATE	REVISIONS DESCRIPTION

SHEET NO:

EX-1

BASIN AREAS

PATTERN	DESCRIPTION	AREA (AC.)	(%)
	BUILDING AREA	0.123 AC	19.1%
	PERVIOUS AREA	0.339 AC	52.9%
	IMPERVIOUS AREA	0.167 AC	26.1%
	WATER FEATURES	0.012 AC	1.9%
TOTAL AREA		0.642 AC	100.0%



WALTER M. LUGO P.E.
FL. LIC. NO. 61747



PROJECT NO:
2017-1016-27

DRAWN BY: L.M.M.

SCALE:

CHECKED BY: WML

DATE: 06-03-2019

EXISTING DRAINAGE BASIN MAP

MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33160

NO.	DATE	REVISIONS DESCRIPTION

SHEET NO:

EX-2

toma design group inc.

20900 N.E. 30th Ave, Suite # 1001, Aventura, FL, 33180
T. 786-206-7290 / F. 1305 425 0327 / info@tomadesigngroup.com

June 4th, 2019

Via Hand Delivery

Building Regulation Advisory Board
Town of Golden Beach
Planning and Zoning Department

RE: RESPONSE Community Development Memorandum 307 Ocean Boulevard

To Whom It May Concern:

Upon review of both staff reports dated June 3rd for B.R.A.B Memorandum and Variance application, we would like to clarify the following items as expressed therein.

- 1) Issue (para 1) it states that "The BRAB approved renovation plans for this house in 2016 and the home has been in the process of construction since.". This is incorrect, as while planning and ongoing documentation, consulting services, related expenses and response to the Town of Golden Beach and the State of Florida has been ongoing, no construction related to the project has been started given the lack of clarity of such "approval" to proceed. Also note that if the BRAB did in fact "approve" the renovation of the house in 2016, as stated, the 2016 (which followed the BRAB "approval") and the 2018 changes should not apply in this instance.
- 2) Issue (para 1), Analysis (para 3), and Non-Use Variance Justification it states that "At the time of approval in 2016 the roof was shown as an open viewing deck. A pergola has since been built on top of the cabana." Note, that at the time of purchase of the property in October 2015, which was prior to the submission of said plans and BRAB approval date, a pre-existing pergola already existed above the cabana.
- 3) Non-Use Variance Justification (multiple references) it states in multiple locations that the purpose of the pergola is for "sun relief". While this is true, the primary purpose of the pergola and related functionality, is for protection from rain and wind relief, particularly given that the objective is to protect the desired outdoor kitchen from the elements so that it can be useful. It further states that "Trees can equally provide shade," which may be true, but does not address the primary weather related issues in question.

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

JUL 09 2019

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

toma design group inc.

20900 N.E. 30th Ave, Suite # 1001, Aventura, FL, 33180
T. 786-206-7290 / F. 1305 425 0327 / info@tomadesigngroup.com

- 4) **Petition for Variance: Please amend Item 2(b) to replace sentences 1 and 2 (only) to read, "The rear lot is very large in size for which we are requesting 2 covered areas. The purpose of the new requested pergola is to provide protection from the elements, including sun, but in particular wind and rain, to enable the applicant to practically use the new outdoor kitchen given the oceanfront nature of the property...."**

Thank you for the opportunity to make these clarifications,

A handwritten signature in black ink, appearing to read 'Martin Litman', with a long horizontal stroke extending to the right.

Martin Litman
Toma Design Group Inc.

BRUCE WEBER AND NAN BUSH
325 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

JAN A MARKS TRS.
1001 LIBERTY AVENUE , STE 1150
PITTSBURGH, PA. 15222

RONALD N. TUTOR TRS
TUTOR MARITAL PROPERTY TRUST
ALIA TUTOR TRS
307 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

B. MITCHELL & LORI GRABOIS
299 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

JEREMY ALTERS TRS
JEREMY ALTERS REV TRUST
AGREEMENT
277 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

MOISES SALAMA
284 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

288 OCEAN BLVD LLC
288 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

RACHMIL AND SARITA LEKACH
296 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160

M JOSIE KUENNETH LE
REM ROSA L. CASTELLANOS, MANUEL
E. MUNINOS, WILLIAM MUINOS

MICHAEL AND DEBBIE
ABRAMOWITZ
340 OCEAN BOULEVARD
GOLDEN BEACH, FL. 33160



TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, Fl. 33160

SUMMARY MINUTES DRAFT
BUILDING REGULATION ADVISORY BOARD
July 9, 2019 at 6pm

- A. CALL MEETING TO ORDER:** 6:05pm
- B. BOARD ATTENDANCE:** Isaac Murciano, Jerome Hollo, Judith Mimoun and Alan Macken (6:15pm)
- C. STAFF ATTENDANCE:** Michael Miller-Michael Miller Planning and Linda Epperson-Director Building and Zoning.
- D. APPROVAL OF MINUTES:** June 11, 2019

A motion to approve the minutes was made by Isaac Murciano, Seconded by Judith Mimoun
Isaac Murciano-Aye, Jerome Hollo-Aye, Judith Mimoun-Aye.
Motion passed 3 – 0

E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS

- 1. Galasky Construction Enterprises 2 LLC
429 Center Islands
Golden Beach, Fl 33160

Property Address: 399 Golden Beach Dr, Golden Beach, Fl 33160-0000
Folio No: 19-1235-005-0330
Legal Description: Gb Sec E Pb 8-122 N19.50ft Of Lot 39 & All Lot 40 Blk 4

Approval for installation of an entry canopy, variance required.
Move item to next meeting.

- 2. Lior Ben Shmuel
508 N Parkway
Golden Beach, Fl 33160-2253

Property Address: 570 N ISLAND DR, Golden Beach, Fl 33160
Folio No: 19-1235-006-0920
Legal Description: GB Sec D Pb 10-10, Lt 42 & S 1/2 of 41, Blk 5

Addition and remodel of interior and exterior residence.
Move item to next meeting.

3. Suzanne C & Isaac Mendal Trs
378 Golden Beach Dr
Golden Beach, FI 33160

Property Address: 378 Golden Beach Dr, Golden Beach, FI 33160
Folio No: 19-1235-005-0710
Legal Description: GB Sec E, PB 8-122 LOT 47 & S1/2 Of LOT 48 BLK G

Installation of a new concrete seawall cap to +5.5 NGVD, new concrete batter & king piles, and a new marginal wood dock.
Move item to next meeting.

4. Teddy S & Kerri Toledano
185 Golden Beach Dr
Golden Beach, FI 33160

Property Address: 185 Golden Beach Dr, Golden Beach, FI 33160
Folio No: 19-1235-004-1230
Legal Description: Gb Sect D, Pb 10-10, Lot 37 & S1/2 Of Lot 38 Blk 6

Approval for demolition of an existing residence and accessory structures and construction of a new two-story single-family residence and accessory structures and approval of the landscape design.
Move item to next meeting.

A motion to defer items 1 through 4 to the August 13, 2019 meeting date was made by Isaac Murciano, Seconded by Judith Mimoun
Isaac Murciano-Aye, Jerome Hollo-Aye, Judith Mimoun-Aye.
Motion passed 3 – 0

F. VARIANCE REQUEST(S):

5. Jan A Marks Trs & 307 Ocean Boulevard Tr
1001 Liberty Ave Ste 1150
Pittsburgh, Pa 15222

Property Address: 307 Ocean Blvd, Golden Beach, FL. 33160
Folio No.: 19-1235-002-0490
Legal Description: GB SEC B PB 9-52, LOTS 18 & 19 BLK B

Michael Miller – Michael Miller Planning entered his report into the record.
Martin Litman with Toma Design Group spoke on behalf of the applicants.

Application for approval of exterior modifications adding a summer kitchen, Pergola and changes to the landscaping design.

66-251 – Cabanas/Gazebos/Pergolas

a) In Zone One, one Cabana, Gazebo or Pergola separate from the main house structure may be permitted to be erected and only within the rear yard. The covered area of such structure, whether covered with roofing, trellis or open rafters, shall not exceed two percent of the net lot area up to a maximum floor area of 500 square feet. The roofed area measurement shall not include eaves or overhangs.

Request to allow an additional Pergola to be constructed measuring about 163 square feet when the code only allows for one.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances and exceptions, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion to recommend approval for a second Accessory structure (Pergola) was made by Isaac Murciano, Seconded by Judith Mimoun
On roll call: Isaac Murciano-Nay, Jerome Hollo-Nay and Judith Mimoun-Nay
Motion failed 3 – 0

6. Mark and Yrina Barrocas
395 Warren Street
Brookline MA. 02445120

Property Address: 501 Ocean Boulevard, Golden Beach, FL. 33160
Folio No: 19-1235-001-0640
Legal Description: GB Sec A, PB 9-52 LOTS 39 & 40 BLK D

Revisions to a previously approved design.

66-69.1 – Zone One (Ocean Front Properties)

1). Request relief from Town Code Sections 66-69.1 – (d) Building Height – (1) Main Residence

d. The height measurement for main residences shall be measured from the lowest habitable Living Area which is a maximum of two feet above the FDEP lowest structural member (18.2 feet NGVD). This height measurement shall include all portions of the main residence east of the 60-foot front Setback line or Coastal Construction Control Line (CCCL), whichever is more westerly. Areas occupied below 18.2 feet NGVD, including only garages, storage areas, a gym, laundry room and one bathroom shall not be considered habitable areas. If any other use occurs in the area below 18.2 feet NGVD it is considered expendable from a flood or wave action damage standpoint, and those areas shall be considered habitable; therefore, the building height shall be measured from the lowest floor level below 18.2 feet NGVD.

To allow the first-floor finished elevation to be at 23.5' NGVD with a building height not to exceed 51.5' NGVD.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances and exceptions, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion to recommend approval was made by Isaac Murciano, Seconded by Judith Mimoun
On roll call: Isaac Murciano-Nay, Jerome Hollo-Nay, Judith Mimoun-Nay and Alan Macken-Aye
Motion failed 3 – 1 (Aye)

2). Request relief from Town Code Section 66.69.1 – (d) Building Height - (2) Guest/Garage Accommodations
b. The height measurement for free-standing garages and/or guest accommodations shall be measured from a height of two feet above the average crown of the road adjoining the site, as opposed to the height allowance for the main residence.

To allow the Garage/Guest house structure to be measured from a first-floor slab elevation of +12'4" NGVS + 2 feet instead of the Town's code requirement of Crown of the Road 9' + 2 feet.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances and exceptions, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion to recommend approval for was made by Isaac Murciano, Seconded by Alan Macken.
On roll call: Isaac Murciano-Nay, Jerome Hollo-Nay, Judith Mimoun-Nay and Alan Macken-Aye
Motion failed 3 – 1 (Aye)

G. OLD BUSINESS:

7. Jan A Marks Trs & 307 Ocean Boulevard Tr
1001 Liberty Ave Ste 1150
Pittsburgh, Pa 15222

Property Address: 307 Ocean Blvd, Golden Beach, FL. 33160
Folio No.: 19-1235-002-0490
Legal Description: GB SEC B PB 9-52, LOTS 18 & 19 BLK B

Michael Miller – Michael Miller Planning – entered his report into the record.
Martin Litman with Toma Design Center spoke on behalf of the applicant.

Application for approval of exterior modifications adding a summer kitchen, Pergola and changes to the landscaping design.

