



SCALE: 1"=30'

TYPE OF SURVEY:

- ☐ BOUNDARY
☐ ALTA/SPS
☒ CONSTRUCTION
☒ TOPOGRAPHIC
☐ CONDOMINIUM
☐ SPECIAL PURPOSE

PRINTING INSTRUCTIONS

WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING. DO NOT USE "FIT".

ABBREVIATION LEGEND

(SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

A OR AL = ARC LENGTH	P = PLAT
CA = CLEANOUT	PC = POINT OF CURVE
CA = CENTRAL ANGLE	PCC = POINT OF COMPOUND CURVE
CA TV = CABLE TV RISER	PH = POOL HEATER
CH = CHORD DISTANCE	PI = POINT OF INTERSECTION
CONC. = CONCRETE	POB = POINT OF BEGINNING
CR = CALCULATED FROM RECORD	POC = POINT OF COMMENCEMENT
DE = DRAINAGE EASEMENT	PP = POOL PUMP
EL OR ELEV = ELEVATION	PRC = POINT OF REVERSE CURVE
EM = ELECTRIC METER	PT = POINT OF TANGENCY
F.F.E. = FINISHED FLOOR ELEV.	QTR = QUARTER
FIR = FOUND IRON ROD	R = RADIUS
FN = FOUND NAIL	RNG = RANGE
FND = FOUND	SEC = SECTION
G.F.F. = GARAGE FINISHED FLOOR	TR = TELEPHONE RISER
L = LEGAL DESCRIPTION	TWP = TOWNSHIP
M = MEASURED	UE = UTILITY EASEMENT
OHC = OVERHEAD CABLE	UP = UTILITY POLE
	WM = WATER METER
	WV = WATER VALVE

SYMBOLS - NOT-TO-SCALE

(SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

⊕ = UTILITY POLE	⊙ = WELL
☆ = LIGHT POLE	⊕ = CENTER LINE
⊕ = CATCH BASIN	⊕ = PARTY WALL
⊕ = FIRE HYDRANT	⊕ = AIR CONDITIONER
⊕ = MANHOLE	⊕ = SEPTIC LID
⊕ = WATER VALVE	x = ELEV. SHOT
⊕ = WATER METER	
⊕ = HANDICAP PARKING SPACE	
⊕ = SEC. QTR. CORNER	
⊕ = SECTION CORNER	

CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

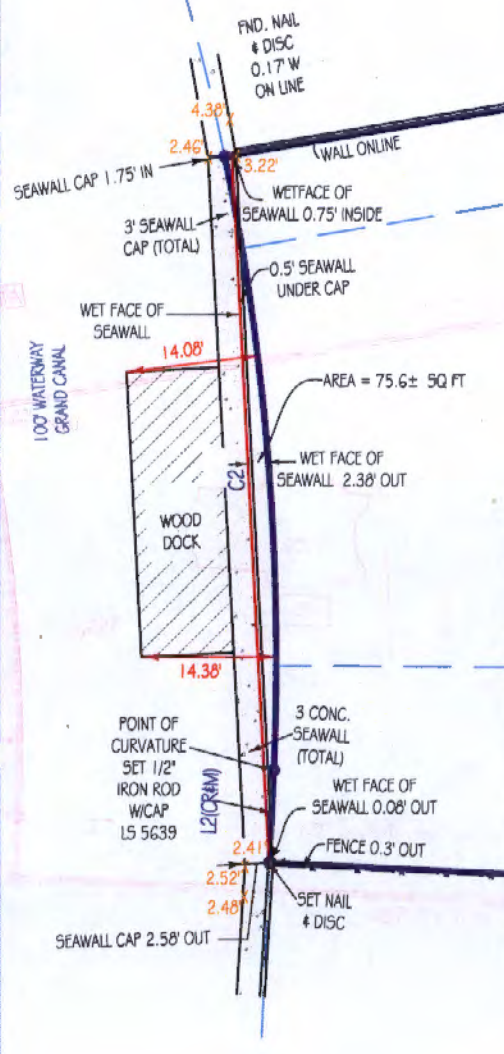


Digitally signed by Andrew Snyder
 DN: cn=US, o=LANDTEC SURVEYING INC,
 dnQualifier=A01410C0000180E1EC781
 7009CCA2C, cn=Andrew Snyder
 Date: 2022.11.14 10:42:12 -05'00'
 Adobe Acrobat version: 2022.003.20263

SIGNATURE

DATE: 11-14-2022

ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 5639 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

DETAIL OF SEAWALL
SCALE: 1"=20'

NOTE:
 DIMENSIONS SHOWN FROM WET FACE OF SEAWALL TO WET FACE OF SEAWALL IS BASED UPON PAUL A. DAVIS, INC. SPECIAL PURPOSE LOCATION SURVEY DATED 09/01/2021 AS PROVIDED BY CLIENT.

BEARING REFERENCE:

THE NORTH LINE OF SUBJECT LOT AS N 80°28'32" E
 ALL BEARINGS SHOWN HEREON REFERENCED THERETO.

Job Number: 103368-SE

Field: F.A./C.R.

Drawn By: N.M.

Date of Field Work: 10/17/2022

	CURVE TABLE			CHORD LENGTH	CHORD BEARING
	LENGTH	RADIUS	DELTA		
C1	103.42'	440.00'	13°28'00"	103.18'	S04°07'36"E
C2(CR)	66.26'	265.00'	14°19'37"	66.09'	N04°33'25"W
C2(M)	66.25'	265.00'	14°19'26"	66.08'	N04°42'26"W
C3	10.00'	440.00'	01°18'00"	10.00'	N10°12'32"W
C4	74.72'	440.00'	09°43'46"	74.63'	S04°41'35"E
C5	18.70'	440.00'	02°26'06"	18.70'	S01°23'21"W
C6	64.72'	440.00'	08°25'38"	64.66'	N15°04'25"W

LEGAL DESCRIPTION:

THE SOUTH 10.00 FEET OF LOT 38, ALL OF LOT 39 AND LOT 40 LESS THE SOUTH 25.00 FEET THEREOF, BLOCK F, SECTION "E" OF GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, AT PAGE 122 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:
 448 GOLDEN BEACH DRIVE
 GOLDEN BEACH, FL 33160

INVOICE NUMBER: 103368-SE
 DATE OF FIELD WORK: 11/01/2022

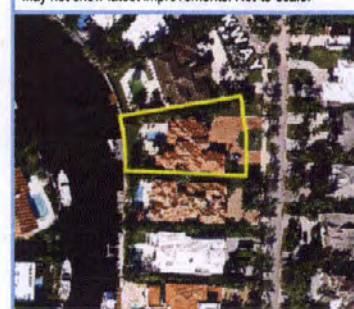
Town of Golden Beach
 Building Regulatory Advisory Board
 Hearing Date

DEC 13 2022

LINE TABLE		
	BEARING	DISTANCE
L1(CR)	S02°36'24"W	10.00'
L1(M)	S02°36'24"W	9.93'
L2	N02°36'24"E	10.00'

Aerial Photograph

May not show latest improvements. Not-to-scale.



GENERAL NOTES:

1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.

2. AS INDICATED ABOVE, UNDER "PURPOSE OF SURVEY", IF THIS SURVEY HAS BEEN PREPARED FOR A PURCHASE OR REFINANCE, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES, AND IS NOT INTENDED FOR USE IN DESIGN OR CONSTRUCTION.

PURPOSES. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.

3. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES.

DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.

4. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.

5. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.

6. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.

7. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.

8. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 5 BUSINESS DAYS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) #5639.

Elevations, if shown:

Benchmark: PAIN
 Benchmark Elev.: 6.00'
 Benchmark Datum: NAVD 1988
 Elevations on Drawing are in:
 N.G.V.D.29 ☐ N.A.V.D.88 ☒

LINETYPES:

BOUNDARY	BUILDING
EASEMENT	CHAIN LINK FENCE
WOOD FENCE	PLASTIC FENCE
OVERHEAD CABLE	

*CP = CONTROLLING POINT (POINT OF ROTATION) *HFA = HELD FOR ALIGNMENT - ALL OTHER MONUMENTATION AND IMPROVEMENTS RELATIVE THERETO

PURPOSE OF SURVEY: PROPERTY IMPROVEMENTS

REVISIONS

Show Detail of Seawall/Bulk Head

11/14/2022 - ADDED ADD. INFORMATION - SG

Date of Field Work: 11/01/2022

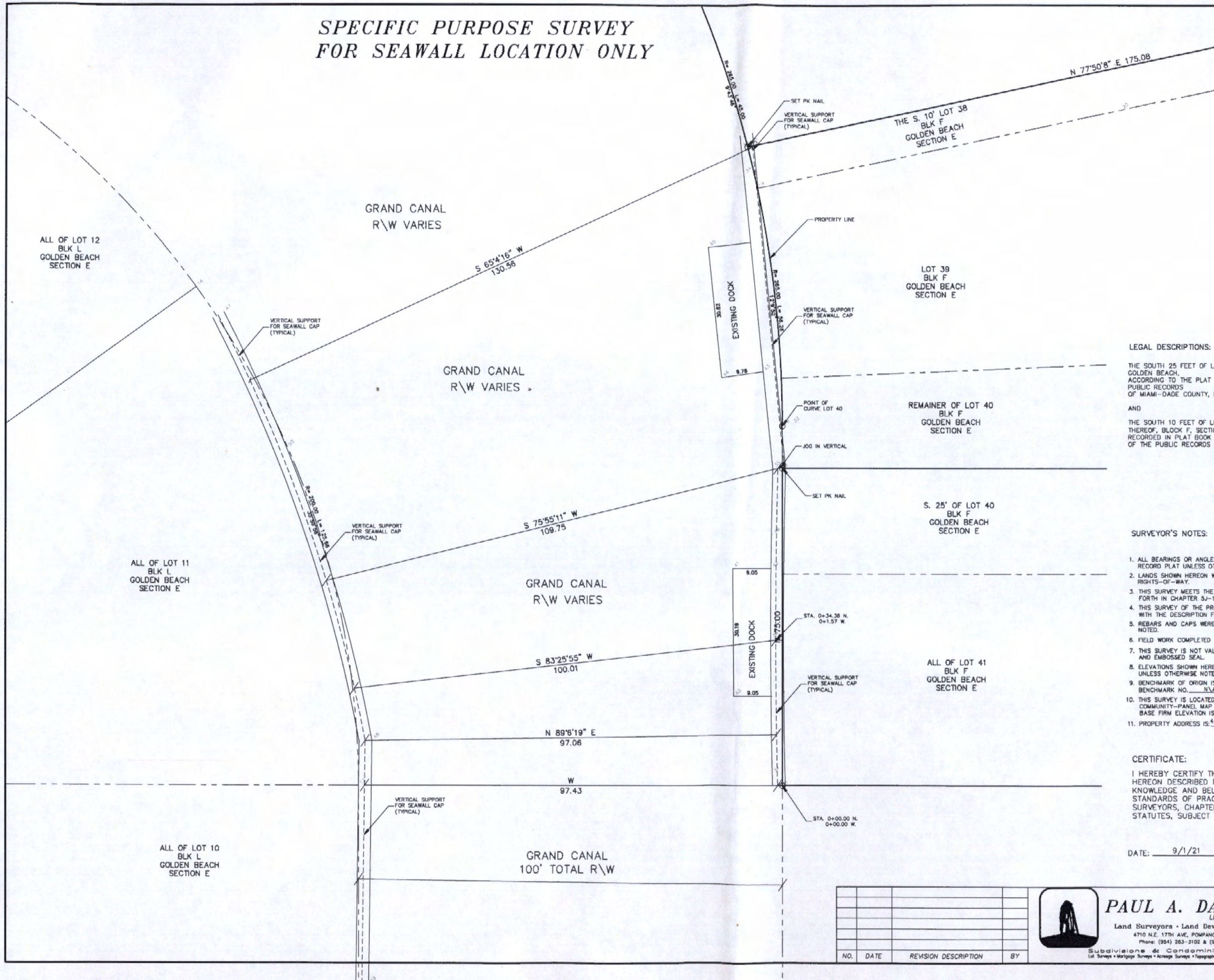
Platted Easements & Notable Conditions (unplatted easements also listed if provided): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.
 - WOOD DOCK CROSSES THE BOUNDARY LINE ON WESTERLY SIDE OF LOT AS SHOWN.

