

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 2640.19

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING VARIANCE REQUESTS FOR THE PROPERTY LOCATED AT 386 GOLDEN BEACH DR., GOLDEN BEACH, FLORIDA 33160 TO PERMIT A DOCK TO BE CONSTRUCTED AT A DOCK LENGTH OF 53'8" PROTRUDING OUTSIDE THE D-5 TRIANGLE, TOWN CODE SECTION 46-87 PROXIMITY OF LOT LINE, INSTEAD OF THE PERMITTED APPROVED DOCK LENGTH OF 46'8".

WHEREAS, the applicants, Volodymyr Symonenko and Oksana Kirpenko, ("the applicants"), filed a Petition for Variances/exceptions, from Section 46-87 – Proximity of Lot Lines. (b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows: (1) the base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

WHEREAS, the applicant's request is to allow for the dock to remain as constructed at 53'8" which protrudes outside the D-5 Triangle instead of the approved permitted dock length size of 43'8" which is within the D-5 Triangle.

WHEREAS, these variances and exceptions are for the property at 386 Golden Beach Dr., Golden Beach, FL. 33160 (Golden Beach Section "E", N ½ of Lot 48 and all of Lot 49, Block G, as recorded in PB 8-122, of the Public Records of Miami-Dade County, (Folio No. 19-1235-005-0720 (the "Property") and ;

WHEREAS, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended denial of the request for the larger dock, for approval by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances/exception is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and the construction shall be completed substantially in accordance with those certain plan pages S-1 – S-3, dated June 12, 2019, John

Omslaer, Engineer, #52733, Dynamic Engineering Solutions, Inc. and the Sketch of Boundary Survey, prepared by ECS Land Surveyors, Inc., dated 7/31/2019, for the property located at 386 Golden Beach Dr., Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.


Sponsored by Administration.

The Motion to adopt the foregoing Resolution was offered by Councilmember Bernstein, seconded by Councilmember Lusskin, and on roll call the following vote ensued:

Mayor Glenn Singer	<u>Aye</u>
Vice Mayor Kenneth Bernstein	<u>Aye</u>
Councilmember Judy Lusskin	<u>Aye</u>
Councilmember Jaime Mendal	<u>Aye</u>
Councilmember Bernard Einstein	<u>Aye</u>

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida, this 17th day Septmeber, 2019

ATTEST:



LISSETTE PEREZ
TOWN CLERK



MAYOR GLENN SINGER

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:



STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

One Golden Beach Drive
Golden Beach, FL 33160

MEMORANDUM

Date: September 17, 2019

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager *Alex B*

Subject: Resolution No. 2640.19 – Variance Request for 386 Golden Beach Drive,
Golden Beach, FL 33160 (Dock).

Item Number: 7

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2640.19.

Background and History:

Town Code Section 46-87 – Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows: (1) the base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

The applicants request is to allow the dock to remain as constructed at 53'8" which protrudes outside the D5 Triangle. Instead of the Town's approved dock plan length of 46'8" which is within the D5 Triangle.

The Building Regulation Advisory Board met September 10, 2019 and recommended approval of the variance request, the motion failed with Board vote of 3 – 0.

Melinda Almonte spoke in opposition to the item.

Attachments:

- Resolution
- Michael Miller Planning Critique
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact: None

**TOWN OF GOLDEN BEACH
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Building Regulatory Advisory Board
 Town of Golden Beach

From: Michael J. Miller, AICP *MJM*
 Consultant Village Planner

Date: August 30th, 2019

Subject: Zoning Variance Application
 After-The-Fact Variance for Existing Dock Encroachment in GB D5 Triangle
 386 Golden Beach Drive
 N ½ of Lot 48 & Lot 49 of Block G
 MMPA Project No.04-0101-0505

ISSUE

The applicant, Ocean Consulting, LLC, as agent for the property owners, Volodymyr Symonenko & Oksana Kirpenko, is requesting a zoning variance for after-the-fact / as-built portions of a boat dock that encroach slightly into the Golden Beach D5 (GB D5) triangle. The subject property adjoins the 100' wide Grand Canal. In 2017 the Town granted variances for an older seawall / new dock at this site to encroach up to 9'-3" into the waterway vs. the allowed 6', as it was discovered the seawall had been previously constructed into the waterway about 3'-9", and the owners desired a new boat dock. Subsequently the Town issued a building permit and the dock was built. Recently the Town staff discovered that the new dock was built wider than allowed, and portions of the dock / two (2) piles encroach into the GB D5 triangle. The owners are requesting an after-the-fact variance to keep the dock as it was built. The alternative is to modify the dock by removing the outermost two (2) piles and portions of the concrete dock to comply with the Town Code requirements, the previous 2017 variance plans, and building permits. Town Code Sec. 46-87(b) sets forth the Town's GB D5 triangle requirements. Following is a brief description of the variance:

- Variance from Town Code Section 46-87(b) to allow an as-built concrete dock to remain that was built in error by a marine contractor in 2018.