A motion to approve the design, without approval of the Pergola, was made by Isaac Murciano, Seconded by Alan Macken

On roll call: Isaac Murciano-Aye, Jerome Hollo-Aye, Judith Mimoun-Aye, Alan Macken-Aye

Motion passed 4 – 0

The applicant was notified that they needed to return to the Building Advisory Board for approval of the Pergola if their Variance request is granted by the Town Council.

8. Mark and Yrina Barrocas
395 Warren Street
Brookline MA. 02445120

Property Address: 501 Ocean Boulevard, Golden Beach, FL. 33160

Folio No: 19-1235-001-0640

Legal Description: GB Sec A, PB 9-52 LOTS 39 & 40 BLK D

Revisions to a previously approved design.

A motion to table the item to the September 2019 Building Advisory Board was made by Isaac Murciano, Seconded by Alan Macken

On roll call: Isaac Murciano-Aye, Jerome Hollo-Aye, Judith Mimoun-Aye, Alan Macken-Aye

Motion passed 4 – 0

H. NEW BUSINESS:

9. Reuben Ezekiel
801 S University Dr Ste A112
Plantation, FL 33324-3337

Property Address: 471 Center Island Dr, Golden Beach, FL 33160-2207

Folio No: 19-1235-005-0960

Legal Description: GB Sec E Pb 8-122, N ½ Of Lots 8 & All Lot 9 Blk L

Michael Miller – Michael Miller Planning – entered his report into the record.
Bill Thomas of Unlimited Permit Services spoke on behalf of the applicant.

Approval for installation of a 24k cradle boat lift with 4 concrete pilings.

A motion to approve the item was made by Isaac Murciano, Seconded by Alan Macken

On roll call: Isaac Murciano-Aye, Jerome Hollo-Aye, Judith Mimoun-Aye, Alan Macken-Aye

Motion passed 4 – 0

I. PRELIMINARY DESIGN REVIEWS - ITEMS FOR DISCUSSION AND POSSIBLE APPROVAL

J. ADJOURNMENT - 7:28pm

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE.

MYERS RESIDENCE

307 OCEAN BLVD., GOLDEN BEACH, FL, 33160



DRAWING INDEX

ARCHITECTURAL PLANS

G-1.0	COVER / INDEX
G-1.1	GENERAL NOTES
D-1.0	EXISTING CONDITIONS & DEMO SITE PLAN
D-1.2	DEMOLITION BACK PLAN
A-1.0	PROPOSED SITE PLAN CIVIL SCALE
A-1.1	PROPOSED SITE PLAN
A-1.2	PROPOSED BACK PLAN
A-2.0	SECTIONS
A-2.1	SECTIONS
A-2.2	SECTIONS

CIVIL PLANS

C-100	GENERAL NOTES AND SPECIFICATIONS
C-200	PAVING, GRADING AND DRAINAGE PLAN
C-300	CUT AND FILL PLAN

LANDSCAPE PLANS

L-000	COVER SHEET
L-100	EXISTING TREE SURVEY + DISPOSITION PLAN
L-101	EXISTING TREE DISPOSITION CHART
L-200	LANDSCAPE PLAN - WEST PARCEL
L-201	LANDSCAPE PLAN - EAST PARCEL
L-300	LANDSCAPE NOTES + DETAILS
L-400	IRRIGATION PLAN

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

2024.01.15

APPROVED
DISAPPROVED
VARIANCE REQ.

Revisions	
No.	Remarks

 APPROVED OSWALD MARRERO ARCHITECT IN - FLORIDA REG. # AR0019852

THIS DRAWING IS THE PROPERTY OF OSWALD MARRERO ARCHITECT IN - FLORIDA. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF OSWALD MARRERO ARCHITECT IN - FLORIDA.

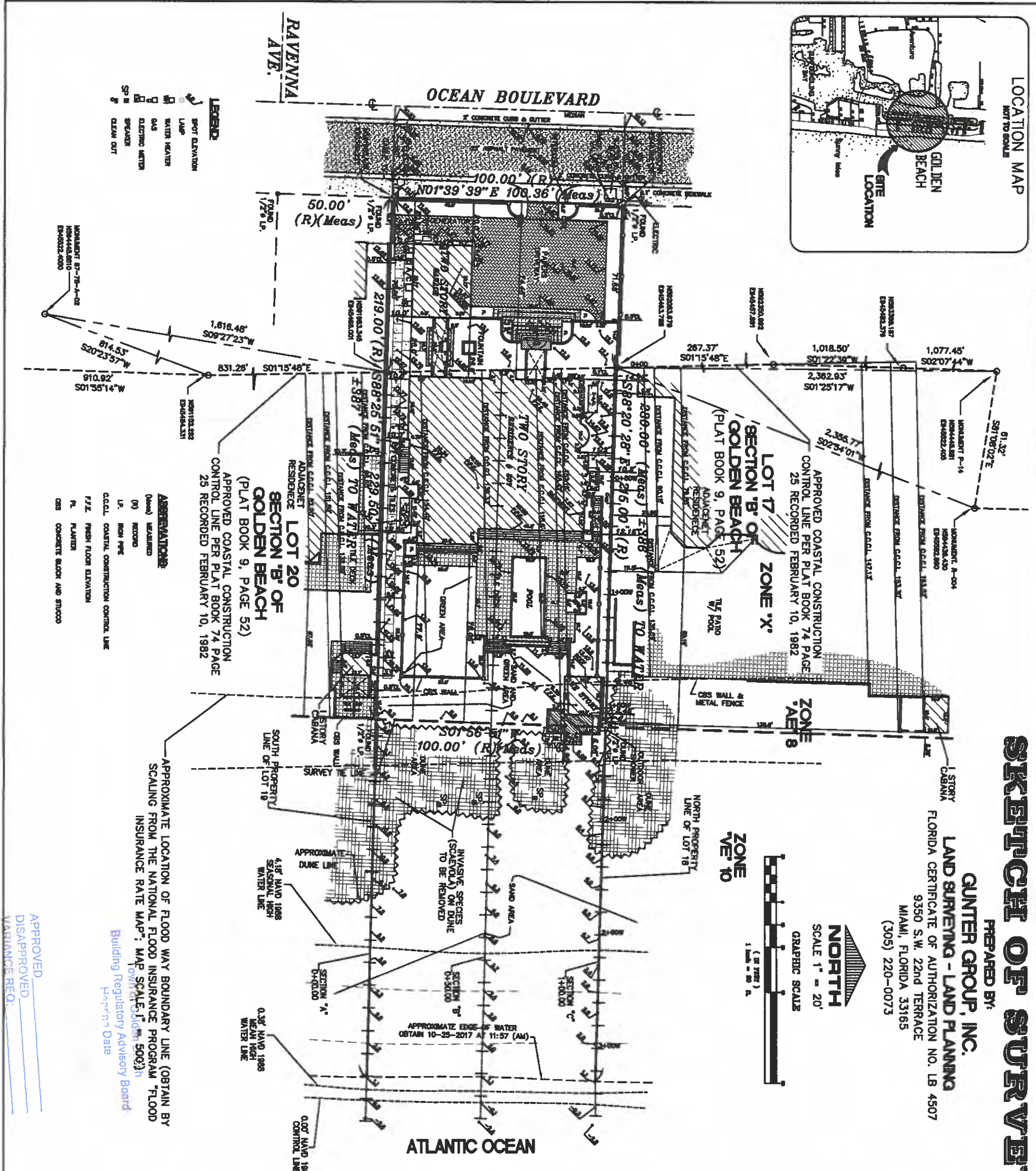
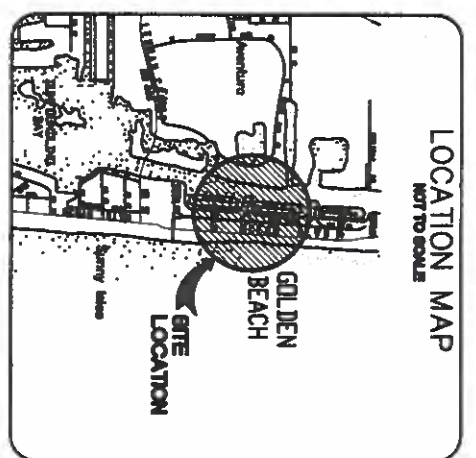
Project MYERS RESIDENCE 307 Ocean Blvd., Golden Beach, FL, 33160	COVER PAGE
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TOWNA DESIGN GROUP INC.	Date: 04-18-24 Drawing No: 240101 Title: MYERS RESIDENCE Scale: AS SHOWN
----------------------------	---

Sheet: **G-1.0**
CAD: B

SKETCH OF SURVEY

PREPARED BY:
GUNTER GROUP, INC.
 LAND SURVEYING - LAND PLANNING
 FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 4507
 9350 S.W. 22nd TERRACE
 MIAMI, FLORIDA 33165
 (305) 220-0073



PROPERTY ADDRESS:
 307 Ocean Boulevard Golden Beach, Florida 33180.

LEGAL DESCRIPTION:
 Lots 18 and 19 in Block "B" of "SECTION 8" OF GOLDEN BEACH" according to the plat thereof as recorded in Plat Book 9 at Page 68 of the public records of Miami-Dade County, Florida.

FOR:
 IAN A MARSH TBS AND 307 OCEAN BOULEVARD TR.

SURVEYOR'S NOTES:

- 1) This survey was conducted for the purpose of a "Topographic Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Minimum Technical Standards requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 61G17-6, Florida Administrative Code.
- 3) Bearings shown herein are based on a plat meridian of N01°30'30"E along the coastal control line that crosses the subject property as shown on record plat (Plat Book 74, Page 28) of the public records of Miami-Dade County, Florida.
- 4) Legal description subject to any dedications, limitations, restrictions or reservations or easements of record.
- 5) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any affecting the property; search of Public Records not performed by this office.
- 6) No effect was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 7) This survey has been prepared for the exclusive use of the parties named herein only and the certification herein do not extend to any unnamed parties.
- 8) Bearings shown herein referred to N.A.V.D. (1988), elevation obtain from monument established by GEODINER'S DEPT. NATURAL RESOURCES Station Number 87-91-2A-01, elevation 9.16 feet (N.A.V.D. 1988) Conversion: N.A.V.D. (1988)-1.976 feet = N.A.V.D. (1988) elevation 7.588 feet.
- 9) According to the National Flood Insurance Program the subject property falls in Community No. 130635, Panel No. 1308000153, Suite "T", Date of FIRM 09-11-2009, Flood Zone "X", "AE-9" and "VE-10" (6.0 VADatum 1988).
- 10) State Plane Coordinates shown herein referenced to N.A.D. 83/80, State Plane Coordinates determined by differential global position system survey occupation of N.A.S. control monument designation R-004, and verified using N.A.S. O.P.D. post processing.
- 11) The location of the Coastal Construction Control Line shown herein were provided in digital format by the Florida Department of Environmental Protection Bureau of Beaches and Coastal System and may be subject to final verification by the agency.
- 12) The location of the eastern limit of the upland parcel (subject land) is coincident with the Mean High Water as surveyed and depicted herein. Elevation of Mean High Water = 0.36 NAVD 88, per extended tidal datum from FIEP Mean High Water Survey Tide Interpolation Points No. 138 and 100808.
- 13) Mean High Water elevation 0.36 feet N.A.V.D. 1988, based on extended tidal datum from F.D.E.P. Mean High Water Survey Identifiers 100808. Mean High Water values referenced to tidal epoch 1988-2001.
- 14) Contact the appropriate authorities prior to any design work on the herein-described parcel for Building and Zoning information.
- 15) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LB 4318, State of Florida.
- 16) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

APPROVED
 DISAPPROVED
 VARIANCE REQ.