This survey has been issued by the following Landtec Surveying office:

700 W. Hillsboro Blvd. Suite 4-100
 Deerfield Beach, FL 33441
 Office: (561) 367-3587 Fax: (561) 465-3145
 www.LandtecSurvey.com

LANDTEC
 SURVEYING
 Proudly Serving Florida's Land Title & Real Estate Industries
 LICENSED BUSINESS No. 8007

SPECIFIC PURPOSE SURVEY
FOR SEAWALL LOCATION ONLY



LEGAL DESCRIPTIONS:

THE SOUTH 25 FEET OF LOT 40 AND ALL OF LOT 41, IN BLOCK F, OF SECTION "E" OF GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

AND

THE SOUTH 10 FEET OF LOT 38, ALL OF LOT 39 AND 40 LESS THE SOUTH 25.00 FEET THEREOF, BLOCK F, SECTION "E" OF GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 122 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

- SURVEYOR'S NOTES:
1. ALL BEARINGS OR ANGLES SHOWN HEREON ARE BASED ON THE RECORD PLAT UNLESS OTHERWISE NOTED.
 2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR RIGHTS-OF-WAY.
 3. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE.
 4. THIS SURVEY OF THE PROPERTY SHOWN HEREON IS IN ACCORDANCE WITH THE DESCRIPTION FURNISHED BY: CLIENT
 5. REBARS AND CAPS WERE SET ON ALL CORNERS UNLESS OTHERWISE NOTED.
 6. FIELD WORK COMPLETED ON: 9/1/21
 7. THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND EMBOSSED SEAL.
 8. ELEVATIONS SHOWN HEREON ARE BASED ON N.A.V.D. OF 1988 UNLESS OTHERWISE NOTED.
 9. BENCHMARK OF ORIGIN IS MIAMI-DADE COUNTY BENCHMARK NO. N/A
 10. THIS SURVEY IS LOCATED IN FLOOD ZONE N/A, PER N.F.I.P. COMMUNITY-PANEL MAP NO. N/A. BASE FIRM ELEVATION IS N/A FEET. DATE OF FIRM IS N/A
 11. PROPERTY ADDRESS IS: 440 AND 448 GOLDEN BEACH, DR., GOLDEN BEACH, FL.

CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE, AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, CHAPTER 5J-17, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS HEREON.

DATE: 9/1/21

PAUL A. DAVIS
P.S.M. #4531
STATE OF FLORIDA.

NO.	DATE	REVISION DESCRIPTION	BY



PAUL A. DAVIS, INC.
LB #0007219

Land Surveyors • Land Development • Consultants • Planners
4710 N.E. 17TH AVE., POMPANO BEACH, FLA. 33064
Phone: (954) 263-3102 & (954) 698-9101

Subdivisions & Condominiums • Land & Site Planning
Lot Surveys • Mortgage Surveys • Acreage Surveys • Topographic Surveys • Record Plans • Condominium Plans • Construction Layout

SCALE	1" = 10'
DRAWN BY	PAO
DATE	9/1/21
JOB NO:	1" = 10'
F.B./P.C.	FILE
FILE	
SHEET NO.	1 OF 1

Existing cleat to be removed
Existing 31' x 10' (310sf) wood dock and wood piles to be removed

GB Triangle

D5 Triangle

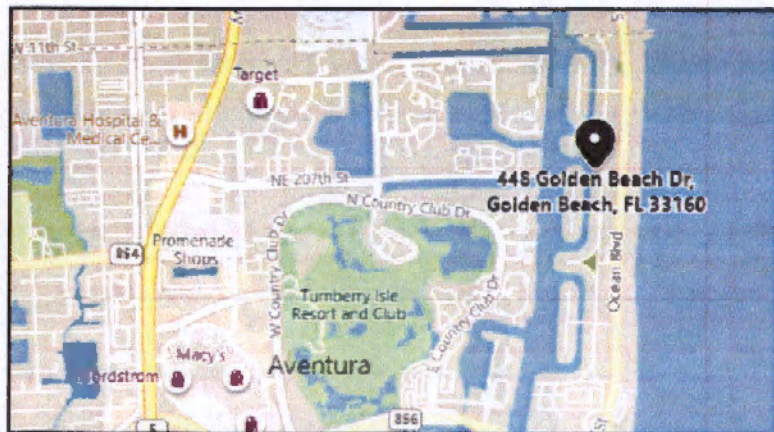
D5 Triangle

GB Triangle

Existing Unauthorized floating dock with PVC piles to be removed

NOTE:

Existing retaining wall and fence to be removed, existing concrete seawall and cap to remain



Location Map

Existing Site Plan

Scale: 1" = 20'

Short Legal Description

GOLDEN BEACH SEC E

PB 8-122

S10FT LOT 38 & ALL LOT 39 & LOT

40 LESS S25FT BLK F

LOT SIZE 16596 SQ FT

See attached survey supplied by owner for exact property information.

PREPARED FOR:

SOUTHEAST MARINE CONST. INC
1121 NW 51 Court
Ft. Lauderdale, FL 33309
(954) 630-2300

Project:

Proposed Dock/Seawall Repair/Boat Lift
Ronni & Paul Bianco
448 Golden Beach Drive
Golden Beach, Florida 33160

Sheet 1 of 7

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL

NAME Ashley Dominguez

DATE 11/02/2022

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

JAN 10 2023

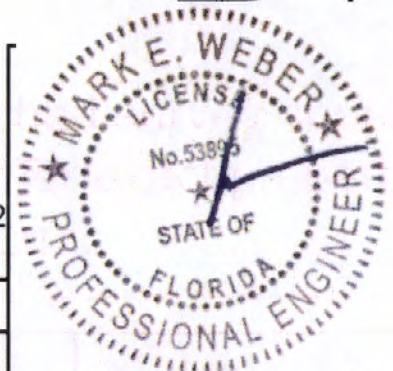
APPROVED
DISAPPROVED
VARIANCE REQ

Corrections per zoning comments

10/24/22

1

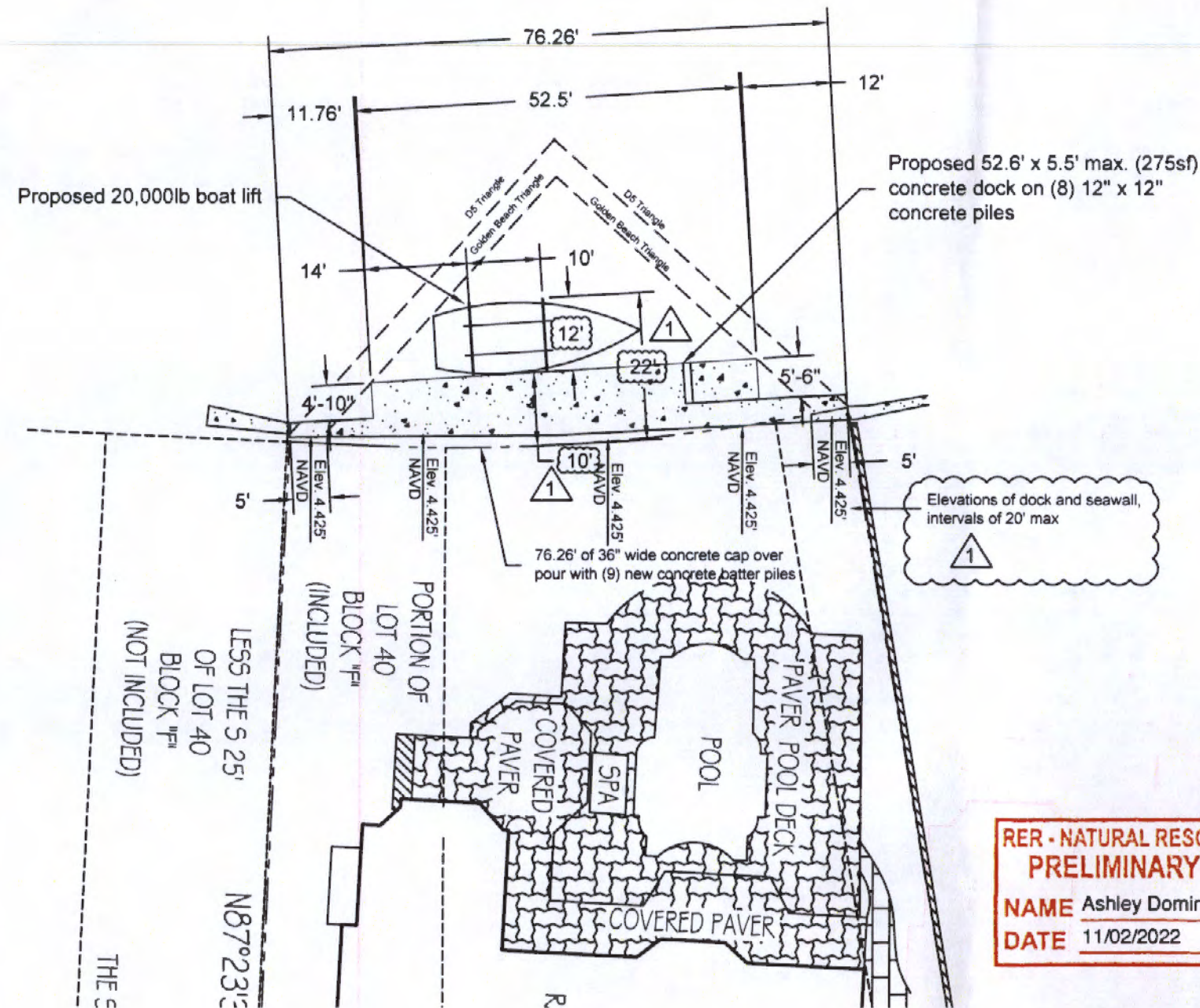
REVISIONS



MARK E. WEBER, P.E.
LICENSE #53895 | CA 30702
MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, Florida 33060
Ofc: 754-333-0677
WWW.MwEngineering.net

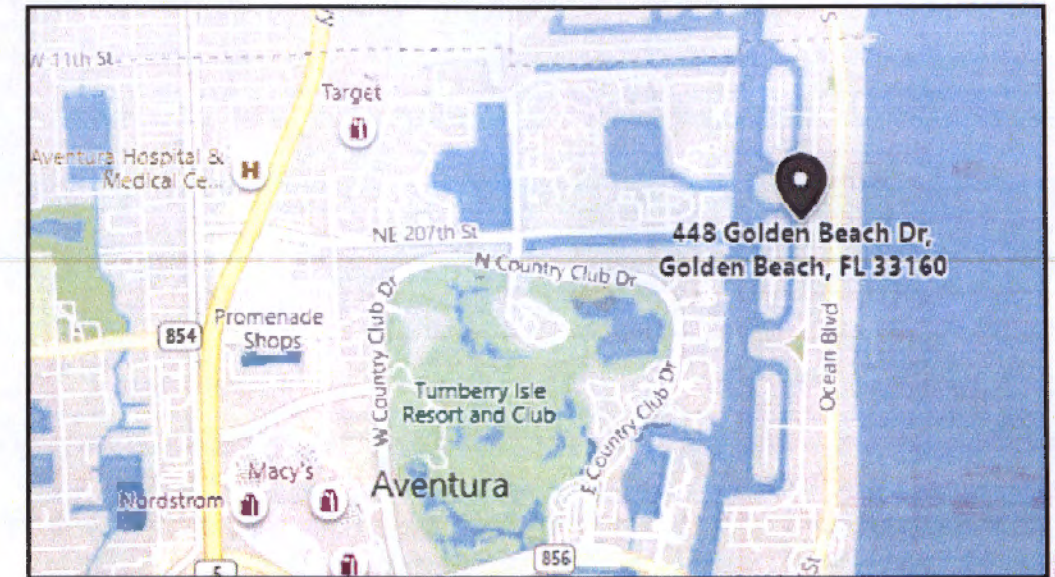
CANAL

(109.75' R/W)