ANALYSIS

As per the Town's request MMPA has completed our review of the above referenced variance application and provide the following comments for consideration:

**Town of Golden Beach
386 Golden Beach Drive – Dock Variance Request
After-The-Fact Variance for Dock Encroachment into GB D5 Triangle
August 30th, 2019
Page 2**

Variance Request - The application as submitted requests a variance from Town Code Section 46-87(b) to allow portions of a newly constructed dock to remain as-built that encroach slightly into the GB D5 triangle adjoining the site in the Grand Canal waterway. In 2017 the Town granted variances to the owners for an older seawall that was previously built encroaching 3'-9" into the waterway, and a new concrete dock, to encroach up to 9'-3" into the waterway vs. the allowed 6' in 100' waterways. The seawall cap is quite wide at 4'-6" and the dock is 3'-6" in width creating in essence an 8-foot wide dock. Subsequently the Town issued a building permit and the dock was built. Recently the Town staff discovered that the new dock was built wider than allowed, as portions of the dock / two (2) piles encroach into the GB D5 triangle. The owners are requesting an after-the-fact variance to keep the dock as it was built. The alternative is to modify the dock by removing the outermost two (2) piles and portions of the concrete dock to comply with the Town Code requirements, the previous 2017 variance plans, and building permits.

NON-USE VARIANCE JUSTIFICATION

As submitted, the applicant's sole justification for the dock encroachment is that the marine contractor made an error, and to correct it would be a considerable financial burden. This could have been an innocent mistake, or it was thought the Town would not notice the encroachment or make the contractor / owner correct the encroachment. The comments below are based on the submittal.

1) The variance requested is for relief from the provisions of the Town Code.

The applicant requests relief from Section 46-87(b) of the Town's Code of Ordinances, which limits the encroachment of docks / piles / boat lifts / etc. into the Golden Beach D5 triangle, which is determined by measuring 5' into the lot across the rear (waterfront) lot line and using 45 degree angles to create a triangle into the waterway. This is in addition to the Miami-Dade D5 triangle that is measured from the rear lot corners.

2) Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district.

The applicant states: "Yes - the existing dock was built in error by the marine contractor such that it crosses the Town's viewing triangle". No description of unique special conditions or circumstances of the land or the as-built structure is provided. In our opinion, an error is not a special condition or circumstance peculiar to the land or structure nor are they applicable to other lands in the same district. The lot is rectangular and not oddly shaped. The Town's adjoining public waterway where the dock improvement is located has no encumbrances that seem to have caused the "error". In our opinion there would be no financial impact to the owners to correct the "error" – the marine contractor has E&O insurance and would cover the full cost of the modification. While the encroachment could be deemed minor continued encroachments into Town's setbacks / waterway decreases views and boat mobility.

- 3) *The special conditions and circumstances do not result from the actions of the applicant.*

The applicant states: "Yes - the existing non-conforming dock was built in error by the marine contractor". The marine contractor was hired by the owners who are responsible for their agent's actions. It is not known if the owners were aware of the encroachment as it was being built, or even instructed the marine contractor to alter the improvements specified on the building permits.

- 4) *Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district.*

The applicant states: "Correct - the existing enlarged dock was installed by the contractor and removing / replacing it would create a significant financial burden to the current property owner." No description was provided addressing this issue. Allowing these improvements to remain could give a special privilege to this owner that are not enjoyed by others in the same district. In our opinion there would be no financial impact to the owners to correct the "error" – the marine contractor has E&O insurance and would cover the full cost of the modification.

- 5) *Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.*

The applicant states: "Correct - waterside variances are common in this community." No description or identification of similar encroachments or variances was provided addressing this issue. In our opinion, there would no deprivation of rights enjoyed by others nor creation of undue hardship – the encroachment is self-created. MMPA is not aware of other docks encroaching into the D5 setbacks. Unfortunately, a few owners / contractors build improvements and request relief afterward – not all are approved. In our opinion, the Town needs to be cognizant of illegal construction and set a precedent to correct items, so this does not keep occurring. There is no cost to the owners to correct the structure – the contractors have E& O insurance.