APPROXIMATE LOCATION OF FLOOD WAY BOUNDARY LINE (OBTAIN BY SCALING FROM THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP"; MAP SCALE: 1" = 500')
 Building Regulatory Advisory Board
 Meeting Date

1 I hereby certify to IAN A MARSH TBS AND 307 OCEAN BOULEVARD TR., that the Sketch of Topographic Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and plotted under my direction; also that meets the Standards of Practice set in Chapter 61G17-6, Florida Administrative Code, pursuant to Section 478.087 Florida Statutes.

By: Rolando Ortiz LB 4318
 Professional Land Surveyor
 & Mapper, State of Florida.

NOT VALID WITHOUT SHEET 1 OF 2
 SHEET 1 OF 2
 SHEET 2 OF 2

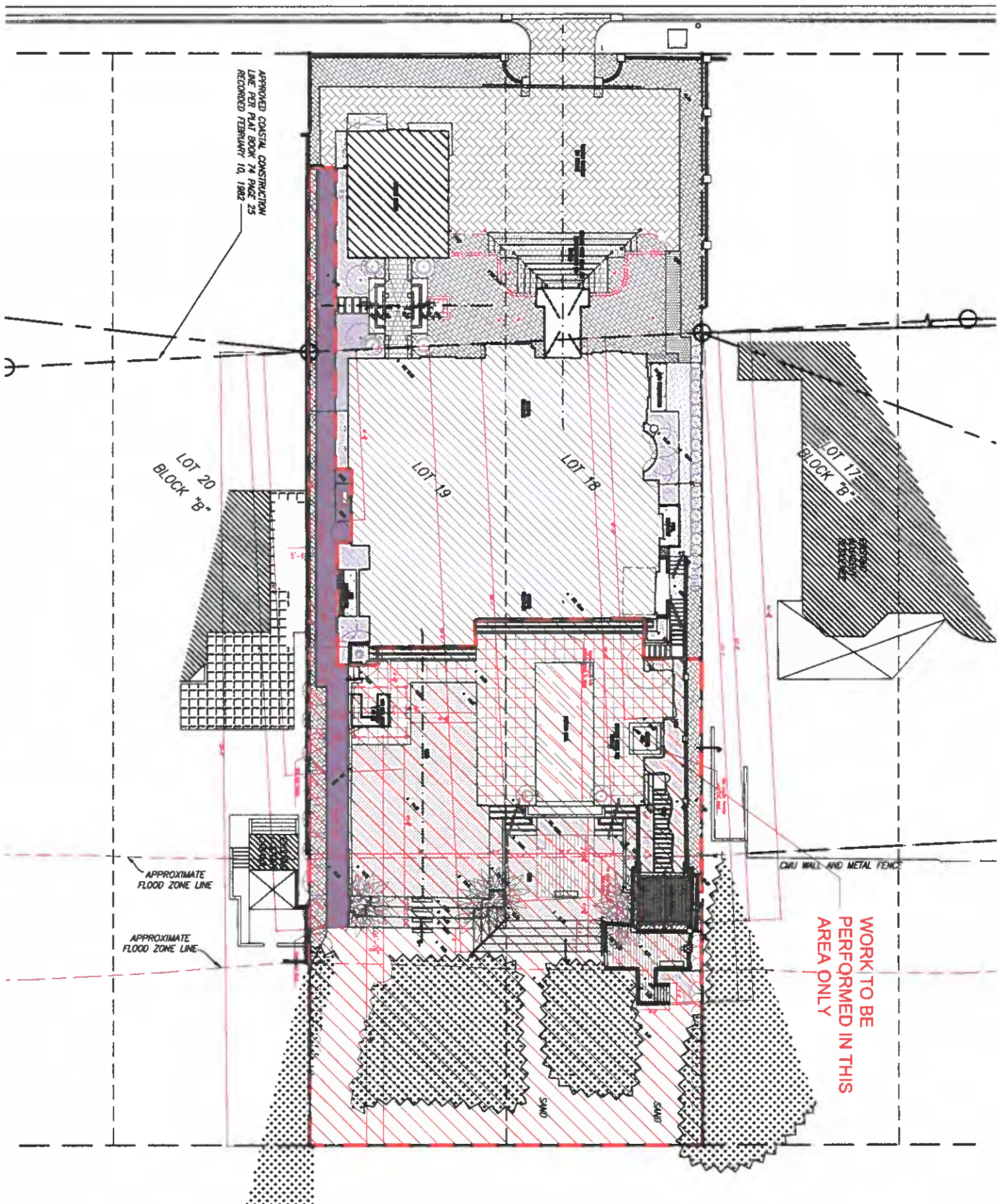
- LEGEND**
- SPOT ELEVATION
 - WATER
 - WATER HEATER
 - WAS
 - ELECTRIC METERS
 - SPRINKLER
 - CEILING OUT

- ABBREVIATIONS**
- (Dashed) UNFINISHED
 - (N) RECESSED
 - U. IRON PIPE
 - CALL. COASTAL CONSTRUCTION CONTROL LINE
 - F.F.E. FINISH FLOOR ELEVATION
 - P. PLASTER
 - CBS CONCRETE BLOCK AND STUCCO



1 LOCATION AERIAL PICTURE
G-1.1

307 OCEAN BLVD, GOLDEN BEACH, FL ZONING & BUILDING DATA	
ZONING DESIGNATION:	Zone 1
ZONING DISTRICT:	SF - Single Family Residential District
LEGAL DESCRIPTION:	Lots 18 and 19 in Block "B" of SECTION "B" OF GOLDEN BEACH according to the plat thereof as recorded in Plat Book 9 at Page 52 of the public records of Miami-Dade County, Florida.



Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

JUL 02 2019

APPROVED
DISAPPROVED
VARIANCE REQ.

1 SCHEMATIC SITE PLAN
G-1.1 N.T.S.

Revisions	
No.	Description

OSWALD MARRERO ARCHITECT INC. # 2242
REG. # AR0015652

SEAL: AR0015652

ALL BUILDINGS AND STRUCTURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE BUILDING CODE OF THE TOWN OF GOLDEN BEACH, FLORIDA. THE ARCHITECT ASSURES THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT COMPLY WITH THE APPLICABLE ZONING ORDINANCE AND BUILDING CODE. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON AND ACCEPTS NO LIABILITY FOR DAMAGES OF ANY KIND, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS INFORMATION.

MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33180

EXISTING SITE PLAN

TOVA DESIGN GROUP INC.

DATE: G-1.1

SCALE: AS SHOWN

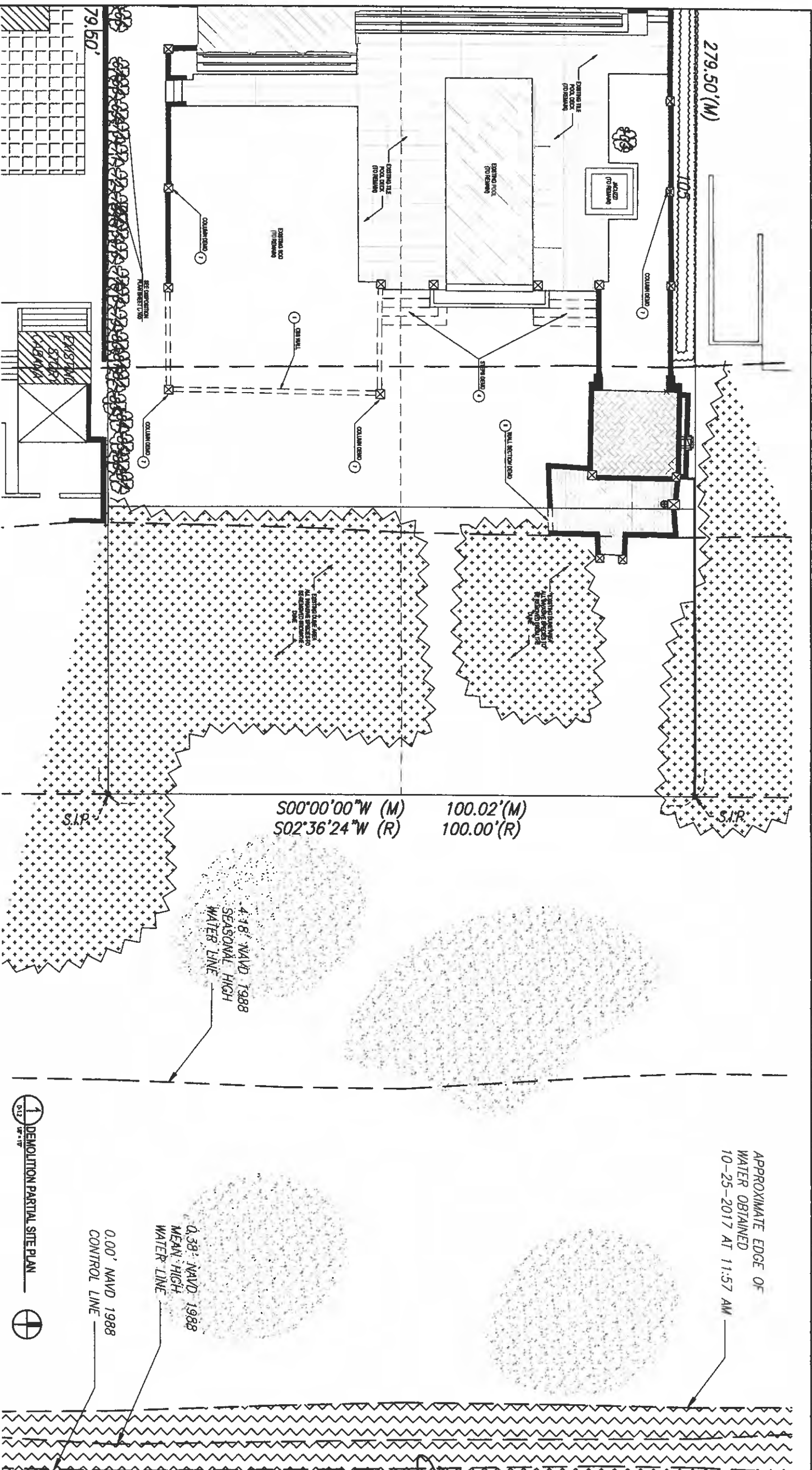
PROJECT: 307 OCEAN BLVD

DATE: 07/02/19

DESIGNER: T.D.

CHECKED: T.D.