Proposed Site Plan

Scale: 1" = 20'



Location Map

Short Legal Description

GOLDEN BEACH SEC E
PB 8-122
S10FT LOT 38 & ALL LOT 39 & LOT
40 LESS S25FT BLK F
LOT SIZE 16596 SQ FT

RER - NATURAL RESOURCES DIVISION PRELIMINARY APPROVAL

NAME Ashley Dominguez
DATE 11/02/2022

RER - NATURAL RESOURCES DIVISION PRELIMINARY APPROVAL

NAME
DATE

1	10/24/22	Corrections per zoning comments
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REVISIONS

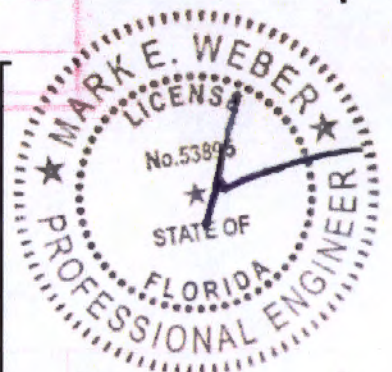
10/24/22

Sheet 2 of 7

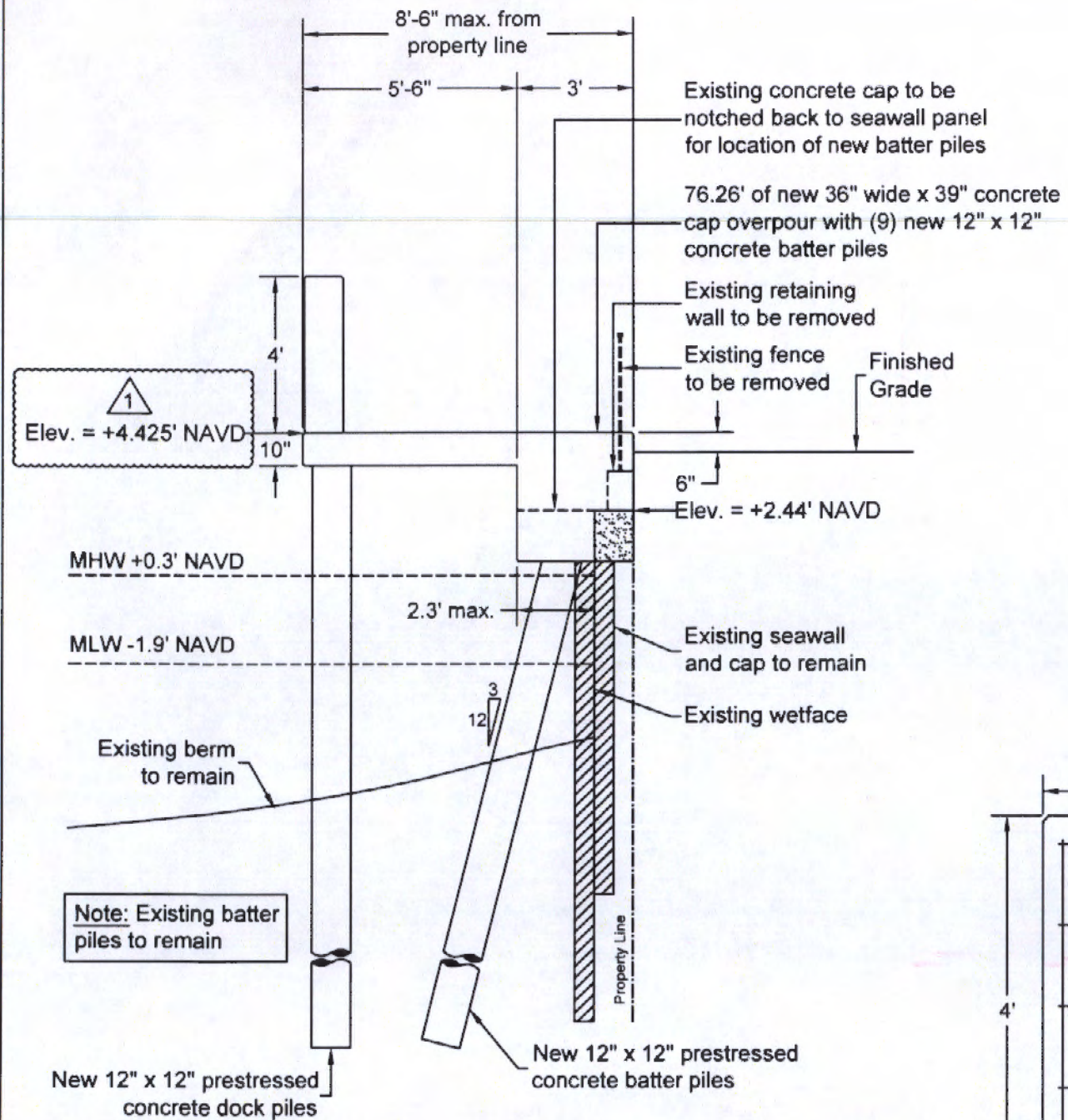
See attached survey supplied by owner for exact property information.

PREPARED FOR:
SOUTHEAST MARINE CONST. INC
1121 NW 51 Court
Ft. Lauderdale, FL 33309
(954) 630-2300

Project:
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MARK E. WEBER, P.E.
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MW ENGINEERING, INC
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Pompano Beach, Florida 33060
Ofc: 754-333-0877
WWW.MwEngineering.net

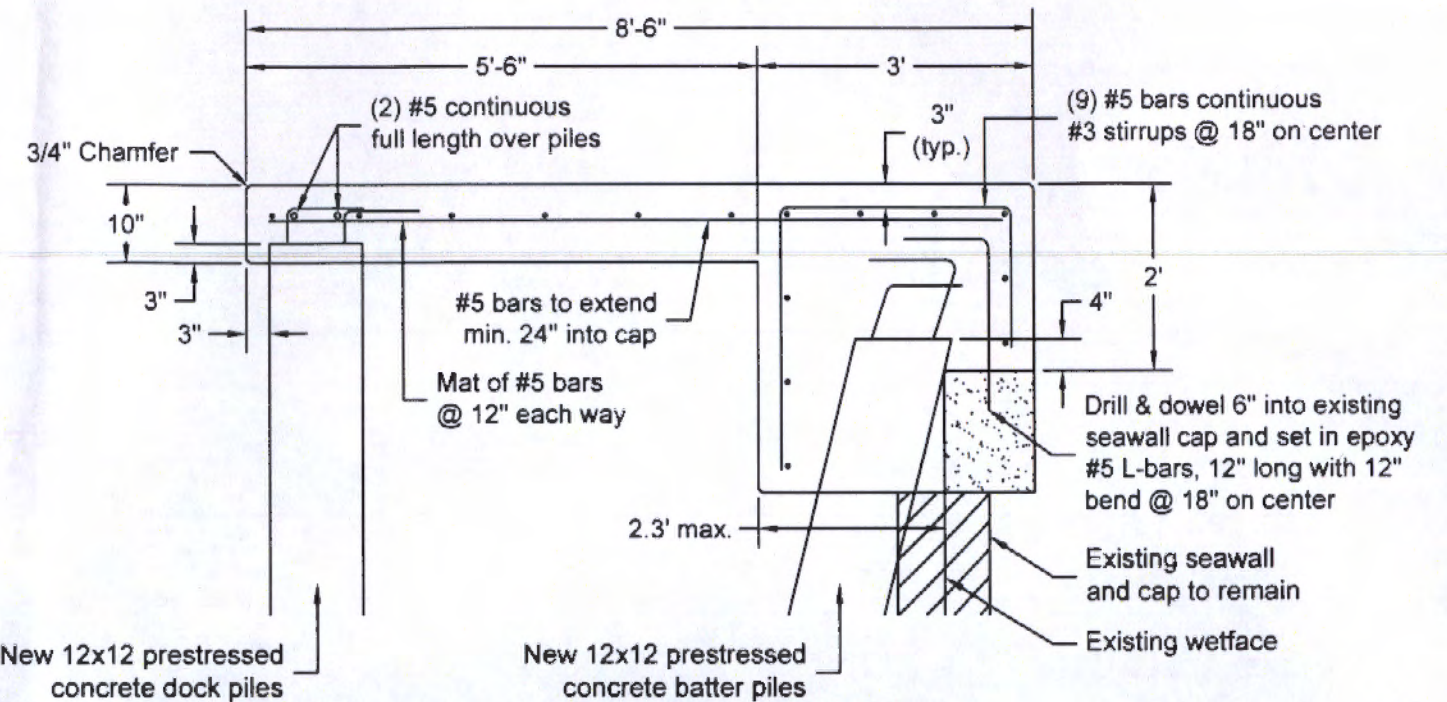


Upper Dock Section

Scale 1/4" = 1'-0"

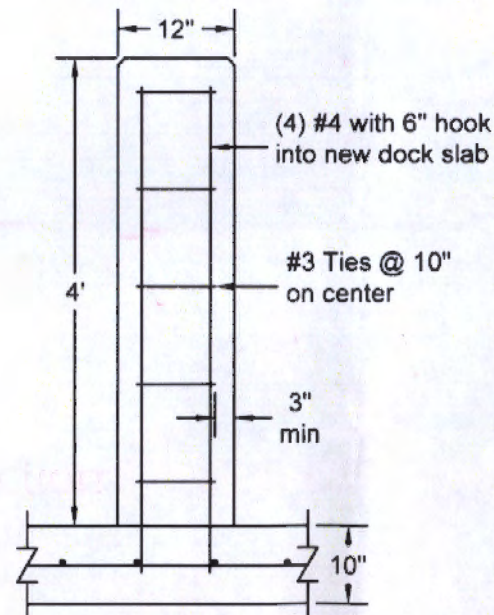
PILE NOTE:

Piles shall be driven in accordance with Dynatech Engineering Corp. subsoil report dated February 10, 2022 to 36' B.E.S.S. (Below Existing Seawall Surface) or refusal to achieve a minimum 25 ton capacity



Upper Dock Steel Detail

Scale: 1/2" = 1'-0"



Column Detail

Scale: 1/4" = 1'-0"

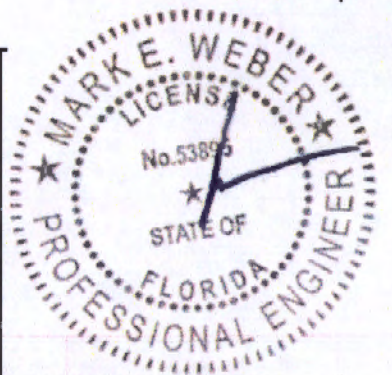
RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME Ashley Dominguez
DATE 11/02/2022

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PRELIMINARY APPROVAL
NAME
DATE