- 6) *The variance granted is the minimum variance that will make possible the reasonable use of the land or structure.*

The applicant states: "Yes - the property owner is requesting an after-the-fact approval of a dock that was installed crossing the Town's viewing triangle." No description was provided addressing this question or stating why this variance is the minimum necessary to have reasonable use of the land or structure. The owner's original design / approved BRAB plans / building permit plans provided that. Adjusting the dock to comply with the Code requirements would not diminish the use of the dock – which is on public land.

- 7) *The granting of the variance will be in harmony with the general intent and purpose of the Town Code and the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

The applicant states: "Correct – No navigational impacts and matches the style and design of neighboring properties." MMPA is not aware of other docks commonly encroaching into the D5 setbacks. No evidence was provided attesting to this was provided. Therefore, this encroachment would not really match the style and design of other docks in the community. The D5 triangles have nothing to do with navigation – they are for sight visibility for neighboring properties on waterfront lots.

SUMMARY

MMPA was requested to review and comment on this non-use variance for an after-the-fact dock encroachment constructed into the required Golden Beach D5 triangles on each side of the dock. In 2017 the Town granted variances for a pre-existing seawall encroachment and a new concrete dock. Building permits were issued for the new dock in accordance with the approved plans. It is unknown why the new dock was built encroaching into the minimum setbacks or why it was signed-off without an as-built survey verifying its location. It is unknown if the "error" that occurred was innocent or it was believed the Town would not catch the encroachment or require modifications. While this could be viewed as an insignificant encroachment, such activities undermine the Town's global efforts for high-quality planned development / community desirability (open view vistas / uncrowded appearance / adherence to rules). The request is based solely on an explanation that the marine contractor made an "error" and there might be a financial burden on the owners. In our opinion, there would be no financial impact to the owners to correct the "error" – the marine contractor has E&O insurance and would cover the full cost of the modification.



TOWN OF GOLDEN BEACH NOTICE OF PUBLIC HEARING

The **Building Advisory Board** and the **Town Council** of the Town of Golden Beach will hold a Public hearing on the following proposal:

Variance Request(s)
 Accessory Structures

After the Fact

Approval for a dock constructed at 53'8" in length, instead of the approved dock size length of 46'8".

Relief from Town Code Section 46-87 – Proximity of Lot Lines

(b) No portion of a dock, boat lift, hydro hoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows: (1) the base of the D5 triangle for all lots is set back five feet inside each of the side property lines.

The applicants request is to allow the dock to remain as constructed at 53'8" which protrudes outside the D5 Triangle. Instead of the Town's approved dock plan length of 46'8" which is within the D5 Triangle.

JOB ADDRESS: 386 Golden Beach Drive, Golden Beach, FL. 33160
OWNER ADDRESS: 386 Golden Beach Drive, Golden Beach, FL. 333160
REQUESTED BY: Volodymyr Symonenko and Oksana Kirpenko
LEGAL DESCRIPTION: N ½ of Lot 48, all of Lot 49, Block G, GB Sect E, PB 8-122
FOLIO NO.: 19-1235-005-0720

The **BUILDING ADVISORY BOARD** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL
DATE: SEPTEMBER 10, 2019 at 6pm

The **TOWN COUNCIL** will consider this item:

PLACE: GOLDEN BEACH TOWN HALL
1 GOLDEN BEACH DR., GOLDEN BEACH, FL.
SEPTEMBER 17, 2019 at 7pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744

DATED: August 28, 2019


LINDA EPPERSON, DIRECTOR BUILDING & ZONING

PURSUANT TO FLA. STATUTE 286 0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

Linda Epperson

From: Melinda Almonte <scarveyalmonte@bellsouth.net>
Sent: Tuesday, August 13, 2019 12:09 PM
To: Linda Epperson
Subject: RE: ~~399~~ Golden Beach Drive Variance

386 3

Thanks Linda. I will be contesting the variance request from 386 Golden Beach Drive also on September 10, 2019 regarding their 7 feet violation of the Town's Rules. Melinda Almonte

From: Linda Epperson [mailto:LEpperson@goldenbeach.us]
Sent: Tuesday, August 13, 2019 9:34 AM
To: 'Melinda Almonte' <scarveyalmonte@bellsouth.net>
Subject: RE: 399 Golden Beach Drive Variance

Good Morning Ms. Almonte:

I just left a message on your phone to let you know that we lost the quorum to hear the Variance request for 399 Golden Beach Drive and it will have to be moved to the next Building Advisory Board meeting date of September 10, 2019. Should things change I will notify you immediately.