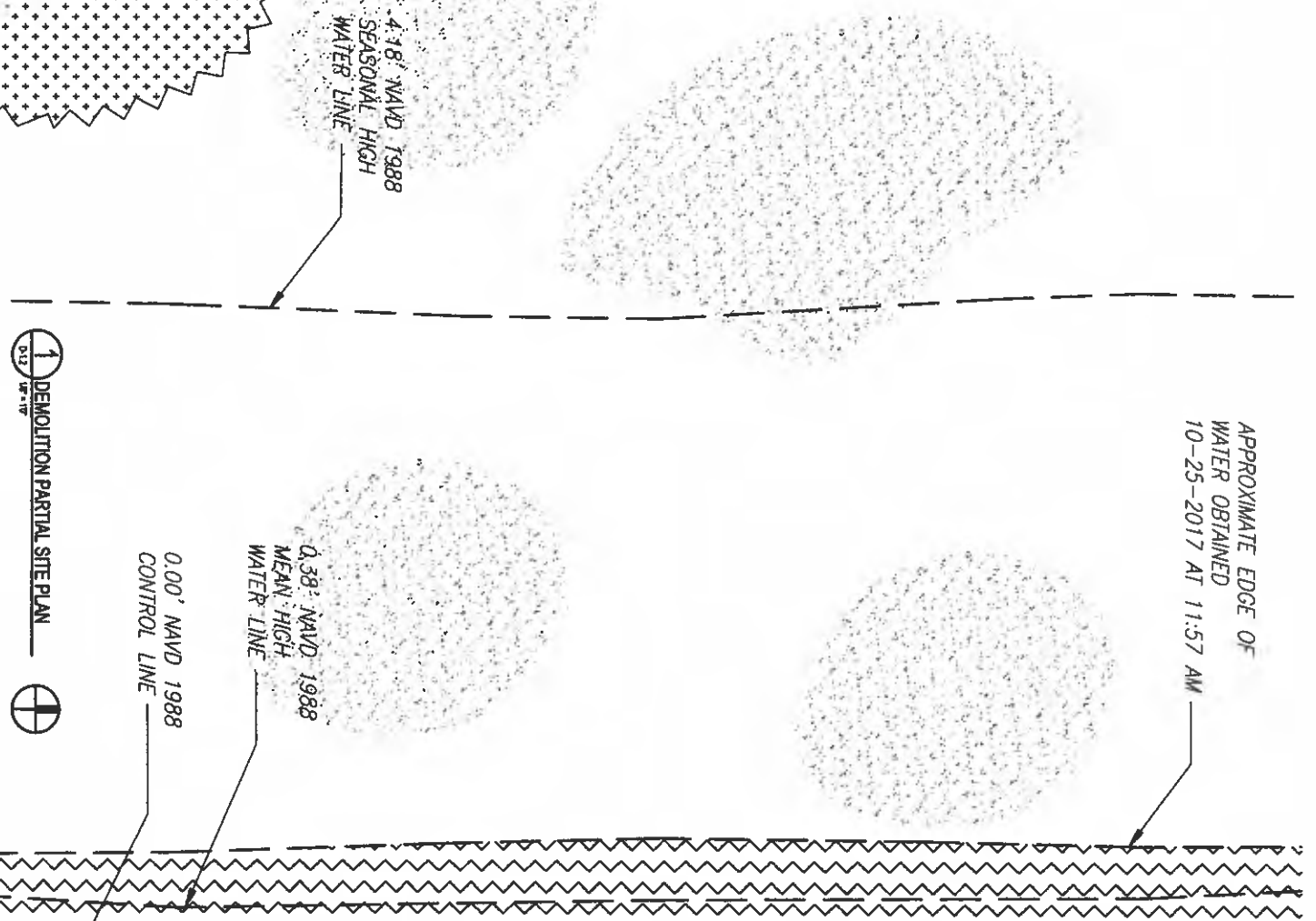
DATE: 07/02/19



LEGEND

(Symbol)	EXISTING WALL
(Symbol)	EXISTING COLUMN
(Symbol)	EXISTING STRUCTURE
(Symbol)	EXISTING FLOOR
(Symbol)	EXISTING ROOF
(Symbol)	EXISTING UTILITY
(Symbol)	EXISTING LAND

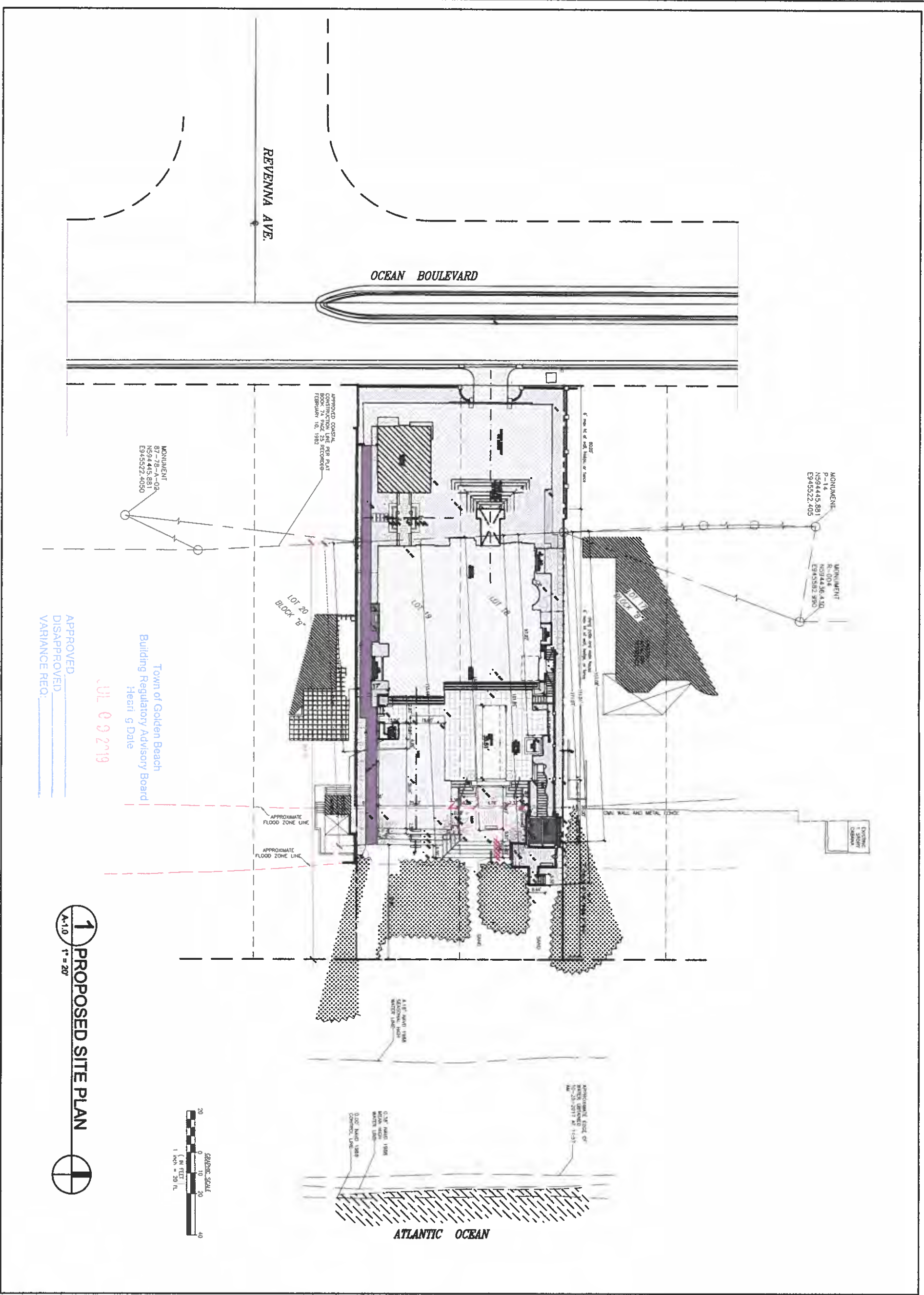
- DEMOLITION GENERAL NOTES**
1. ALL EXISTING PART MATERIAL, SPECIFIC LINE, LANDSCAPE LIGHTING TO BE REMOVED, OR IF AS REQUIRED.
 2. EXISTING WALLS TO BE REMOVED TO CENTER OF FOUNDATION AND RELATIONSHIP WITH OTHER TO REMAIN. EXISTING WALLS TO BE REMOVED TO CENTER OF FOUNDATION AND RELATIONSHIP WITH OTHER TO REMAIN. EXISTING WALLS TO BE REMOVED TO CENTER OF FOUNDATION AND RELATIONSHIP WITH OTHER TO REMAIN.
 3. EXISTING LIGHT MATERIAL, TO BE REMOVED AND REUSED TO MATCH EXISTING.
 4. EXISTING ROOFING TO BE REMOVED, DISCONNECT ALL UTILITY LINES AND REINSTALL/RELOCATE TO ROOFLINE AND EXISTING FOOTING.
 5. EXISTING WALLS TO BE REMOVED, REPAIR AND REUSE AS MUCH AS POSSIBLE TO MATCH EXISTING. REMOVE EXISTING MATERIAL WHERE REQUIRED AT THE STRUCTURAL SCENARIO AND AS SPECIFIED.
 6. EXISTING MATERIAL TO BE REMOVED.
 7. REMOVE EXISTING SECTIONS OF CEILING WALL AND FOUNDATION AS REQUIRED TO BE BUILT WITH NEW COMPONENTS AS PER PROJECT PLAN.
8. REMOVE EXISTING COLUMN OR PORTION OF TRUSS PER STRUCTURAL ENGINEER RECOMMENDATION TO REMOVE EXISTING WALLS TO BE REMOVED, TYPICAL TO ALL COLUMNS SHOWN ON PLAN AT THIS YARD.
 9. EXISTING STRUCTURE TO REMAIN, REMOVE ALL EXISTING FINISH MATERIAL, METAL, FLOOR ON TOP OF CEILING, WOOD CEILING AND REMOVED AND REPAIR AS PER PROJECT PLAN, INCLUDING NEW SECOND STORY TO BE BUILT.
 10. SEE DEMOLITION AND NEW MATERIAL PLAN FOR EXISTING AND NEW MATERIAL, REMOVE AND REINSTALL. ALL EXISTING WALL LINES TO BE REMOVED AND NEW WALLS TO BE BUILT AS PER PROJECT PLAN AT THIS YARD.
 11. CONTRACTORS TO CHECK AND CALL LOCAL UTILITY COMPANIES AND EXISTING UTILITY LINES FROM TO ANY OTHER MATERIAL REMOVED TO AVOID ACCIDENTS AND DAMAGE.
 12. ALL EXISTING POOL AND WALL MATERIALS TO REMAIN, NEW MATERIALS TO MATCH EXISTING. EXISTING POOL FOR DEMOLITION TO BE REMOVED, NEW MATERIALS TO MATCH EXISTING AND THE TOWN OF GOLDEN BEACH.
 13. EXISTING MATERIALS TO BE REMOVED AND REUSED TO MATCH EXISTING.



APPROVED
DISAPPROVED
VARIANCE REQ.