1	10/24/22	Corrections per zoning comments
REVISIONS		

10/24/22

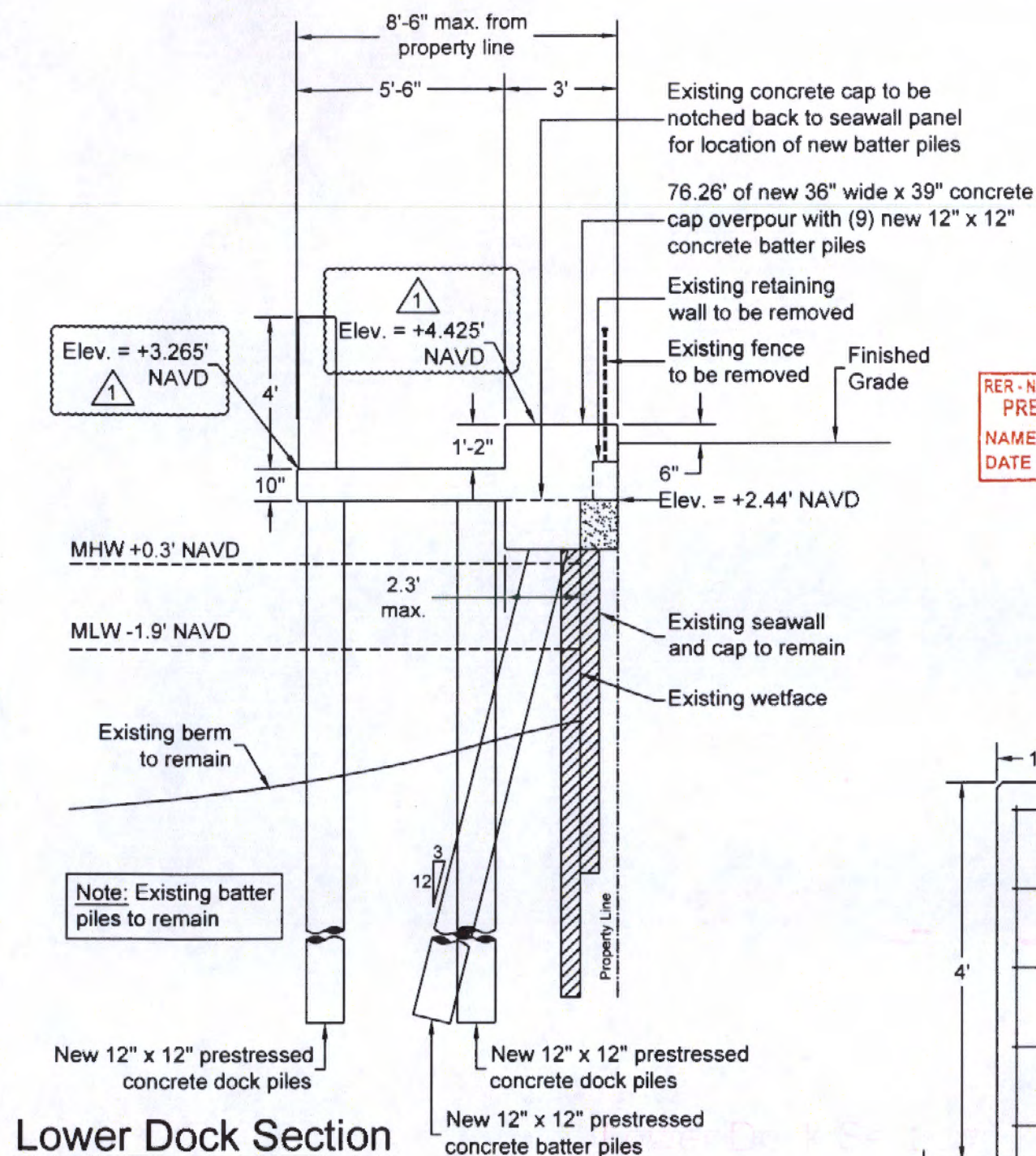
Sheet 4 of 7



PREPARED FOR:
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1121 NW 51 Court
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(954) 630-2300

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Pompano Beach, Florida 33060
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WWW.MWEngineering.net



Lower Dock Section

Scale 1/4" = 1'-0"

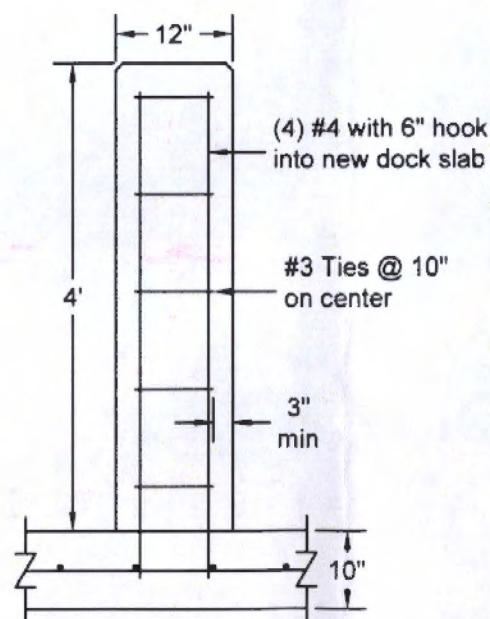
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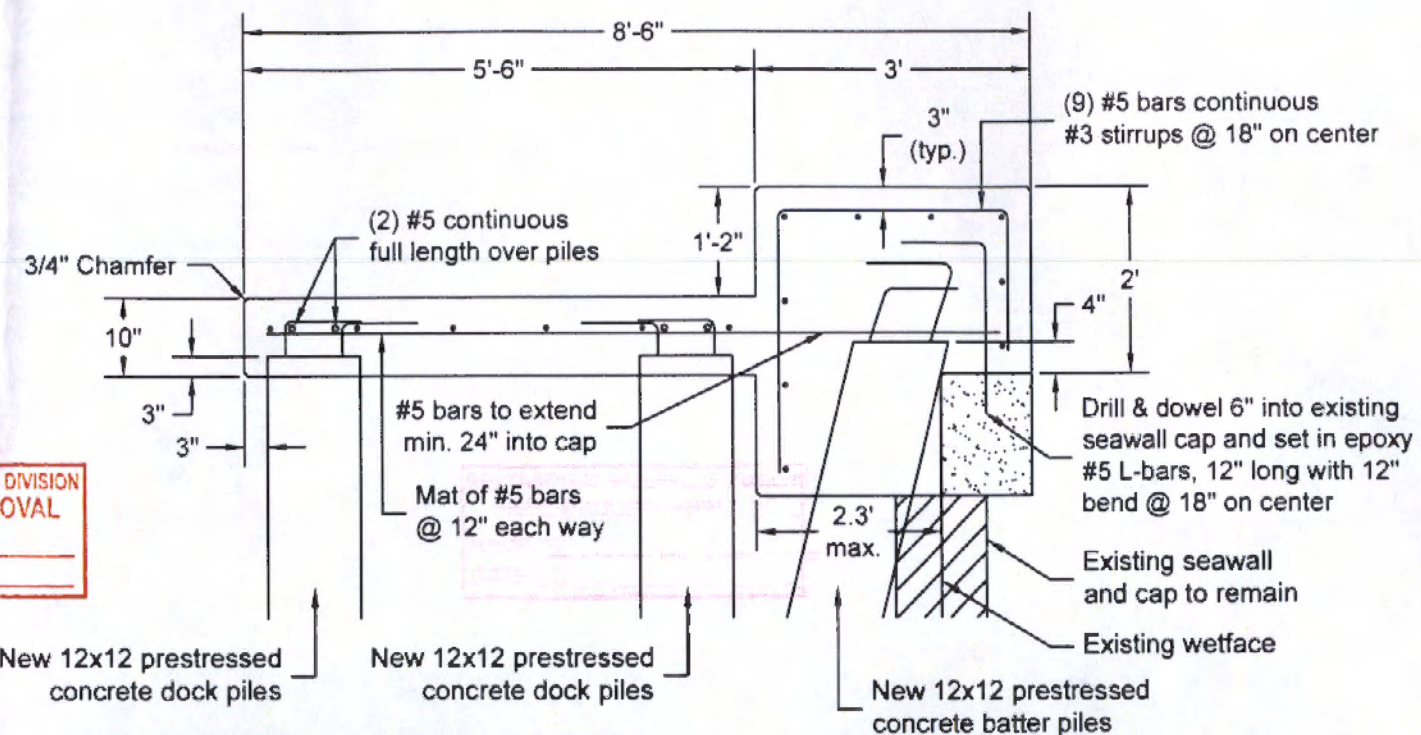
Lower Dock Steel Detail

Scale: 1/2" = 1'-0"



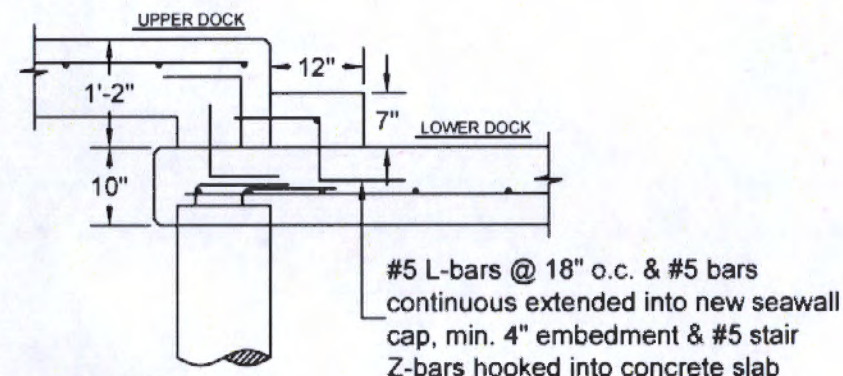
Column Detail

Scale: 1/4" = 1'-0"



Concrete Step Steel Detail

Scale: 1/2" = 1'-0"