Regards

Linda Epperson
Director, Building & Zoning
Town of Golden Beach
1 Golden Beach Drive
Golden Beach, FL. 33160
(305) 932-0744 extension 222
(305) 933-3825, facsimile
lepperson@goldenbeach.us

From: Melinda Almonte [mailto:scarveyalmonte@bellsouth.net]
Sent: Wednesday, July 31, 2019 3:46 PM
To: Linda Epperson <LEpperson@goldenbeach.us>
Cc: Alexander Diaz <AlexDiaz@goldenbeach.us>
Subject: 399 Golden Beach Drive Variance

Dear Ms. Epperson and Mr. Diaz, This is Melinda Almonte at 395 Golden Beach Drive, the south neighbor of 399 Golden Beach Drive I am absolutely opposed to the variance requested by the owner of the property. It will be a large eye sore at the entrance of our community infringing on 9 feet of land that should have a setback on the north curve and almost 2 feet on the south front side. I don't accept that infringement. The house structure itself is already at the maximum building capacity for setback requirements. It is not a good look for the town to then violate the setback rules. We start to look like a community of large town homes I object on my own behalf and for other residents who follow the building codes. Sincerely, Melinda Almonte

 2019

AUG 13 2019

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

**TOWN OF GOLDEN BEACH
APPLICATION FOR**

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 386 Golden Beach Dr. Meeting Date: _____
Variance Hearing Dates: Advisory Board _____ Town Council _____

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Building Approval:

Applicant: submit 8 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 7 sets; 11" x 17", 1 full size set and 1 CD containing all drawings marked with the address. Separate from the landscaping plan submittal

Landscape Approval:

Applicant submit, separate from the Building application, 8 complete packages for approval. Each package shall consist of an application, existing landscape survey, and drawings as required. The plans shall be sized as follows: 7 sets; 11 x 17, 1 full size set and 1 CD containing all drawings separate from the building plan submittal.

Zoning Variance Approval:

Submittals for a zoning variance: submit 8 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 15 sets; 11" x 17", 1 full size set and 1 CD containing all drawings.

As directed by the Building Official or Building Director.

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 30 days, prior to scheduled meeting, (not including the day of the meeting), by 2:00 P.M. that day to allow for preliminary review and for mailing of a public notice if a variance is requested.

Fees must be paid at time of application submittal.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

Please see page 5 for required documents.

****NOTICE****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL ITEMS ON PAGE 5. THANK YOU.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

1. The application deadline date will be strictly complied with. No application shall be accepted after that date and time.
2. The Building Official and/ or the Building Director will review the application package. If it is determined that the application is incomplete, the item will be tabled and not placed on the Agenda for that month.
3. During the three (3) week period from deadline date to the hearing date, the following events shall take place in proper order:
 - a. During the first week of submittal, the Building Official, or agent will endeavor to review the application, and complete a comment sheet 15 days prior to the meeting. The critique sheet will specify all deficiencies for correction.
 - b. The critique sheet will be faxed, or emailed, to the applicant as soon as the review is completed.
 - c. If the deficiencies are substantial the application will be moved to the next scheduled meeting/hearing of the B.R.A.B.
 - d. If the deficiencies are minor, the applicant must submit the corrections including the revised paperwork within 5 days of the scheduled meeting/hearing. Corrections not received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
4. A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
5. During the third week all applications with plans and documents shall be properly arranged. One complete copy of the package will be given to the processor and the Friday, prior to the scheduled meeting one set will be delivered to each Board member. The Building Dept shall retain all originals for the records.
6. All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
7. After the meeting, three (3) copies of the approved items (one full size and 2 ledger) shall be retained by the building department, the applicant must request the two reduced sized sets for inclusion into the building permit package.