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

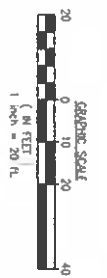
<p>Myers Residence 307 Ocean Blvd., Golden Beach, FL, 33160</p>	<p>OSWALD WARRERO ARCHITECT M + BEARE REC # A0004952</p>	<p>Revisions</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Description	Date															
No.	Description	Date																		
<p>DEMOLITION - BACK PLAN</p>	<p>TOMA DESIGN GROUP INC.</p>	<p>D-12</p>																		



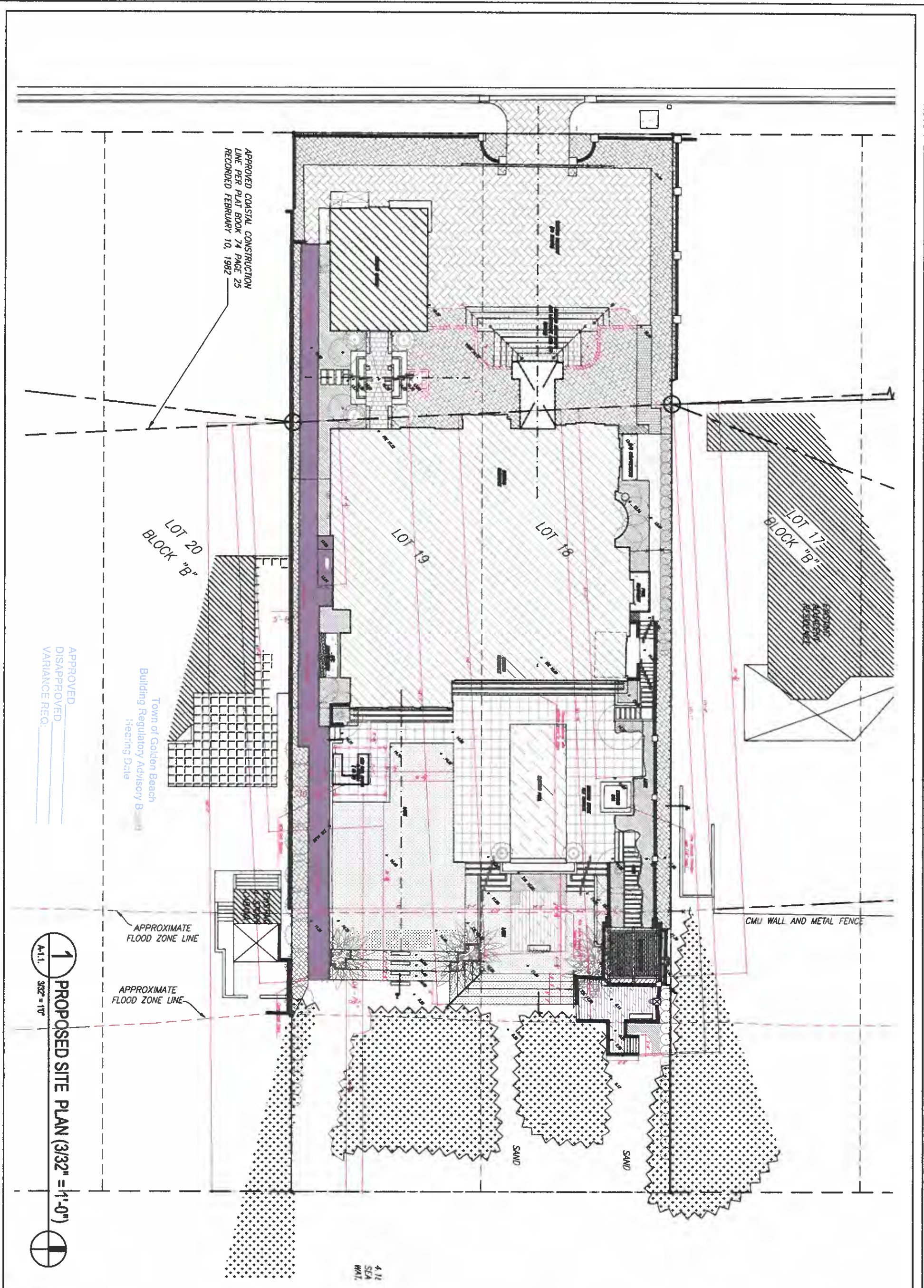
APPROVED
DISAPPROVED
VARIANCE REQ.

Town of Golden Beach
 Building Regulatory Advisory Board
 Hear! g Date
JUL 09 2019

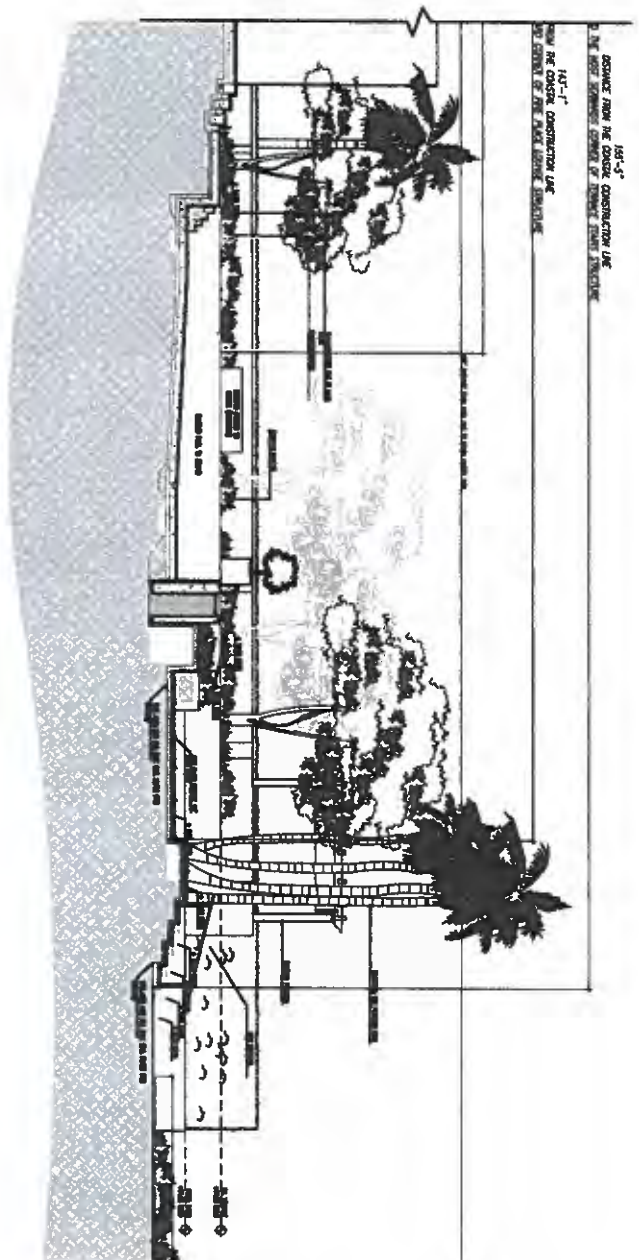
1 PROPOSED SITE PLAN
 A-1.0 1" = 20'



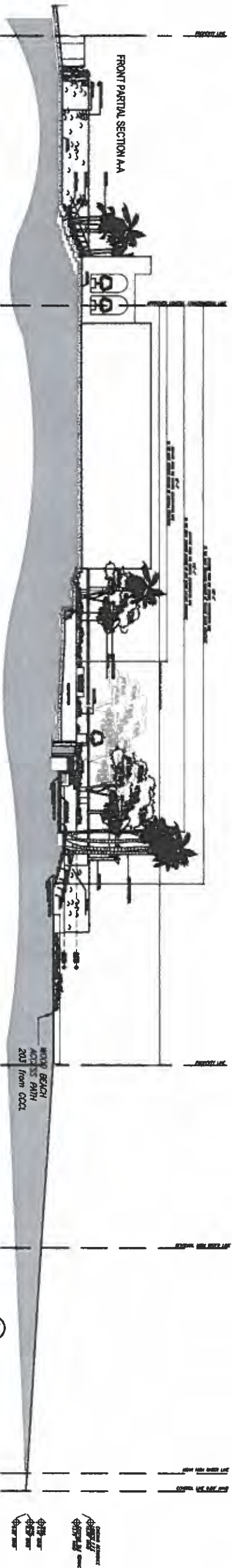
<p>DATE A-1.0</p>	<p>DESCRIPTION PROPOSED SITE PLAN</p>	<p>PROJECT NO. 307 Ocean Blvd.</p> <p>OWNER MYERS RESIDENCE</p> <p>ADDRESS 307 Ocean Blvd., Golden Beach, FL 33180</p>	<p>DESIGNER TOMA DESIGN GROUP, INC.</p> <p>SCALE SITE PLAN 1" = 20'</p>
------------------------------	--	---	---



<p>1 A-1.1 3/32" = 1"0"</p> <p>PROPOSED SITE PLAN (3/32" = 1"0")</p>	<p>MYERS RESIDENCE 307 Ocean Blvd., Golden Beach, FL, 33160</p> <p>PROPOSED SITE PLAN</p>	<p>ALL DIMENSIONS AND SPACING UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPACING BEFORE CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE CONSTRUCTION OF THE PROJECT.</p>	<p>SEAL: AR0015852</p> <p>OSWALD MARRERO ARCHITECT P.A. REG. # AR0015882</p>	<p>4 1/2 SEA WWT</p>
<p>TOMA DESIGN GROUP INC.</p>				
<p>A-1.1.</p>				



REAR PARTIAL SECTION AA



FULL SECTION AA

1/64'-0"
 DRAWING FROM THE CONCRETE CONSTRUCTION LINE
 TO THE FIRST FLOOR FINISH OF CONCRETE FLOOR FINISHES

1/8"=1'-0"
 DRAWING FROM THE CONCRETE CONSTRUCTION LINE
 TO THE FINISH OF THE FIRST FLOOR FINISHES

APPROVED _____
 DISAPPROVED _____
 VARIANCE REQ. _____

Town of Golden Beach
 Building Regulatory Advisory Board
 Hearing Date

AA SECTION

Rev.	Date	Revisions

OSWALD MARRERO ARCHITECT
 ARCHITECT
 REG. # AB0213822

SCALE: AR0018752

[Signature]
 5/14

ALL DRAWINGS AND ARCHITECTURAL SPECIFICATIONS, SPECIFICATIONS AND NOTATIONS SHALL BE INTERPRETED IN ACCORDANCE WITH THE STANDARD PRACTICES AND METHODS OF THE ARCHITECTURAL PROFESSION AND AS SET FORTH IN THE SUPPLEMENTARY SPECIFICATIONS AND NOTATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE DRAWINGS AND NOTATIONS AND FOR THE PROTECTION OF THE RIGHTS OF THE ARCHITECT AND FOR THE PROTECTION OF THE PUBLIC INTEREST. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PUBLIC INTEREST AND FOR THE PROTECTION OF THE RIGHTS OF THE ARCHITECT AND FOR THE PROTECTION OF THE PUBLIC INTEREST. (FLORIDA STATUTES CODE 481.05)

MYERS RESIDENCE
 307 Ocean Blvd.,
 Golden Beach, FL, 33160

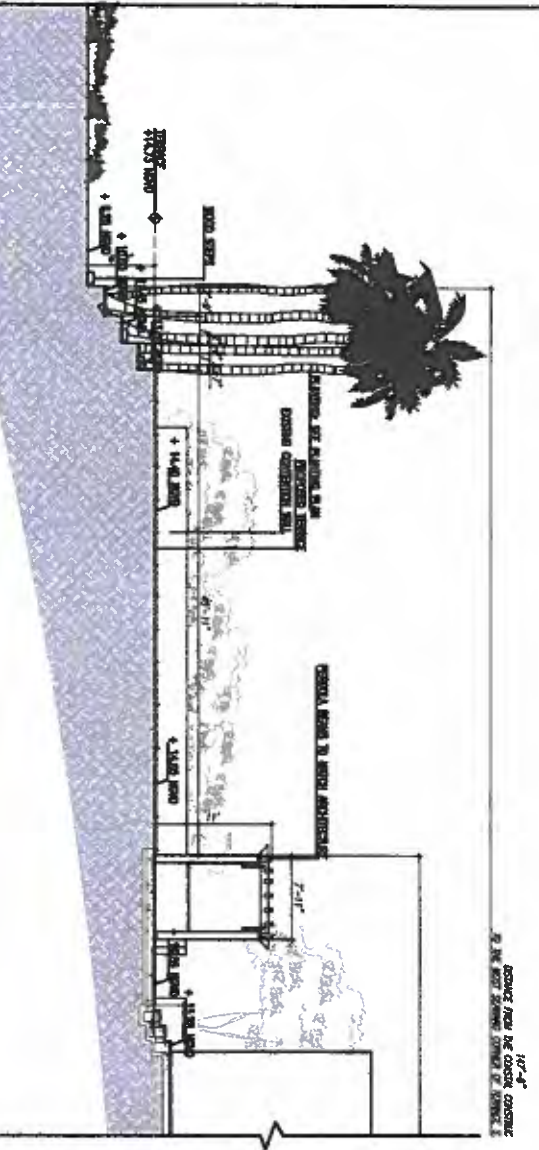
SECTIONS

TOGA DESIGN GROUP
 INC.