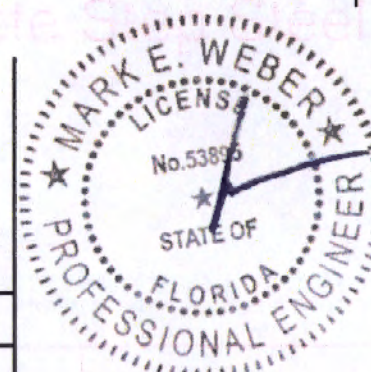
10/24/22

Sheet 5 of 7

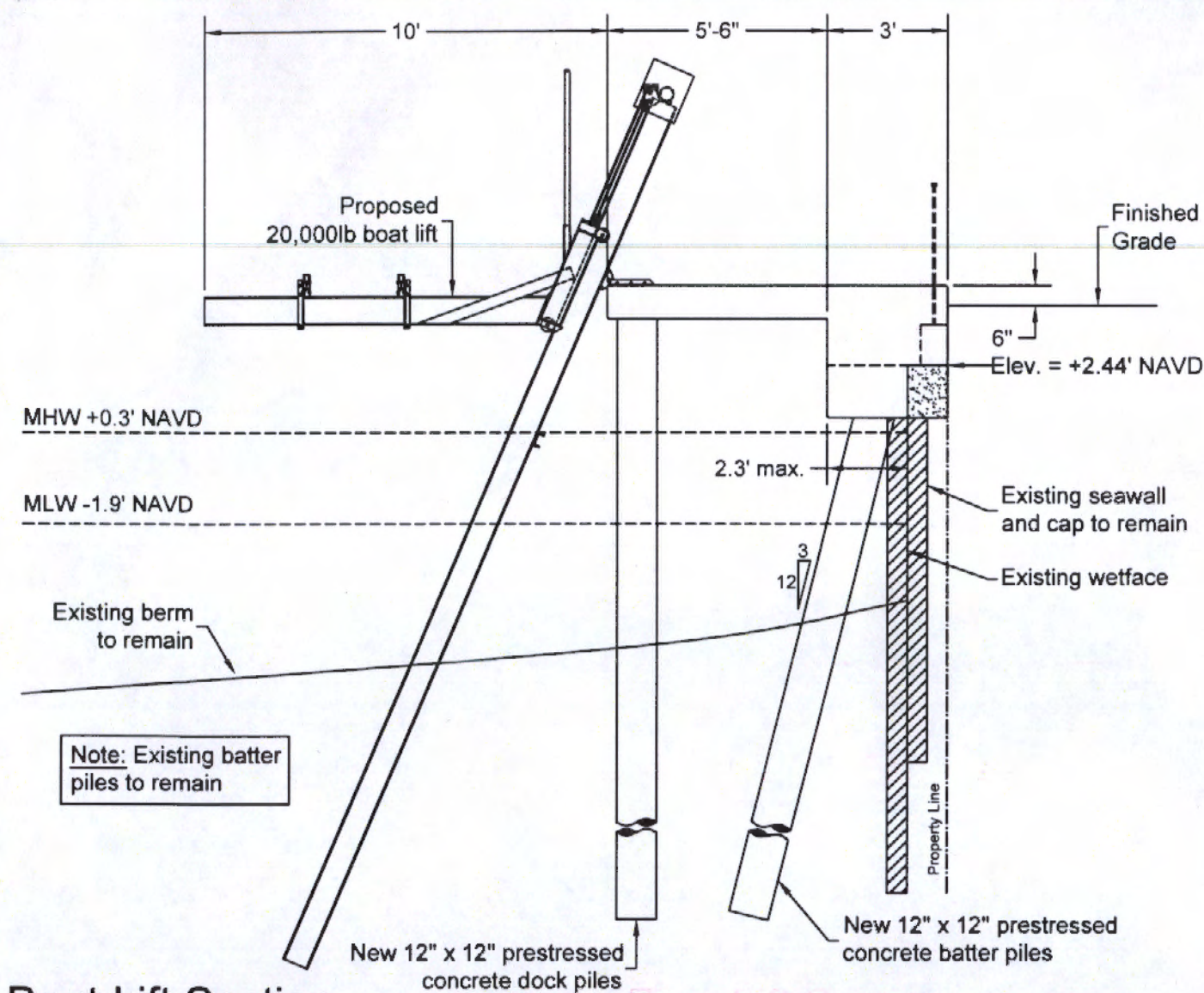
1	10/24/22	Corrections per zoning comments
REVISIONS		

PREPARED FOR:
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 DATE 11/02/2022

Boat Lift Section

Scale 1/4" = 1'-0"

PILE NOTE:

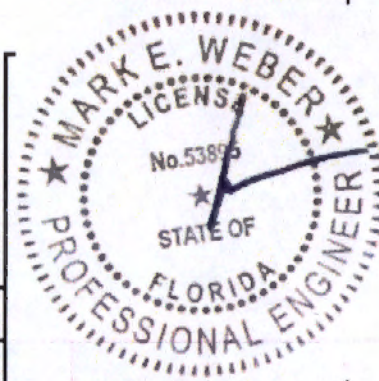
Piles shall be driven in accordance with Dynatech Engineering Corp. subsoil report dated February 10, 2022 to 36' B.E.S.S. (Below Existing Seawall Surface) or refusal to achieve a minimum 25 ton capacity

10/24/22

Sheet 6 of 7

PREPARED FOR
SOUTHEAST MARINE CONST. INC
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 Ft. Lauderdale, FL 33309
 (954) 630-2300

Project:
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 902 NE 1 Street Suite #2
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 WWW.MwEngineering.net

GENERAL NOTES:

1. Construction to follow the Florida Building Code 7th Edition (2020) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each appertaining circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

PILE DRIVING:

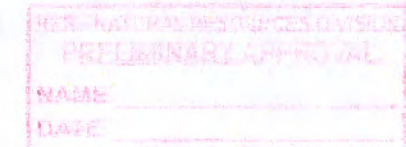
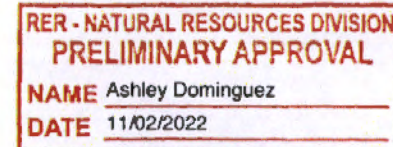
1. Pile driving operations shall be observed by a special inspector, including test piles sufficient to determine the approximate length required to meet design capacity.
2. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
4. Piles shall be driven with a variation of not more than $\frac{1}{4}$ inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

CONCRETE NOTES:

1. Concrete shall conform to ACI 318 (latest edition) and shall be regular weight, sulfate resistant, with a design strength of 5000 psi at 28 days with a maximum water-cementitious materials ratio, by weight aggregate concrete of 0.40.
2. Owner shall employ and pay for testing services from an independent testing laboratory for concrete sampling and testing in accordance with ASTM.
3. Licensed contractor is responsible for the adequacy of forms and shoring and for safe practice in their use and removal.
4. Concrete cover shall be 3" unless otherwise noted on the approved drawings.
5. Reinforcing steel shall be in conformance with the latest version of ASTM A615 Grade 60 specifications. All reinforcement shall be placed in accordance with ACI 315 and ACI Manual of Standard Practice.
6. Splices in reinforcing bars shall be not be less than 48 bar diameters and reinforcing shall be continuous around all corners and changes in direction. Continuity shall be provided at corners or changes in direction by bending the longitudinal steel around the corner 48 bar diameters.
7. Defective, cracked or loose concrete areas must be cut out, the rebar must be cleaned, coated with zinc and repaired with at least 3" of epoxy-concrete mix or gunnite concrete with sulfate-resistant cement.

PILE NOTES:

1. Concrete piles shall attain 6000 psi compressive strength in 28 days.
2. Concrete piles shall be reinforced with four - $\frac{7}{16}$ "Ø lo-lax strands, 270 kips, and 5 ga. spiral ties.
3. Concrete piles shall be 12"x12" square, minimum length of 20'.
4. Concrete piles shall be cut to leave strands exposed a min. of 18" and tied to dock or cap steel or drill and epoxy (2) #5 8"x12" hook bars 6" into pile.

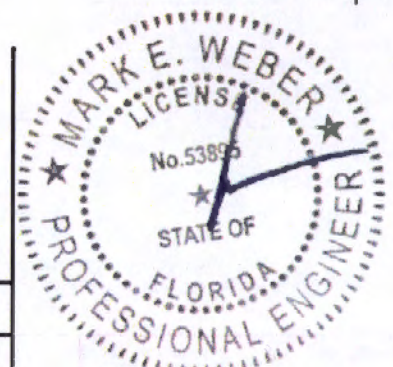


10/24/22

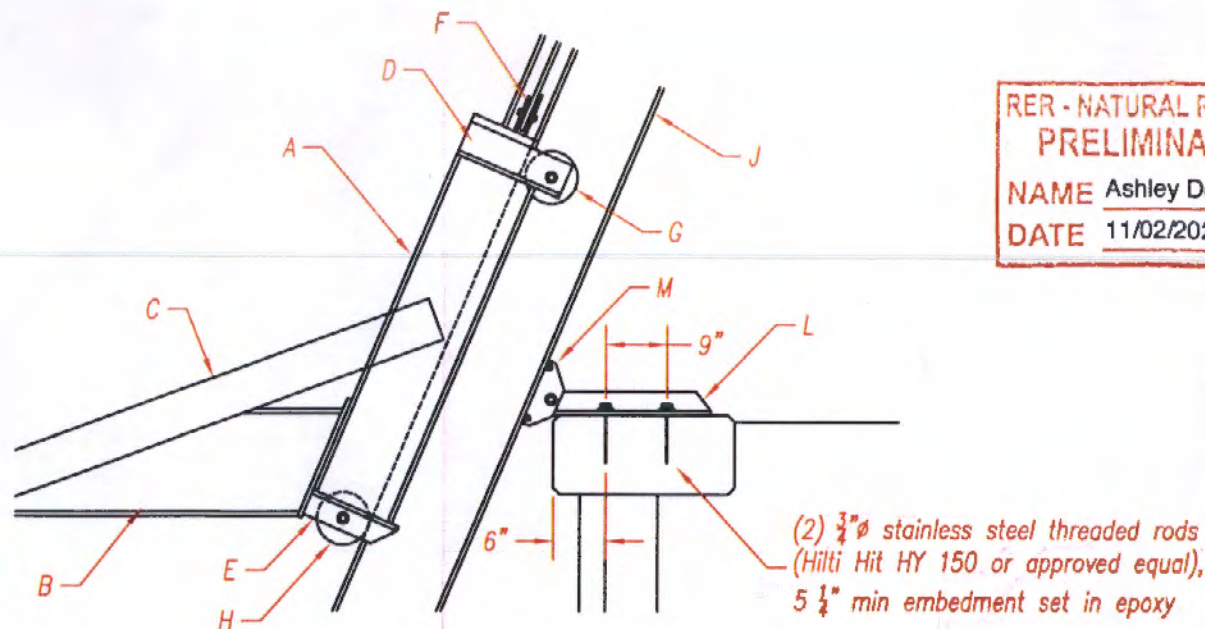
Sheet 7 of 7

PREPARED FOR:
SOUTHEAST MARINE CONST. INC
1121 NW 51 Court
Ft. Lauderdale, FL 33309
(954) 630-2300

Project:
Proposed Dock/Seawall Repair/Boat Lift
Ronni & Paul Bianco
448 Golden Beach Drive
Golden Beach, Florida 33160



MARK E. WEBER, P.E.
LICENSE #53895 | CA 30702
MW ENGINEERING, INC
902 NE 1 Street Suite #2
Pompano Beach, Florida 33060
Ofc: 754-333-0877
WWW.MwEngineering.net



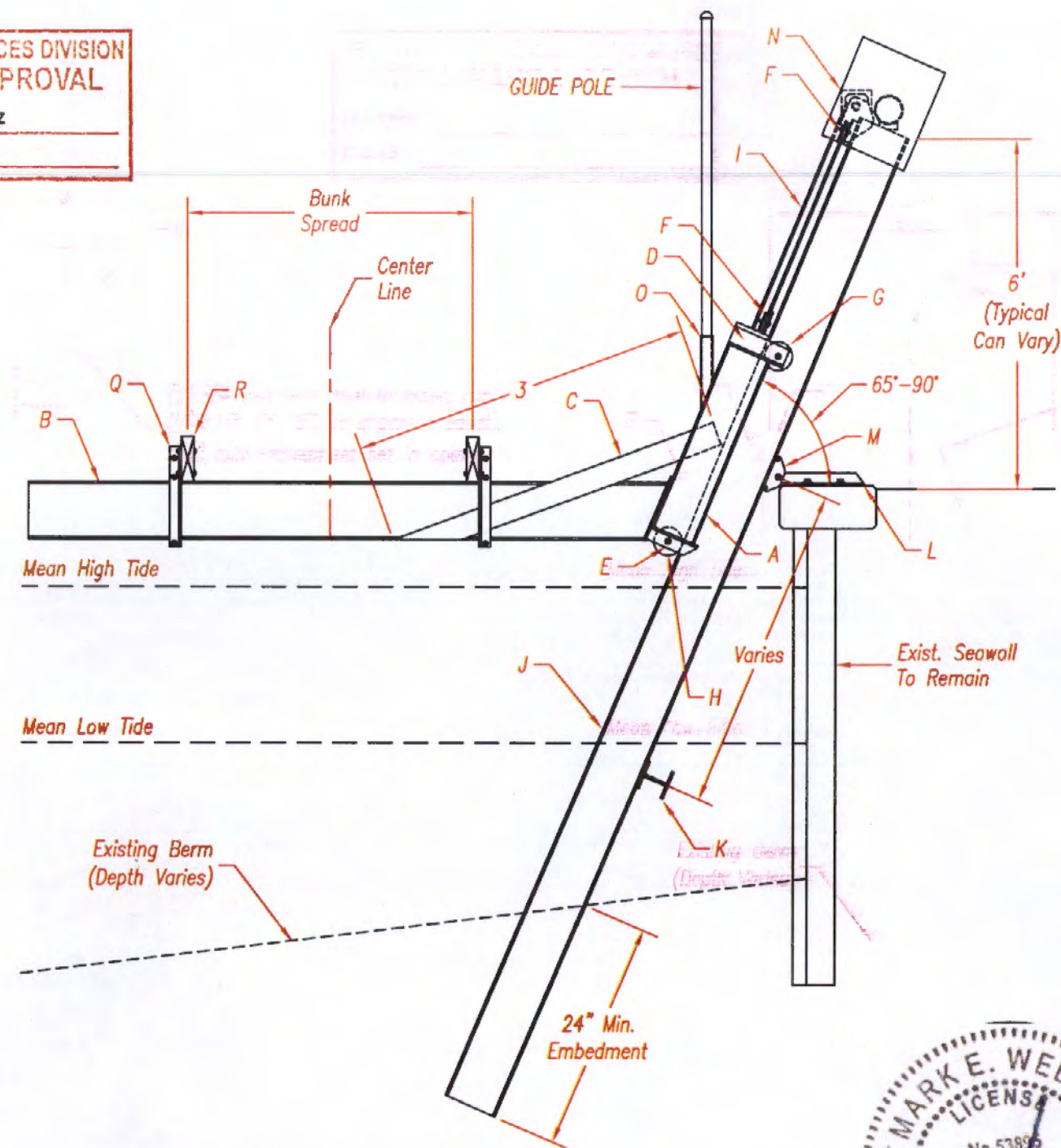
RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL