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>
1. Residence (new construction).....	\$300.00
2. Addition/Remodel of existing structure.....	\$225.00
3. Fencing, site walls, driveways, pool decks (charged per each item included in the plans)	\$150.00
4. Accessory Building or Structure.....	\$150.00
5. Swimming pools.....	\$100.00
6. Pool deck.....	\$100.00
7. Docks.....	\$100.00
8. Boat Lifts.....	\$100.00
9. Carports, awnings.....	\$100.00
10. Landscape plan review; required for new construction, addition and remodeling project. (submit plans with site plan elevations separate from the building plan approval package)	\$300.00
11. Resubmissions, based on original fee paid...	75.0%
12. Zoning Variances and special exceptions, per variance or exception:	
a. First variance/ exception.	\$750.00
b. Per additional variance/exception, for the same initial varaince (example: request for a dock, affecting two different codes	
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records	
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void	
13. Request to the Board for verification of any section of the Zoning Code, For each Section to be verified.....	\$100.00

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

14. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

15. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the seconded time period

\$250.00

**TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING**

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
	<p>If a zoning variance is applied for, the petition for variance, pages 9, 10 and 11 shall be submitted with the application and shall include:</p> <ul style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
	<p>Eight (8) property surveys, building plans, Warranty Deeds, and applications (1 original, 7 copies). Survey not older than six (6) months. Completed sets are to be submitted as follows: Seven (7) copies no larger than 11" x 17" & 1 original at full size. Sixteen (16) copies are required for a variance, (15 copies no larger than 11" x 17" and 1 original at full size). Each completed package shall consist of 1 each of an application, survey, Warranty Deed and building plans. Submit 1 CD with all documents included</p>	
	<p>Conceptual construction drawings prepared and signed by a licensed design professional that shall include, at a minimum, the following:</p> <ul style="list-style-type: none"> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Proposed Floor Plan views, at a scale not less than 1/4"=1'-0" c. Cross and longitudinal sections preferably through vaulted areas, if any. d. Typical exterior wall cross section. e. Full elevations showing flat roof and roof ridge height and any other higher projections. f. Sample board of construction materials to be used. g. Existing and proposed ground floor elevations (NGVD). h. Grading & Drainage Calculations i. Zone 3 Properties: Affidavit of Seawall Conformity 	
	<p>Landscaping Plan, separate from building plan package, prepared and signed by a licensed landscape design professional: Each completed package shall consist of 1 each of an application, existing landscape survey, Warranty Deed, landscape plans with building site plans. Seven (7) 11 x 17 and One (1) full size set. Submit 1 CD with all documents included. Mark CD accordingly (separate from building)</p>	
	<p>First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.</p>	
	<p>Colored rendering showing new or proposed addition Work marked with the applicable address.</p>	
	<p>Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.</p>	
	<p>Site plan detailing construction site personnel parking.</p>	

**TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING**

Request hearing in reference to: _____ Application fee: _____
New residence/addition: _____ Variance(s): _____
Exterior alterations: After the fact dock. _____ Other Structure: _____
Date application filed: _____ For hearing date: _____

1. **Project information:**
Project description: Approval of an after the fact dock that was installed crossing the
Town of Golden Beach viewing triangle.
Legal Description: GOLDEN BEACH SEC E PB 8-122 N1/2 OF LOT 48 & LOT 49 BLK G
LOT SIZE 75 X 175
Folio #: 19-1235-005-0720
Address of Property: 386 Golden Beach Dr.

2. Is a variance(s) required: Yes _____ No How Many? _____
(If yes, please submit variance application form for each request).

Owner's Name: Ms. Oksana Kirpenko Phone _____ Fax _____
Owner's address: 386 Golden Beach Dr. City/State Golden Beach, FL Zip 33160
Email address: _____

Agent: Ocean Consulting, LLC c/o Mr. Kirk Lofgren Phone (305) 921-9344 Fax _____
Agent's address: 340 Minorca Ave Suite 7 City/State Coral Gables, FL Zip 33134
Email address: kirk@oceanconsultingfl.com; justina@oceanconsultingfl.com

Architect: _____ Phone _____ Fax _____
Email address: _____

Contractor: Southeast Marine Construction Phone (954)- 630-2300 Fax (954) 630-2381

3. Describe project and/ or reason for hearing request: _____
Approval of an after the fact dock that was installed crossing the Town of Golden Beach
viewing triangle.

4. The following information is submitted for assisting in review:
Building Plans:
Conceptual: _____ Preliminary: _____ Final: _____
Other: _____

5. Estimated cost of work: \$ 53,100.00
Estimated market value of: _____ Land \$ _____
Building \$ _____
(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

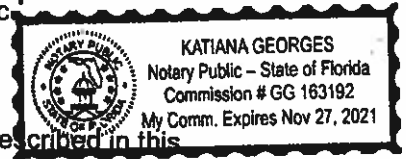
6. Is hearing being requested as a result of a Notice of Violation? No
7. Are there any structures on the property that will be demolished? No
8. Does legal description conform to plat? Yes.
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): *[Signature]*

Acknowledged before me this 15th day of, 20 19

Type of identification:
FL Driver's License.
K615-640-70-6670.