DATE

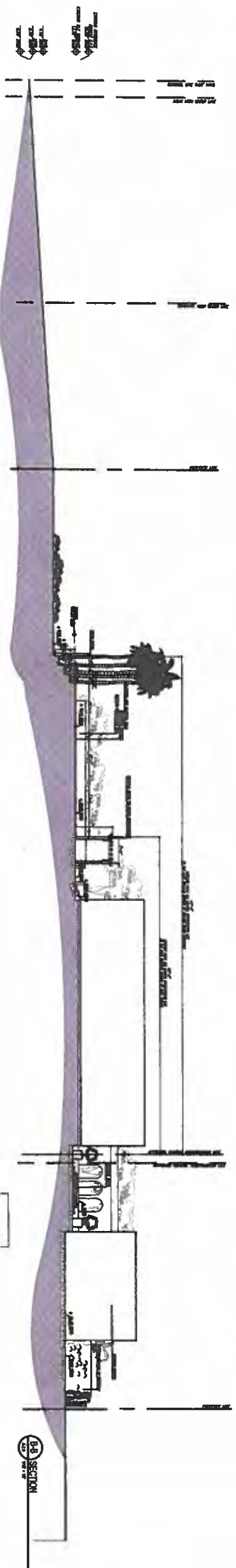
3/19/19

A-2.0

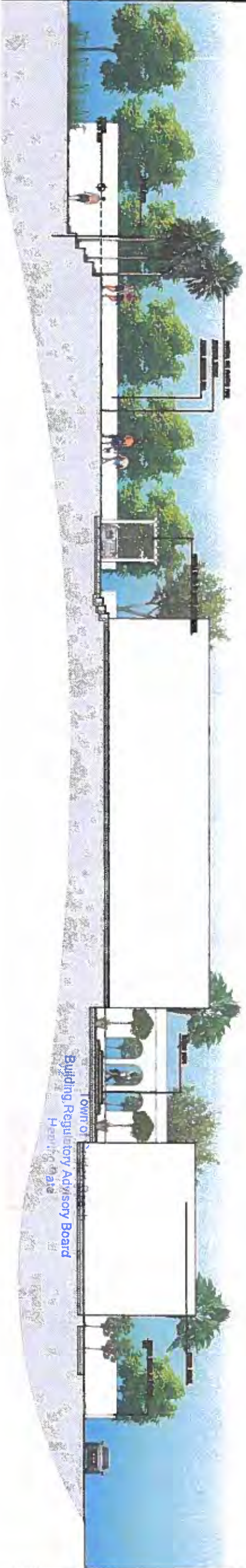


1/4" = 1' - 0"
 OSWALD MARRERO ARCHITECT
 307 OCEAN BLVD., GOLDEN BEACH, FL 33160

REAR PARTIAL SECTION AA



FULL SECTION AA



OWIN O.
 Building Regulatory Advisory Board
 Hearing Date

APPROVED:
 DISAPPROVED:
 VARIANCE REQ.:

FULL COLOR SECTION AA

Revisions

No.	Date	Description

OSWALD MARRERO ARCHITECT
 307 OCEAN BLVD., GOLDEN BEACH, FL 33160
 TEL: 321-434-8888
 FAX: 321-434-8889
 WWW: OSWALDMARREROARCHITECT.COM

PROJECT: MYERS RESIDENCE
 SHEET: A-21
 DATE: 5/13/19

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF OSWALD MARRERO ARCHITECT. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF OSWALD MARRERO ARCHITECT.

MYERS RESIDENCE
 307 Ocean Blvd.,
 Golden Beach, FL, 33160

SECTIONS

TOMA DESIGN GROUP INC.

TOMA DESIGN GROUP INC.

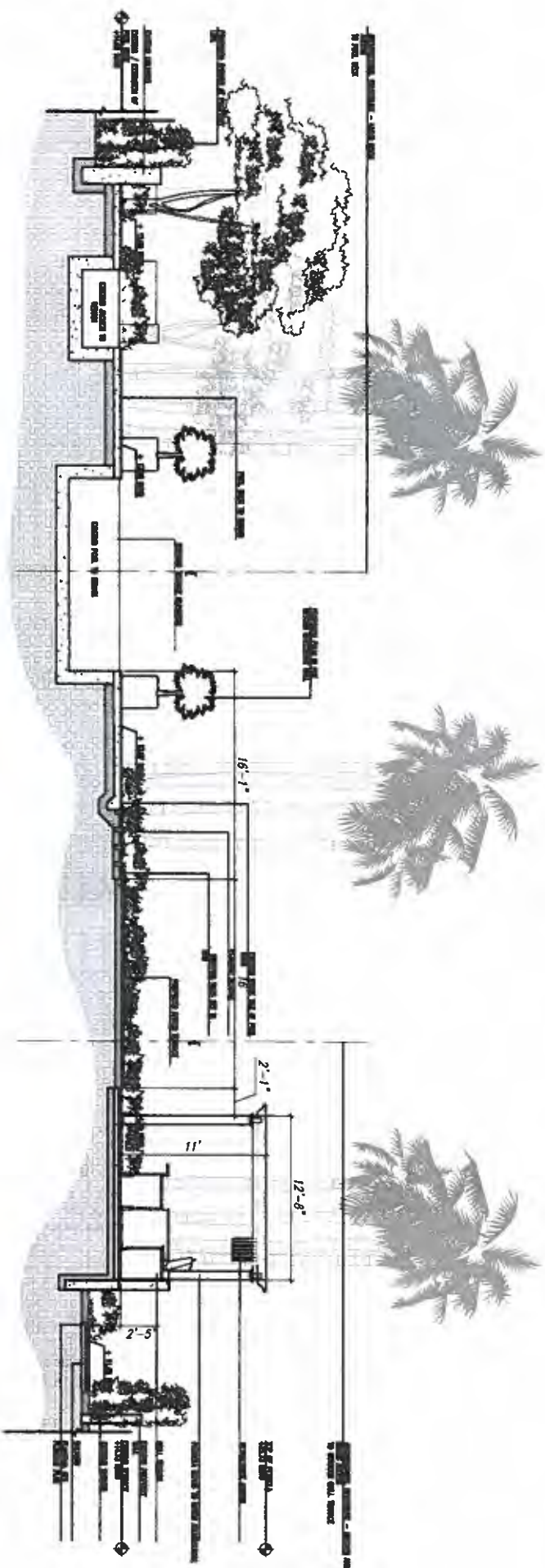
DATE: 5/13/19

SCALE: AS SHOWN

PROJECT: MYERS RESIDENCE

SHEET: A-21

DATE: 5/13/19



C-C SECTION

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

APPROVED
DISAPPROVED
VARIANCE RLU

REVISIONS	
#	Description

OSWALD MARRERO
ARCHITECT
IN CHARGE
REG. # AHC019652

APR 01 1965

5/13/14

ALL DIMENSIONS AND ELEVATIONS ARE IN FEET AND INCHES. DIMENSIONS SHALL BE MEASURED TO FACE UNLESS OTHERWISE SPECIFIED. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR OBTAINING PERMITS OR FOR THE ACCURACY OF ANY INFORMATION FROM ANY OTHER SOURCE.

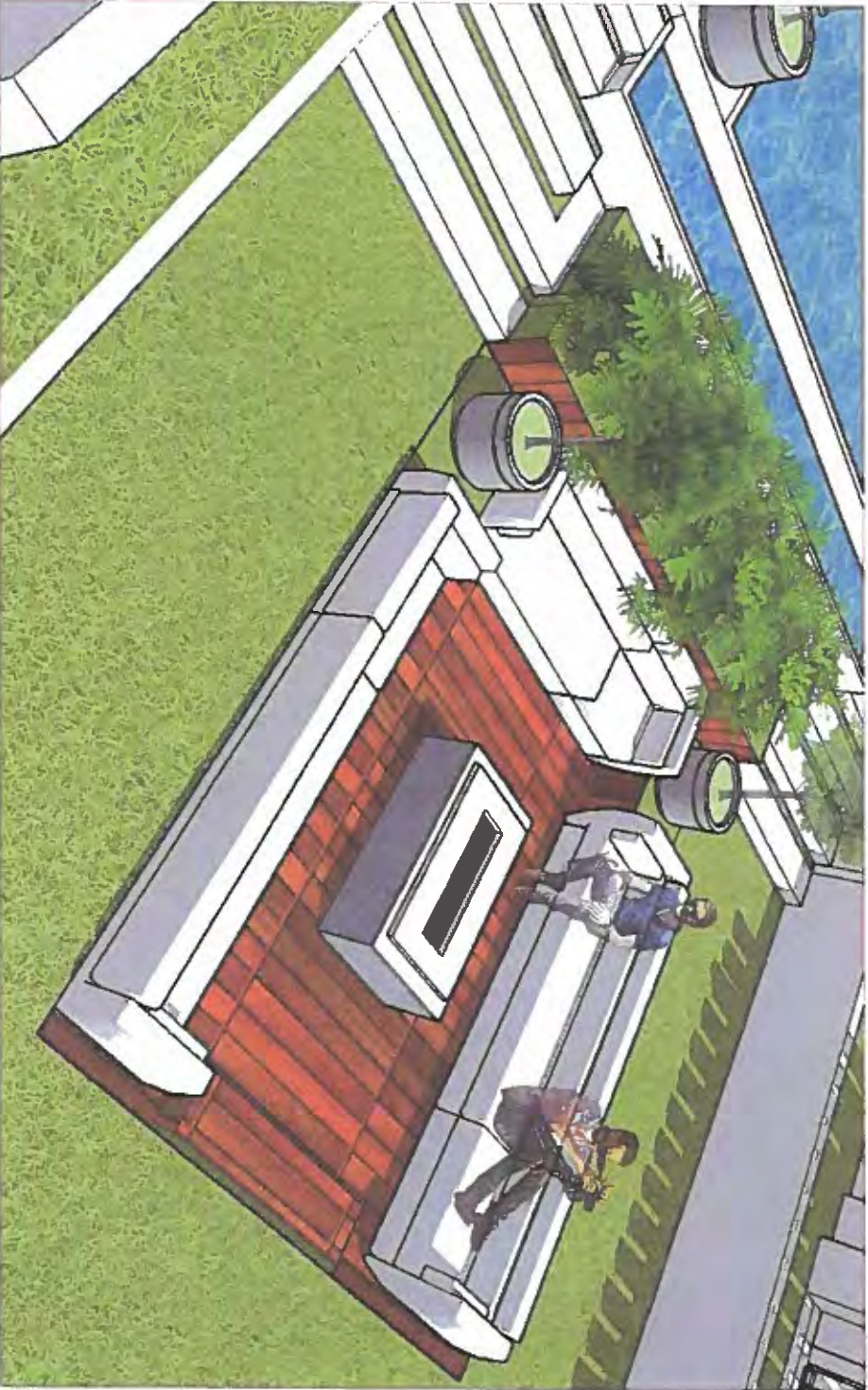
MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33160

SECTIONS

TOMA DESIGN GROUP
INC.