NAME Ashley Dominguez

DATE 11/02/2022

General Notes:

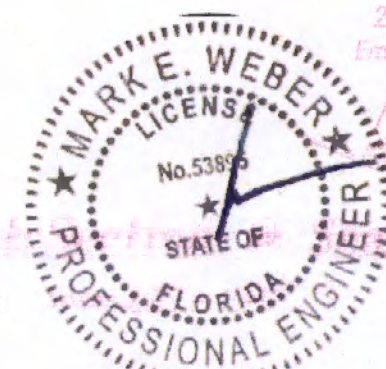
- Design in accordance with Florida Building Code, 7th Edition (2020).
- This lifting structure has been designed to withstand wind loads associated with speeds of $V_{ult} = 180$ MPH, (3 Second Gust) Exposure 'D' without a boat on the lift per ASCE 7-16 using above ground sign/wall method. The lifting structure including boat has been designed to withstand wind speeds of $V_{ult} = 73$ MPH in Exposure 'D'.
- Boats shall not be stored on lift during high wind events.
- Do not scale drawings for dimensions.
- Licensed Contractor to verify location of existing utilities prior to commencing work.
- The Licensed contractor to install and remove all shoring and bracing as required for the proper installation of the work.
- Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
- Aluminum: Material 6061 T6 Aluminum, all welds are min. $\frac{1}{4}$ " full fillet weld using 5556 filler alloy, all welding must conform to AISC Steel Construction Manual currently adopted edition as inspected and verified by others. The contractor is responsible to insulate aluminum members from dissimilar metals to prevent electrolysis.
- Aluminum members in contact with concrete and wood shall be protected by "Koppers Bituminous Paint" or Polyethylene Tape UHMW (ultra high molecular weight). 11.7 mils (0.30 mm) min. total thickness in accordance with current Florida Building Code.
- All anchors to be Hilti Brand or Approved Equal. All bolts shall be hot dipped galvanized or stainless steel & meet the requirements of ASTM A304 with hardened washers and hex nuts. Washers shall be used between wood & bolt head & between wood & nut. Where generic fasteners are labeled in details, capacities shall be equal to or greater than Hilti Kwik Bolt II or Red Head thru bolts SAE Grade 5 or better. Embedment depths specified herein are depths into solid substrate and do not include thickness of other finishes.
- MW Engineering has no control of the manufacturing, performance or installation of this product. These generic plans were engineered in accordance with accepted engineering practices and data provided by the manufacturer.
- Piles shall be driven min. 8' or refusal and sufficiently penetrated into sand or rock strata to support lift capacity, weight and loads.
- Each pile to carry commensurate load i.e. 1/4th lift capacity for 4-post lift (Factor of Safety of 1.5)
- Allowable minimum compression pile capacity of 5 tons.
- The contractor of record shall verify pile type, installation and driving in compliance with FBC 7th ED (2020)
- Sub-surface conditions can vary greatly.



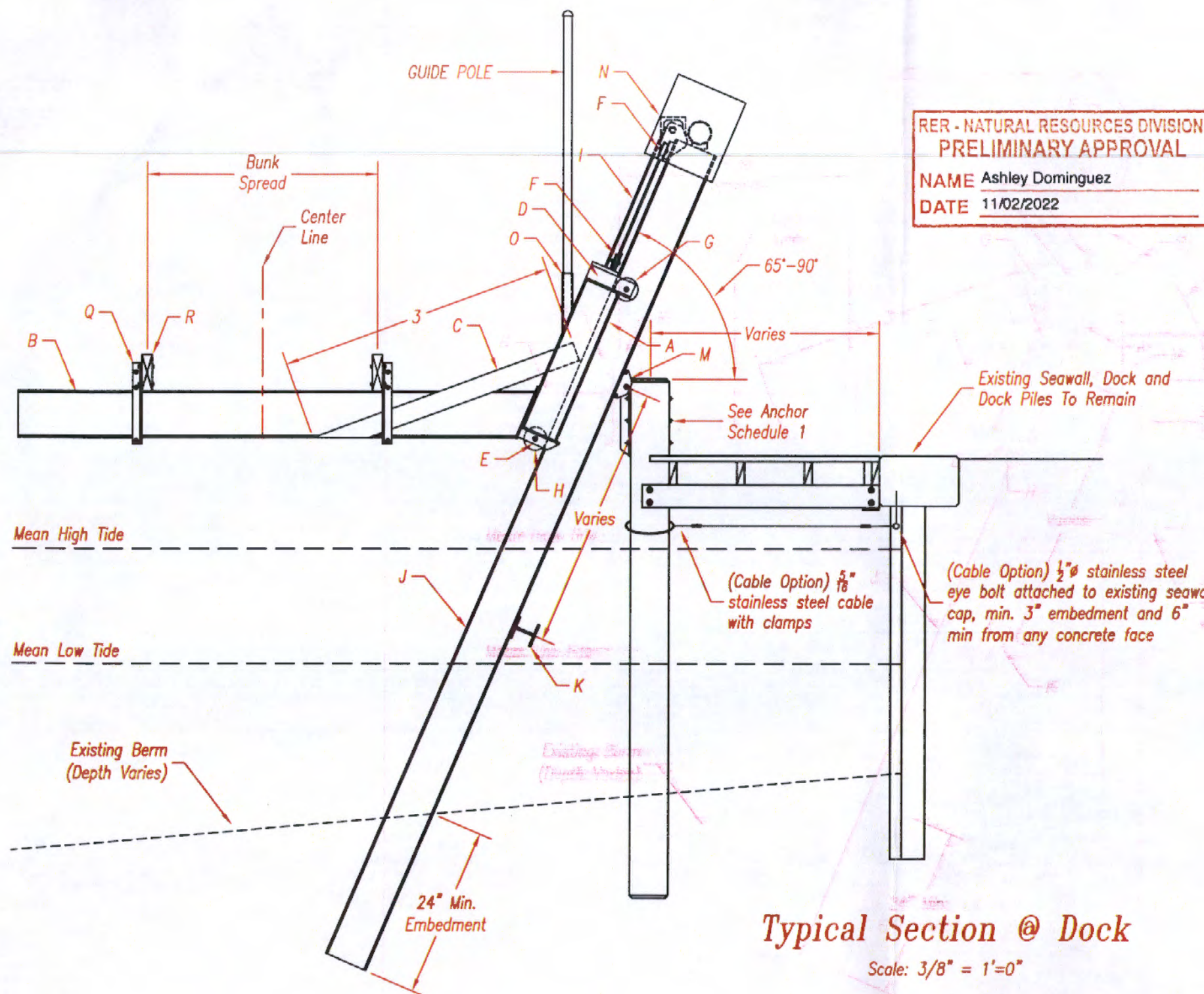
Typical Section @ Seawall

Scale: $\frac{3}{8}" = 1'-0"$

10/24/22



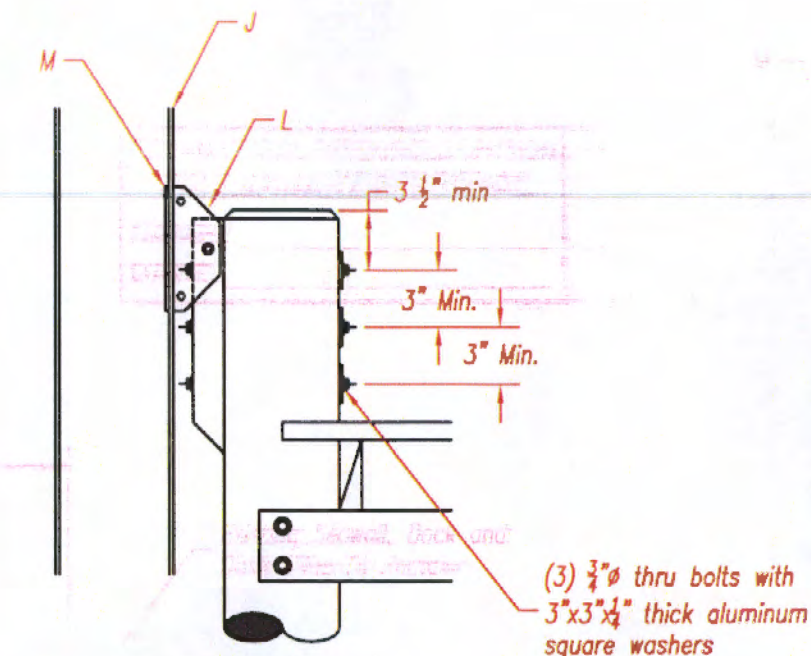
DATE	NOTES/REVISIONS	NOT VALID UNLESS SIGNED WITH ORIGINAL ENGINEER'S SIGNATURE AND SEAL	MW, ENGINEERING, INC	Proposed Elevators	NEPTUNE BOAT LIFTS	SCALE: 32
01/07/2018	Changed FBC Note		902 NE 1 Street Suite #2 Pompano Beach, Florida 33060 Ofc: 754-333-0877 WWW.MwEngineering.net	5,000 lb to 24,000 lb	228 SW 21 Terrace Fort Lauderdale, Florida 33312 Phone: 954-524-3616 Fax: 954-524-3604	DATE: 05.12.2015
		MARK E. WEBER, P.E. LICENSE #53895 CA 30702				DRAWN BY: WRT
						CHECKED BY: WM
						JOB No: Elevator 32.dwg
						Sheet 1 of 3



Typical Section @ Dock

Scale: 3/8" = 1'-0"

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME Ashley Dominguez
DATE 11/02/2022



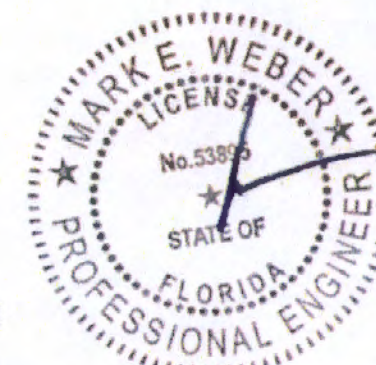
ANCHOR SCHEDULE 1

SLOPED TRACK BEAM

(3) 3/4" thru bolts (except for 5K elevator which required (2) 3/4" thru bolts only), 3 1/2" min. from top of pile, 3" apart min., centered with 3"x3"x1/4" thick aluminum square washers