[Signature]
Notary Public



Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: 386 Golden Beach Dock Variance relative to my property and I am hereby authorizing Ocean Consulting LLC, c/o Mr. Kirk Lofgren to be my legal representative before the Building Regulation Advisory Board and Town Council.

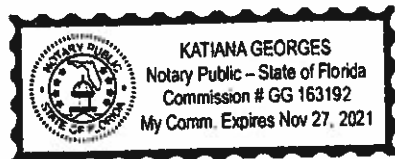
[Signature]
Signature of owner(s)

Acknowledged before me this 15th day of February 20 19

Type of identification:
FL Driver's License
K615-640-70-6670.

[Signature]
Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.



TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 386 Golden Beach Dr.
Legal Description: GOLDEN BEACH SEC E PB 8-122 N1/2 OF LOT 48 & LOT 49 BLK G
Owner's Name: Ms. Oksana Kirpenko Phone _____ Fax _____
Agent's Name: Ocean Consulting, LLC Phone (305) 921-9344 Fax _____
Board Meeting of: _____

- NOTE: 1. **Incomplete applications will not be processed.**
2. Applicant and/or architect must be present at meeting.

Application for: Approval of an after the fact dock that crosses the Town of Golden Beach viewing triangle.
Lot size: 75'-x175'
Lot area: 13,125 sq. ft.
Frontage: _____
Construction Zone: Over-water
Front setback: _____
Side setback: _____
Rear setback: _____
Coastal Construction: Yes No _____ East of coastal const. control line: Yes _____ No
State Road A1A frontage: _____
Swimming pool: _____ Yes _____ No _____ Existing: _____ Proposed: _____
Fence Type: _____ Existing: _____ Proposed: _____
Finished Floor elevation N.G.V.D.: _____
Seawall: _____ Existing: _____ Proposed: _____
Lot Drainage: _____
How will rainwater be disposed of on site? _____

Adjacent use (s): _____
Impervious area: _____
% of impervious area: _____
Existing ground floor livable area square footage: _____
Proposed ground floor livable area square footage: _____
Existing 2nd floor livable area square footage: _____
Proposed 2nd floor livable area square footage: _____
Proposed % of 2nd floor over ground floor: _____
Vaulted area square footage: _____
Vaulted height: _____
Color of main structure: _____
Color of trim: _____
Color & material of roof: _____
Building height (above finished floor elevation): _____
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum): _____

Existing trees in Lot: _____ in Swale: _____
Proposed trees in Lot: _____ in Swale: _____
Number & type of shrubs: _____
Garage Type: _____ Existing: _____ Proposed: _____
Driveway width & type: _____

Signature of Applicant:  Date: 2/15/19

TOWN OF GOLDEN BEACH
ACKNOWLEDGEMENT and AFFIDAVIT BY OWNER
Chapter 46 Waterways of the Code of Ordinances
Article IV Seawalls and Docks.

Affidavit by Owner:

Folio No.: 19-1235-005-0720

Address: 386 Golden Beach Dr.

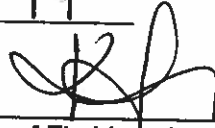
Legal Description: GOLDEN BEACH SEC E PB 8-122 N1/2 OF LOT 48 & LOT 49 BLK G

Being duly sworn, deposes and says: That He/She is the Owner named in the permit application for construction or other related work to be performed on, or in connection with, the premises, as indicated above, and is in agreement that granting of a permit for construction on said premises, agrees to repair, or replace said seawall in question, to a conforming 4 foot elevation and to replace/and or repair any deteriorated seawall or portion thereof, as required by the Town's Code of Ordinances, Article IV "Seawalls and Docks, The Dept. of Environmental Resource Management, and the Florida Building Code 2010.



Signature of Owner or Legal Representative
Print Name: Ms. Oksana Kirpenko

Sworn to and subscribed before me this 15th day of, 20 19

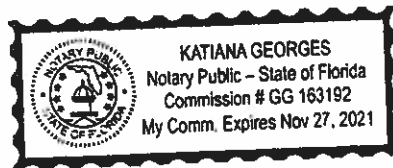


Notary Public State of Florida at Large

 Personally know to me

Produced Identification

FL Driver's License.
#615-640-70-667-0.



TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: _____

Fee: _____

I, Ms. Oksana Kirpenko hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 386 Golden Beach Drive Folio No. 19-1235-005-0720

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of **(list section number(s) of the Town of Golden Beach Code of Ordinances)**: Town Code Section 46-84 to allow the existing dock to cross the Town of Golden Beach viewing triangle.

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):
 - a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Yes. Confirmed.

 - b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. Yes. The existing dock was installed in error by the marine contractor, such that it crosses the Town of Golden Beach viewing triangle.

 - c. The special conditions and circumstances do not result from the actions of the applicant. Correct. The existing, non-conforming dock was installed in error by the marine contractor.

 - d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. Correct. The existing, enlarged dock was installed by the contractor and removing and replacing the dock would create a significant financial burden to the current property owner.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. Correct. Waterside variances are common in this waterway.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Yes. The property owner is requesting an after-the-fact approval of a dock that was installed crossing the Town of Golden Beach viewing triangle.

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Correct. No navigational impacts and matches the style and design of neighboring properties.

Does the Variance being requested comply with all the above listed criteria?
 Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No.
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? Yes No

8. Is construction in progress? No

9. Is this request as a result of a code violation? Yes, the Town is requiring approval for the existing, enlarged dock.

10. Did this condition exist at the time property was acquired? Yes No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No

12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-005-0720 Address: 386 Golden Beach Drive

Legal Description: GOLDEN BEACH SEC E PB 8-122 N1/2 OF LOT 48 & LOT 49 BLK G
LOT SIZE 75 X 175

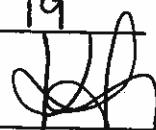
Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of _____ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

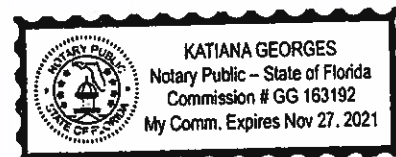

Signature of Owner or Legal Representative

Sworn to and subscribed before me this 15th day of, 20 19


Notary Public State of Florida at Large

____ Personally know to me

Produced Identification FL Driver's License
K615-640-70-6670



AUG 13 2019

APPROVED _____
DISAPPROVED _____
VARIANCE REQ: _____

CFN 2008R0941402
OR Bk 26657 Pg 31131 (1pg)
RECORDED 11/20/2008 09:21:19
DEED DDC TAX 12,600.00
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA
LAST PAGE

This Instrument was Prepared by:
Donald J. Kahn, Esq.
GREEN, KAHN & PIOTRKOWSKI, P.A.
317 71ST STREET
MIAMI BEACH, FLORIDA 33141

Grantee S.S. No.:
Name: VOLODYMYR SYMONENKO and

Property Appraiser's
Parcel Identification No.: 49-1235-005-0720

_____[Space Above This Line for Recording Data]_____

WARRANTY DEED (STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 18 day of November 2008 BETWEEN MEYER MINSKI and PATRICIA MINSKI, his wife, whose post office address is 16047 Collins Ave # 3203, Sunny Isles Beach, Florida 33160, of the County of Miami-Dade, State of Florida, grantor*, and VOLODYMYR SYMONENKO and and OKSANA KIRPENKO, his wife, whose post office address is 386 Golden Beach Drive, Golden Beach, Florida 33160, of the County of Miami-Dade, State of Florida, grantee*.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land situate, lying and being in MIAMI-DADE County, Florida, to-wit:

Lot 49 and the North 1/2 of Lot 48, Block "G", of SECTION "E" OF GOLDEN BEACH, according to the Plat thereof as recorded in Plat Book 8, at Page 122, of the Public Records of Miami-Dade County, Florida.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Signature: *[Handwritten Signature]*
Printed or Typed Name: Josephine A. Carozzi
Signature: *[Handwritten Signature]*
Printed or Typed Name: DONALD KAHN
Signature: *[Handwritten Signature]*
Printed or Typed Name: Josephine A. Carozzi
Signature: *[Handwritten Signature]*
Printed or Typed Name: DONALD KAHN

[Handwritten Signature] (Seal)
MEYER MINSKI
16047 Collins Ave # 3203, Sunny Isles Beach, Florida 33160

[Handwritten Signature] (Seal)
PATRICIA MINSKI
16047 Collins Ave # 3203, Sunny Isles Beach, Florida 33160