NO. 30719
DATE
DATE
DATE
DATE
DATE

A-22



Revisions	
#	Remarks

OSWALD MARRERO
ARCHITECT
M + SCARLETT
REG. # AR0015052

SEA: *[Signature]*
5/15/19

THIS IS THE BEST COPY AVAILABLE. ALL DIMENSIONS AND MATERIAL SPECIFICATIONS, FINISHES, AND FIXTURES SHALL BE AS SHOWN ON THESE DRAWINGS. THE ARCHITECT'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED TO THE ARCHITECT'S OFFICE. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED BY THE CLIENT.

MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33180

TOMA DESIGN GROUP INC.

RENDERS

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date
JUL 11 2019

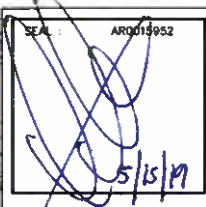
APPROVED _____
DISAPPROVED _____
VARIANCE REQ. _____

R-1.2



Revisions	
#	Description

OSWALD MARRERO
ARCHITECT
P.A.
REG. # AR0015852



1. THE SEAL
2. THE EXISTING
3. THE PROPOSED
4. THE REMOVED
5. THE ADJACENT PROPERTY
6. THE ADJACENT PROPERTY
7. THE ADJACENT PROPERTY
8. THE ADJACENT PROPERTY
9. THE ADJACENT PROPERTY
10. THE ADJACENT PROPERTY

MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33180

RENDERS

TOMA DESIGN GROUP
INC.

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

APPROVED _____
DISAPPROVED _____
VARIANCE REQ. _____

DATE	
DATE	DESCRIPTION

R-1.3

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

- 1. ALL WORK AND MATERIALS SHALL COMPLY TO CURRENT TOWN OF GOLDEN BEACH, CITY OF NORTH PALM BEACH AND HIGHLAND COUNTY ORDINANCES AS WELL AS ALL LOCAL, STATE AND FEDERAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.
4. EXISTING UTILITIES TO BE MAINTAINED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
5. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, THESE SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDENSERS, PILES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL REPAIR THEM TO THE ORIGINAL CONDITION OF THE UTILITY PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
7. CONTRACTOR SHALL RESERVE ALL STREET SPACE, PARKING AREAS, BERMS, TRAFFIC CONTROL SIGNS, ETC., WHEN DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL REMAIN ON DEDICATED ROAD PROPERTY TO THE CURB LINE.
8. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
9. ALL OTHER EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.

II. PRECONSTRUCTION RESPONSIBILITIES

- 1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE EXISTING UTILITIES AND STRUCTURES TO BE MAINTAINED OR REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-9770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.
3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ADVISE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL PERMITS AND LICENSES, PAY ALL FEES, TAXES, PENALTIES, FINES, AND OTHER ALL FEES NECESSARY TO COMPLETE THIS PROJECT (WITH THE EXCEPTION OF DAMAGE AND WASTE & CLEAN UP FEES FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FLOOD WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD).
5. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, REDUCTION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC., AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
6. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL UTILITIES TO BE MAINTAINED OR REMOVED AND SHALL BE RESPONSIBLE TO ALLOW REVISION BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

- 1. THE ENGINEER SHALL REQUIRE A COLOR TV SURVEY AND SHALL REQUIRE AN EXPLANATION/ANALYSIS REPORT FROM THE CONTRACTOR. THE SURVEY AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.
INSPECTIONS:
THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:
1) STORM DRAINAGE
2) WATER SYSTEMS
3) WATER SYSTEM SUBGRADE - SURFACE AND HAVE APPROVED DRAWINGS PRIOR TO PLACEMENT OF ROCK.
4) UNDERLAY BASE - SURFACE AND HAVE APPROVED DRAWINGS AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5) PAVEMENT CONSTRUCTION INSPECTION
6) FINAL CONSTRUCTION INSPECTION
7) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

- 1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: WATER SYSTEM MAIN PIPING AND ASSOCIATED FITTINGS, CURB, DRAINS, AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPES, BALLAST ROCK EXPLANATIONS, TRENCH FILLING, REINFORCED CONCRETE, AND ALL OTHER STRUCTURES TO BE CONSTRUCTED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION OF ALL SHOP DRAWINGS AND SHALL OBTAIN ALL NECESSARY APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

- 1. TEMPORARY FACILITIES
A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICAL, DRAINAGE CONSTRUCTION.
8. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS DRAINAGE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

- C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND OTHER DRAINAGE ALL PHASES OF CONSTRUCTION, IF APPLICABLE.
TRAFFIC REGULATION
1. THE CONTRACTOR SHALL PROVIDE ALL WORKING SIGNS, SIGN LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH MUTCD AND FDOT.
2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BRACKETED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
3. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING CONSTRUCTION UNLESS THE DRAINAGE DEPARTMENT OF THE TOWN OF GOLDEN BEACH AND CITY OF NORTH PALM BEACH HAS BEEN NOTIFIED AND APPROVED.

VI. PROJECT CLOSE OUT

- 1. CLEANING UP
A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER AND OPEN SPACES CLEAR. THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR DEBRIS. THE FINED AREAS SHALL BE SWEEP BROOM CLEAN.
B. THE CONTRACTOR SHALL RESTORE OR REPLACE WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EXPLOSIVES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STANDARDIZING, CURBS, DRAINAGES, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOODED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, SWALES, CREEKS, OR CLEARINGS AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH THE PROVISIONS OF THE WORK, AND THE AREA LEFT IN A CLEAN AND NEAT CONDITION.
E. ALL DISPOSAL OF EXCESS AND UNUSABLE EXCAVATED MATERIAL, DECOMMISSION, VEGETATION, RUBBER AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL OBTAINED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
2. ALL PROPERTY MARKERS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
3. PROJECT RECORD DOCUMENTS
A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, DEPTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT DRAWINGS AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS, SUCH DRAWINGS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL OBTAINED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
4. CONTRACTOR TO REPLACE ALL FINED AREAS WITH MAIL AND SIGNS.

VII. STORM DRAINAGE

- GENERAL
1. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE LAND-USE ENGINEER OF RECORD. THE FABRIC SHALL BE USED TO FILTER ALL SOLID MATERIAL AND THE FINEST PARTICLES FROM THE TOP SECTION OF THE DRAINAGE. THE FABRIC SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONNECTION SHALL HAVE COMPLETE CARE IN BONDING TO AVOID BONDING OF THE FABRIC.
2. SOLID AND PERFORATED STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) SELECTED FROM THE MANUFACTURERS AND TYPES APPROVED BY THE LAND-USE ENGINEER OF RECORD. PERFORATED PIPE SHALL BE MANUFACTURED WITH A PERFORATION RATE OF 4-8 PERCENT. THE PERFORATION SHALL BE NON-REVERSIBLE.
3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND ANY UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL PROVIDE COMPLETED DRAINAGE STRUCTURES AND EXPLANATION TRENCH SYSTEMS FROM COMPLETION OF ALL AND CONSTRUCTION BEGINS. PLACE FLOOD OR, OR FLOOD FABRIC BETWEEN THE TRENCH AND WELLS GATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

VIII. PAVING

- 1. GENERAL
A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF UNDERROCK BASE.
B. ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER TOWN OF GOLDEN BEACH AND CITY OF NORTH PALM BEACH STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER IS PROPOSED TO BE CONSTRUCTED.
F. NONE OF THE EXISTING UNDERROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED UNDERROCK BASE.
G. DESIGN TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CONTROLLED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE LAND-USE ENGINEER PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

- 1. PRESENT WORKINGS
A. INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.
B. MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC AND HEAVY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO RESIST VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.
2. TRAFFIC SIGNS
A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PART 4, IN CONDITIONS SHOWN ON PLANS.
B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNS, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND MUTCD.

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date
JUN 1 1 2010
APPROVED
DISAPPROVED
VARIANCE REQ.



Revisions table with columns for #, Date, and Description.



WALTER M. LUGO, P.E.
FL REG 81272
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PART 4, IN CONDITIONS SHOWN ON PLANS.

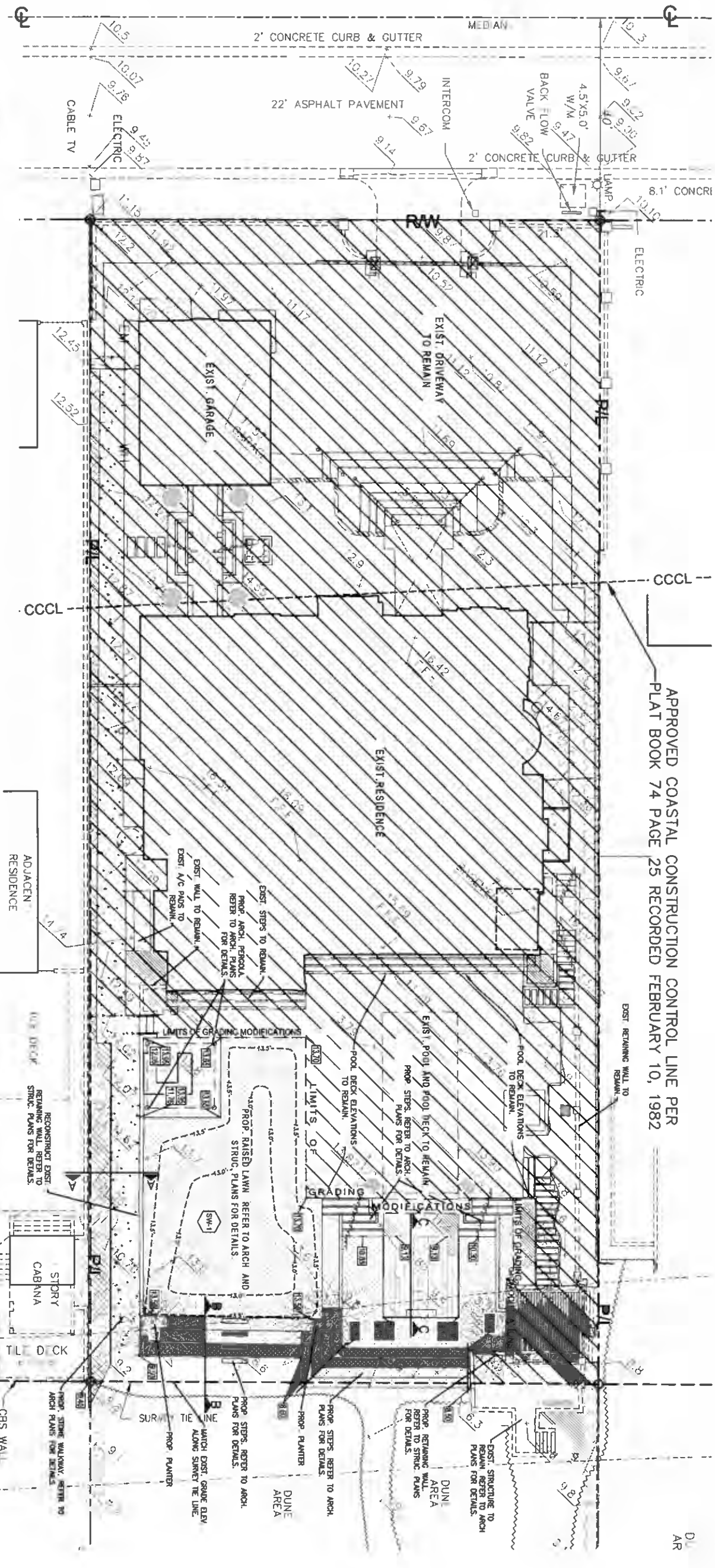
MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33160
GENERAL NOTES AND SPECIFICATIONS

TOMA DESIGN GROUP, INC.