VERTICAL TRACK BEAM (See Connection Detail)

(4) 3/4" thru bolts, 3 1/2" min. from top of pile, 3" apart min., centered with 3"x3"x1/4" thick aluminum square washers

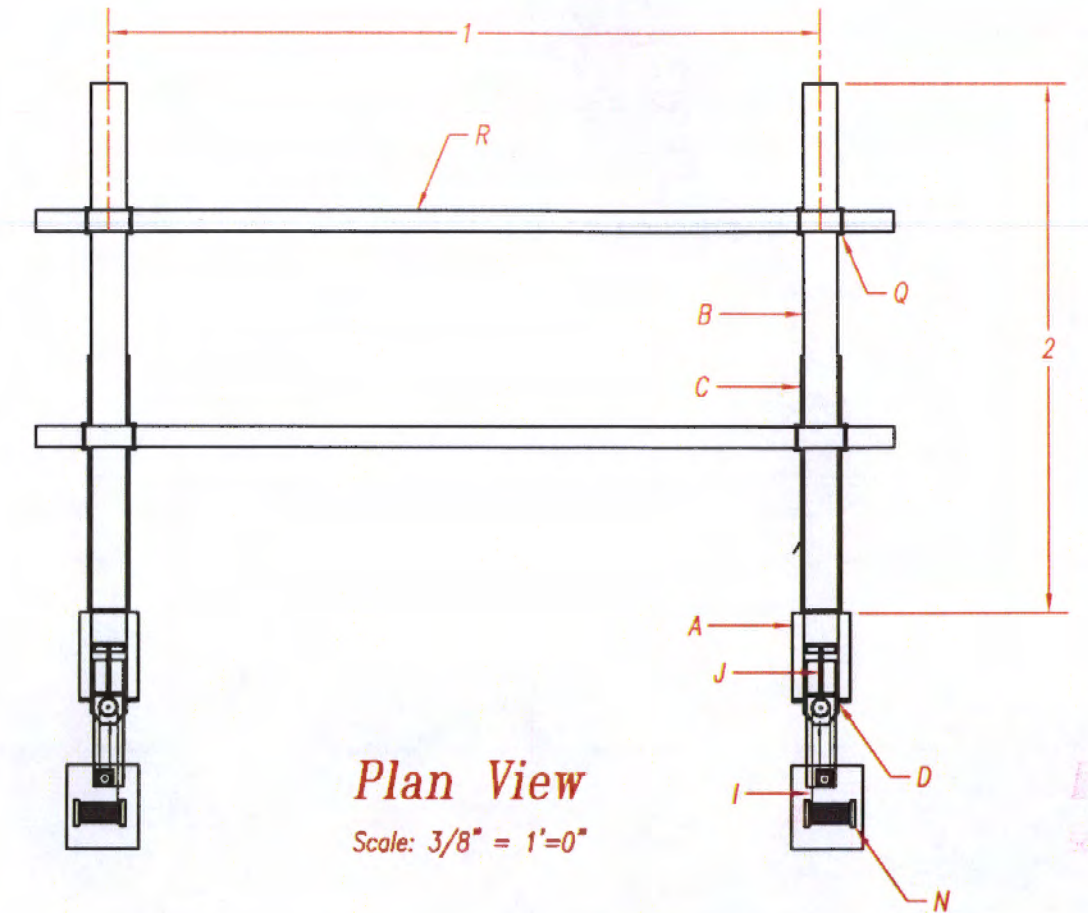


10/24/22
10/24/22

DATE	NOTES/REVISIONS	NOT VALID UNLESS SIGNED WITH ORIGINAL ENGINEER'S SIGNATURE AND SEAL	MW, ENGINEERING, INC 902 NE 1 Street Suite #2 Pompano Beach, Florida 33060 Ofc: 754-333-0877 WWW.MwEngineering.net	Proposed Elevators 5,000 lb to 24,000 lb	NEPTUNE BOAT LIFTS 228 SW 21 Terrace Fort Lauderdale, Florida 33312 Phone: 954-524-3616 Fax: 954-524-3604	SCALE: 32
01/07/2018	Changed FBC Note					DATE: 05.12.2015
						DRAWN BY: WRT
		MARK E. WEBER, P.E. LICENSE #53895 CA 30702				CHECKED BY: WM
						JOB No: Elevator 32.dwg
						Sheet 2 of 3

Components

	Lift Capacity (In Pounds)	5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000	
A	Carriage Boom (2 Required per Lift Arm)	AS C 6"x3.6		AS C 8"x4.3	AS C 10"x5.3			AS C 12"x7.4			
B	Cradle Arm	AA I - 6"x4.7		AA I 8"x7.1	AA I 10"x8.7	AA I 10"x10.286		AA I 12"x11.7	AA I 12"x14.3		
C	Gusset Plate (2 Required per Lift Arm)	$\frac{3}{8}$ "x3" Flat Bar		$\frac{1}{2}$ "x4" Flat Bar	$\frac{1}{2}$ "x5" Flat Bar			$\frac{1}{2}$ "x6" Flat Bar		$\frac{1}{2}$ "x6" Flat Bar	
D	Upper Carriage Angle (2 Required per Lift Arm)	$\frac{3}{8}$ "x2"x3" Angle		3"x3 $\frac{3}{4}$ "x $\frac{3}{8}$ " Custom Extrusion Tube							
E	Lower Carriage Angle (2 Required per Lift Arm)	$\frac{3}{8}$ "x2"x3" Angle		$\frac{3}{8}$ "x3"x4" Angle				$\frac{3}{8}$ "x4"x6" Angle			
F	Pulley Plate (2 Required per Lift Arm)	$\frac{3}{8}$ "x6" Flat Bar		$\frac{1}{2}$ "x6" Flat Bar	$\frac{1}{2}$ "x7" Flat Bar			$\frac{1}{2}$ "x8" Flat Bar			
G	Upper Guide Wheel (4 Required per Lift Arm)	4" Diameter		4" Diameter	6" Diameter						
H	Lower Guide Wheel (1 Required per Lift Arm)	4" Diameter		4" Diameter	6" Diameter						
I	Cable Size (Stainless Steel)	$\frac{5}{16}$ " Diameter 7x19 SS 304								$\frac{3}{8}$ " Diameter 7x19 SS 304	
J	Guide Track	AA I - 6"x4.7	AA I - 8"x6.3	AA I - 8"x7.1	AA I - 10"x8.7	AA I - 10"x10.286		AA I 12"x11.7	AA I 12"x14.3		
K	Guide Track To Guide Track Brace	4" x 2.357 I Beam									
L	Attachment Bracket	(2) $\frac{3}{8}$ "x2"x3" angle with welded $\frac{1}{4}$ " thick inner plate	5"x3 $\frac{1}{4}$ "x.75/.375 Channel		6"x3 $\frac{1}{4}$ "x.75/.375 Channel			7"x4"x.75/.50 Channel			
M	Track Mount Connector (2 Required per Lift Arm)	$\frac{3}{8}$ "x2"x4" Angle & $\frac{3}{4}$ " Bolts			$\frac{3}{8}$ "x3"x4" Angle & $\frac{3}{4}$ " Bolts			$\frac{1}{2}$ "x3"x6" Angle & $\frac{3}{4}$ " Bolts			
N	Motor Size (Horse Power/Voltage)										
O	Guide Post Socket	2" Diameter Schedule 80 Pipe						3" Diameter Schedule 80 Pipe			
P											
Q	Bunk Bracket Support (2 Each Side of Lift Arm)	$\frac{1}{4}$ "x2"x2"									
R	Bunk Boards	3"x8" Pressure Treated Southern Yellow Pine #1			3"x10" Pressure Treated Southern Yellow Pine #1						



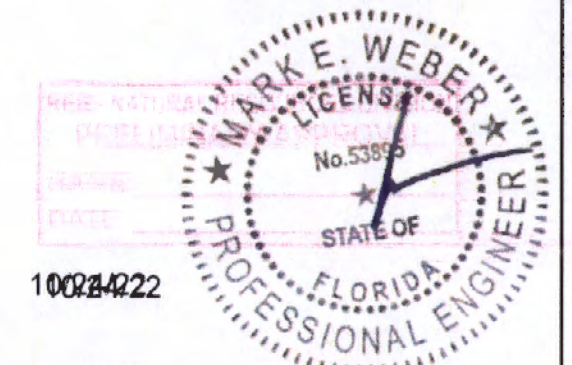
Plan View

Scale: 3/8" = 1'-0"

Dimensions

	Lift Capacity (In Pounds)	5,000	7,000	10,000	12,000	14,000	15,000	17,000	20,000	24,000
Dimension Mark	1	10'	10'	10'	10'	10'	10'	10'	10'	10'
	2	7'	7'	8'	8'	8'	8'	10'	10'	10'
	3	4'	4'	4'-6"	5'	5'	5'	6'	6'	6'

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME Ashley Dominguez
DATE 11/02/2022



100214222

DATE 01/07/2018	NOTES/REVISIONS Changed FBC Note	NOT VALID UNLESS SIGNED WITH ORIGINAL ENGINEER'S SIGNATURE AND SEAL MARK E. WEBER, P.E. LICENSE #53895 CA 30702	MW, ENGINEERING, INC 902 NE 1 Street Suite #2 Pompano Beach, Florida 33060 Ofc: 754-333-0877 WWW.MwEngineering.net	Proposed Elevators 5,000 lb to 24,000 lb	NEPTUNE BOAT LIFTS 228 SW 21 Terrace Fort Lauderdale, Florida 33312 Phone: 954-524-3616 Fax: 954-524-3604	SCALE: 32 DATE: 05.12.2015 DRAWN BY: WRT CHECKED BY: WM JOB No: Elevator 32.dwg Sheet 3 of 3
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PATRICIA WEXLER
480 NORTH PARKWAY STREET
GOLDEN BEACH, FL 33160

428 GOLDEN BEACH DRIVE LLC
20533 BISCAYNE BLVD STE 4 413
AVENTURA, FL 33180 USA

483 CENTER ISLAND LLC
483 CENTER ISLAND DR
MIAMI, FL 33160

YUVAL DOUER
2600 ISLAND BLVD 1702
AVENTURA, FL 33160

422 GB LLC
18200 NE 19 AVE STE 101
NORTH MIAMI BEACH, FL 33162 USA

ROBERT A SNYDER &W APRIL
487 CENTER ISLAND GOLDEN
BEACH, FL 33160-2255

GLORIA BERDICK &
KIM RUBIN TR
472 N PARKWAY
GOLDEN BEACH, FL 33160-2254

416 GOLDEN BEACH LLC
17600 COLLINS AVE
SUNNY ISLES BEACH, FL 33160 USA

SALOMON JOSEPH WOLDENBERG
IVETTE MISCHNE NESTEL
407 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160

ADAM GIBB
ELAINE GIBB
468 NORTH PARKWAY ST
GOLDEN BEACH, FL 33160

ALAN ROTTER
KAREN GROSS
439 CENTER ISLAND DR
GOLDEN BEACH, FL 33160 USA

ROCHELLE E MOORE PARRINO
417 GOLDEN BEACH FL
GOLDEN BEACH, FL 33160

EITAN GOLDMAN
JULIANA GOLDMAN
462 N PARKWAY
MIAMI, FL 33160

VANESSA ELIA
447 CENTER ISLAND DR
GOLDEN BEACH, FL 33160

BARRY HONOWITZ &W SUE
429 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160-2226

460 N PARKWAY LLC
777 BRICKELL AVE 1270
MIAMI, FL 33131

451 CENTER ISLAND LLC
428 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160

NESTOR SAPORITI TRS
NESTOR SAPORITI REVOCABLE TRUST
437 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160

JOE ACKERMAN &W
Yael MARCUSCHAMER
456 N PARKWAY ST
GOLDEN BEACH, FL 33160

FIRST REPUBLIC TR CO OF
OFELIYA ILISHAYEVA 2020 IRREV TR
DELAWARE LLC TRS
455 CENTER ISLAND DR
GOLDEN BEACH, FL 33160

SERGIO KOSTEK
ELIANE ARANTES TORALBA KOSTEK
445 GOLDEN BEACH DR
NORTH MIAMI BEACH, FL 33160

RONNI BIANCO
PAUL BIANCO
448 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160-2244

MICHAEL YOUNG &W ELIZABETH
4870 NW 157 ST
MIAMI, FL 33014-6434

JODI MACKEN
449 GOLDEN BEACH DR GOLDEN
BEACH, FL 33160-2226

LEON J HUPPERT TRS
LEON J HUPPERT REVOCABLE TRUST
440 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160 USA

REUBEN EZEKIEL
801 S UNIVERSITY DR
STE A112
PLANTATION, FL 33324-3337

GUSTAVO B BOGOMOLNI
427 GOLDEN BEACH DR GOLDEN
BEACH, FL 33160

MICHAEL NEWMAN
434 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160-2244 USA

MARIAM DUM
JOSEF PRESCHER
475 CENTER ISLAND DR
GOLDEN BEACH, FL 33160

RAFAEL JAKUBOW (LE)
(REM) ISTAM JAKUBOW
465 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160-2226

JACQUELINE H YOUNG TRS
JACQUELINE H YOUNG REVOC TRUST
499 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160

MARTIN DAYTON &W BARBARA
473 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160-2226

ALEXANDER GOLDSTEIN
LIOR GOLDSTEIN
469 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160

RAFAEL JAKUBOW (LE)
(REM) ISTAM JAKUBOW
465 GOLDEN BEACH DR
GOLDEN BEACH, FL 33160-2226

F. VARIANCE REQUEST(S):

13. Ronni and Paul Bianco
448 Golden Beach Drive
Golden Beach, FL 33160

Property Address: 448 Golden Beach Drive, Golden Beach, FL 33160
Folio No: 19-1235-005-0470
Legal Description: S10ft Lot 38 & All Lot 39 & Lot 40 less S25 ft BK F GB Sec E PB 8-122

Christopher Gratz – Zoning Reviewer for the Town summarized his report and it was entered into the record.

Robert Shan – 134 S Dixie Highway, Hallandale Beach, FL. – spoke on behalf of the applicant

Installation dock replacement, seawall repair and boatlift.

Relief from Town Code Sec. 46-81. - Extension of seawalls into waterways.

No part of any seawall, including slabs may extend beyond any lot property line into any waterway in the Town. The piles and cap beam may encroach into the waterway, if approved by the agency having jurisdiction.

Request is to allow the new seawall to encroach outside the property line, approximately 4.38', into the waterway.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made to recommend approval by Stephanie Halfen, Seconded by Isaac Murciano.

On roll call – Zvi Shiff-Aye, Isaac Murciano-Aye, Jerome Hollo-Aye and Stephanie Halfen-Aye.

Motion passed 4 – 0

14. Michael G Klinger
Michelle Frohlich Klinger
194 South Island Drive
Golden Beach, FL 33160

Property Address: 194 South Island Drive, Golden Beach, FL 33160
Folio No: 19-1235-004-0650
Legal Description: S35ft Lot 27, BK J GB Sec D PB 10-10

Christopher Gratz – Zoning reviewer for the Town summarized his report and it was entered into the record.

Michael Klinger owner of the property spoke on his own behalf.

Installation of a dock replacement, seawall repair and boatlift

Relief from Town Code Sec. 46-81. - Extension of seawalls into waterways.

No part of any seawall, including slabs may extend beyond any lot property line into any waterway in the Town. The piles and cap beam may encroach into the waterway, if approved by the agency having jurisdiction.

Request is to allow the new seawall to encroach, approximately 1'-8 ¾", outside the property line into the waterway.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

A motion was made to recommend approval by Isaac Murciano, Seconded by Zvi Shiff. On roll call – Zvi Shiff-Aye, Isaac Murciano-Aye, Jerome Hollo-Aye and Stephanie Halfen-Aye.

Motion passed 4 – 0

G. NEW BUSINESS:

15. Ronni and Paul Bianco
448 Golden Beach Drive
Golden Beach, FL 33160

Property Address: 448 Golden Beach Drive, Golden Beach, FL 33160
Folio No: 19-1235-005-0470
Legal Description: S10ft Lot 38 & All Lot 39 & Lot 40 less S25 ft BK F GB Sec E PB 8-122

Christopher Gratz' report was entered into the record.
Robert Shan represented the applicant.

Installation dock replacement, seawall repair and boatlift.

A motion was made by Stephanie Halfen to approve the item, conditioned on the Town Council's approval of the variance request, Seconded by Isaac Murciano.

On roll call – Zvi Shiff-Aye, Isaac Murciano-Aye, Jerome Hollo-Aye and Stephanie Halfen-Aye.

Motion passed 4 – 0

16. Michael G Klinger
Michelle Frohlich Klinger
194 South Island Drive
Golden Beach, FL 33160

Property Address: 194 South Island Drive, Golden Beach, FL 33160
Folio No: 19-1235-004-0650
Legal Description: S35ft Lot 27, BK J GB Sec D PB 10-10

Christopher Gratz' report was entered into the record
Mr. Klinger – owner of the property was present.

Installation dock replacement, seawall repair and boatlift

A motion was made by Stephanie Halfen to approve the item, conditioned on the Town Council's approval of the variance request, Seconded by Isaac Murciano.

On roll call – Zvi Shiff-Aye, Isaac Murciano-Aye, Jerome Hollo-Aye and Stephanie Halfen-Aye.

Motion passed 4 – 0

H. PRELIMINARY DESIGN REVIEWS - ITEMS FOR DISCUSSION AND POSSIBLE APPROVAL

I. ADJOURNMENT

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT



TOWN OF GOLDEN BEACH
1 Golden Beach Drive
Golden Beach, FL. 33160

Summary Minutes
BUILDING REGULATION ADVISORY BOARD
January 10, 2023 at 6pm

"DRAFT"

Zoom Meeting ID: 892 9110 8015 Passcode: 752288 For Dial in only call: 929-205-6099

- A. **CALL MEETING TO ORDER:** 6:00pm
- B. **BOARD ATTENDANCE:** Avi Shiff, Isaac Murciano, Jerome Hollo and Stephanie Halfen
Absent: Eric Cohen, Judy Mimoun and Alan Macken
- C. **STAFF ATTENDANCE:** Linda Epperson-Assistant Town Manager and Christopher Gratz – Zoning Reviewer.
- D. **APPROVAL OF MINUTES:** December 13, 2022

Motion to approve the minutes by Zvi Shiff, Seconded by Isaac Murciano
All were in favor – no one opposed
Motion passed 4 – 0

- E. **REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS:**

Moving items 8 and 9 to new business

- 1. Faris A Hanna
150 Golden Beach Dr.
Golden Beach, FL 33160-2241

Property Address: 150 Golden Beach Dr, Golden Beach, FL 33160-2241
Folio No: 19-1235-004-0260
Legal Description: Lot -8 & 9, Block H, GB Sect D, PB 10-10

New seawall and timber boat dock.

- 2. 310 South Parkway LLC
310 S Parkway
Golden Beach, FL 33160

Property Address: 310 South Parkway, Golden Beach, FL, 33160
Folio No: 19-1235-005-0590
Legal Description: Lot 31 & 32, Block G, GB Sect E, PB 8-122

Installation dock replacement & seawall repair.

- 3. 200 Golden Beach LLC
17201 Collins Ave 3501
Sunny Isles Beach, FL 33160

Property Address: 200 Golden Beach, Golden Beach, FL 33160-2215
Folio No: 19-1235-004-0010
Legal Description: Lot 1 & 2, Blk G GB Sec D, PB 10-10

Construction of a new single-family residence and landscape design approval.

4. Adam Brian Glazer
Carmen Isbely Glazer
19973 NE 37 Ave
Aventura, FL 33180

Property Address: Vacant Lot A/K/A, 624 Ocean Blvd., Golden Beach, FL 33160
Folio No: 19-1235-001-0080
Legal Description: Lot 8 & S1/2 of Lot 9, Blk 1, GB Sect A, PB 9-52

Construction of a new single-family residence design approval.

5. Center Island LLC
393 Center Island Drive
Golden Beach, FL 33009 USA

Property Address: 397 Center Island Drive, Golden Beach, FL 33160
Folio No: 19-1235-005-0885
Legal Description: Lot 24 Less S12 50 FT & Lot 25 Blk GB Sec E PB 8-122

Construction of a new single-family residence and landscape design approval.

6. Center Island LLC
393 Center Island Drive
Golden Beach, FL 33009 USA

Property Address: 393 Center Island Drive, Golden Beach, FL 33160
Folio No: 19-1235-005-0880
Legal Description: Lot 22 & Lot 23 Blk GB Sec E PB 8-122

Construction of a new single-family residence and landscape design approval.

7. Tariq Smith and Audra Schnepf Cherif
530 North Parkway
Golden Beach, FL 33160

Property Address: 530 North Parkway, Golden Beach, FL 33160
Folio No: 19-1235-006-0710
Legal Description: Lot -17, Block F GB Sect F, PB 10-11

Installation of boatlift.

8. Jose A De Paula Torres Lima
Marcia C Nogueira Torres Lima
547 Golden Beach Drive
Golden Beach, FL 33160-2215

Property Address: 547 Golden Beach, Golden Beach, FL 33160-2215
Folio No: 19-1235-006-0250
Legal Description: Lot 25 & 26, Blk 2 GB Sec F, PB 10-11

Construction of a new single-family residence and landscape design approval.

9. Allegro Acquisitions Corp.
343 Center Island Drive
Golden Beach, FL. 33160

Property Address: 343 Center Island Drive, GB, FL. 33160
Folio No: 19-1235-005-0820
Legal Description: Lot 11, Block K, GB Section E, PB 8-122

New seawall and dock

10. Allegretto Holdings LLC.
5150 Tamiami Trail, North 302
Naples, FL. 34103

Property Address: 345 Center Island Drive, GB, FL. 33160
Folio No: 19-1235-005-0830
Legal Description: Lot 12, Block K, GB Section E, PB 8-122

New seawall and dock

11. Allegro Acquisitions Corp.
349 Center Island Drive
Golden Beach, FL. 33160

Property Address: 349 Center Island Drive, GB, FL. 33160
Folio No: 19-1235-005-0840
Legal Description: Lot 13 & Beg NE Cor of Lot 14 SW 150' NW 21.237' along s/l of
Lot 14 NE 150.15' E7.35' to POB, Block K, GB Sect E, B 8-122

New seawall and dock

12. David M. Lazarus Trs.
88 Terracina Land Trust
20295 NE 29th Place, Suite 200
Aventura, FL. 33180

Property Address: 88 Terracina Avenue, Golden Beach, FL. 33160
Folio No: 19-1235-004-0350
Legal Description: Lots 23 & 24, Block H, GB Sect D, PB 10-10

Addition, interior/exterior remodel to an existing residence.

Motion by Zvi Shiff to defer items 1 through 12 to the next Building Advisory Board meeting, Seconded by Isaac Murciano
On roll call – Zvi Shiff-Aye, Isaac Murciano-Aye, Jerome Hollo-Aye and Stephanie Halfen-Aye.
Motion passed 4 – 0