DATE: C100

OCEAN BOULEVARD

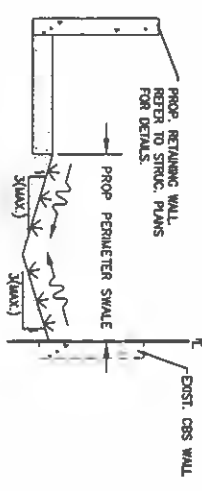
APPROVED COASTAL CONSTRUCTION CONTROL LINE PER PLAT BOOK 74 PAGE 25 RECORDED FEBRUARY 10, 1982



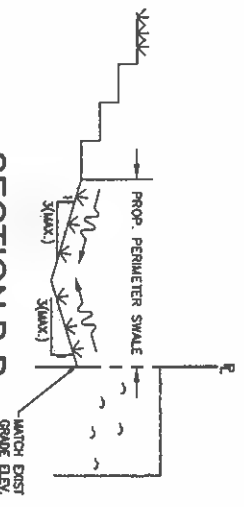
LEGEND:

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- EXISTING ELEVATIONS (NAVD)
- DIRECTION OF SURFACE RUNOFF
- PROPOSED CONTOUR ELEVATION LINE (NAVD)
- PROPOSED GRADE ELEVATION (NAVD)
- PROP. SWALE AREA
- PROP. LANDSCAPE AREA, REFER TO LA PLAN FOR DETAILS.

SECTION A-A
N.T.S.

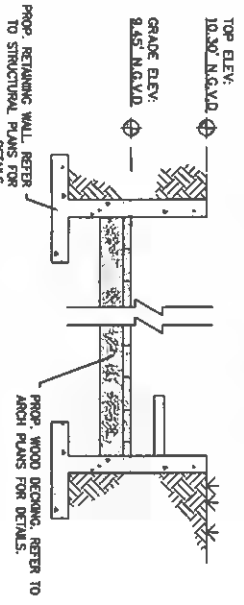


SECTION B-B
N.T.S.



SECTION 'B' OF GOLDEN BEACH
(PLAT BOOK 9, PAGE 52)

SECTION C-C
N.T.S.



APPROVED
DISAPPROVED
VARIANCE REQ.

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date



No.	Description



WALTER L. LUGO P.E.
FL PER 61247

ALL DIMENSIONS AND AREAS UNLESS OTHERWISE SPECIFIED ARE TO BE CONSIDERED AS APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND AREAS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL HISTORIC AND CULTURAL RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL ENVIRONMENTAL RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL PUBLIC UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL HISTORIC AND CULTURAL RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL ENVIRONMENTAL RESOURCES.

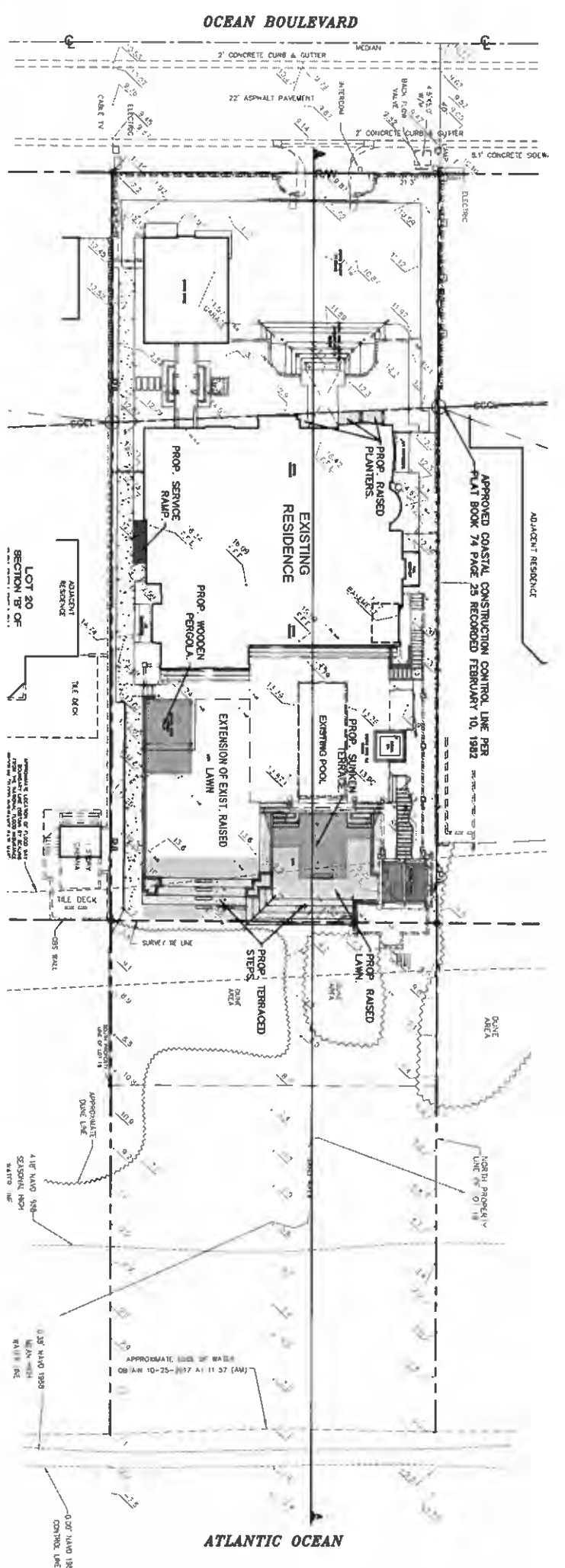
MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL 33160

PAVING, GRADING AND DRAINAGE PLAN

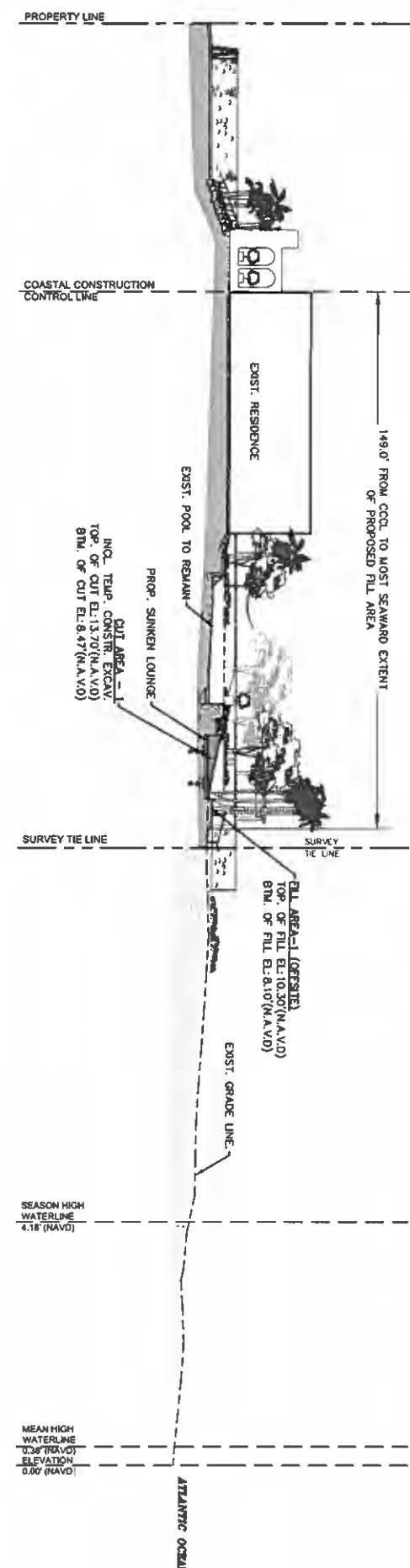
TRMM DESIGN GROUP
INC.

Project Name	
Client	
Address	
City	
State	
Zip	

Sheet: **C200**



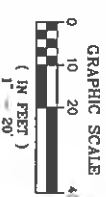
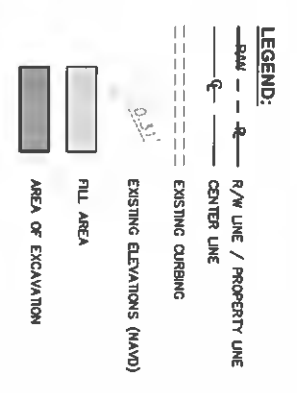
PLAN VIEW



SECTION A - A

EXCAVATION AND FILL VOLUME TABLE	
CUT VOLUME:	
SITE GRADING & FOUNDATION (PER FOUNDATION PLANS S-100-S-400) EXCAVATION	66 CY
TEMPORARY EXCAVATION VOLUME FOR CONSTRUCTION	7 CY
GROSS EXCAVATION MATERIAL	73 CY
FILL VOLUME:	
PROPOSED ON-SITE GRADING	89 CY
BACK-FILL VOLUME FROM TEMPORARY EXCAVATION	7 CY
GROSS FILL MATERIAL	96 CY
TOTAL FILL VOLUME REQUIRED:	23 CY
NET VOLUME:	0 CY

- NOTE:**
1. ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D)
 2. EXCAVATION VOLUMES WERE CALCULATED UTILIZING FOUNDATION PLANS SUPPLIED BY OPTIMUS CONSULTING ENGINEERS DATED ON 11-02-17.



Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

APPROVED
DISAPPROVED
VARIANCE REQ.



Revisions	
No.	Description

OSWALD MARRERO
ARCHITECT
M • SCARÉ

WALTER M. LUGO P.E.
FL PERS 81247

ALL DIMENSIONS AND NOTATIONS SHOWN ON THESE PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND NOTATIONS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF GOLDEN BEACH AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF GOLDEN BEACH AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) PRIOR TO THE START OF CONSTRUCTION.

MYERS RESIDENCE
307 Ocean Blvd.,
Golden Beach, FL, 33160

CUT AND FILL PLAN

Project: _____
Sheet No: _____

TOMA DESIGN GROUP
INC.

DATE: _____

Scale: AS SHOWN

Sheet: 2/1

Sheet: 4/3 BROW

C300