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

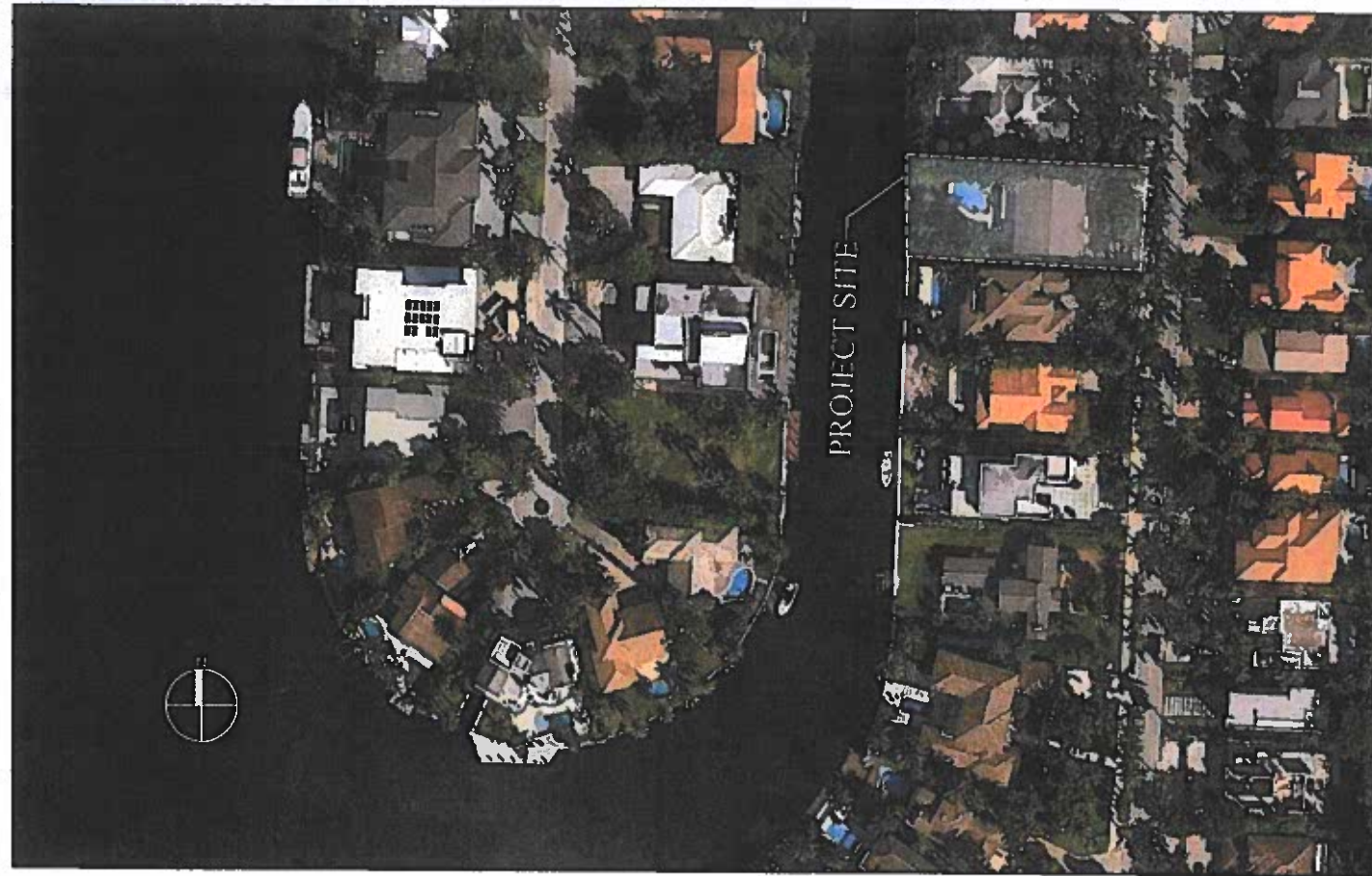
The foregoing Instrument was acknowledged before me this 18 day of November 2008, by MEYER MINSKI and PATRICIA MINSKI who is personally known to me or have produced _____ as identification and did (did not) take an oath.

My Commission Expires: NOTARY PUBLIC-STATE OF FLORIDA
Josephine A. Carozzi
Commission # DD564186
Expires: JUNE 14, 2010
BONDED THROUGH ATLANTIC BONDING CO., INC.

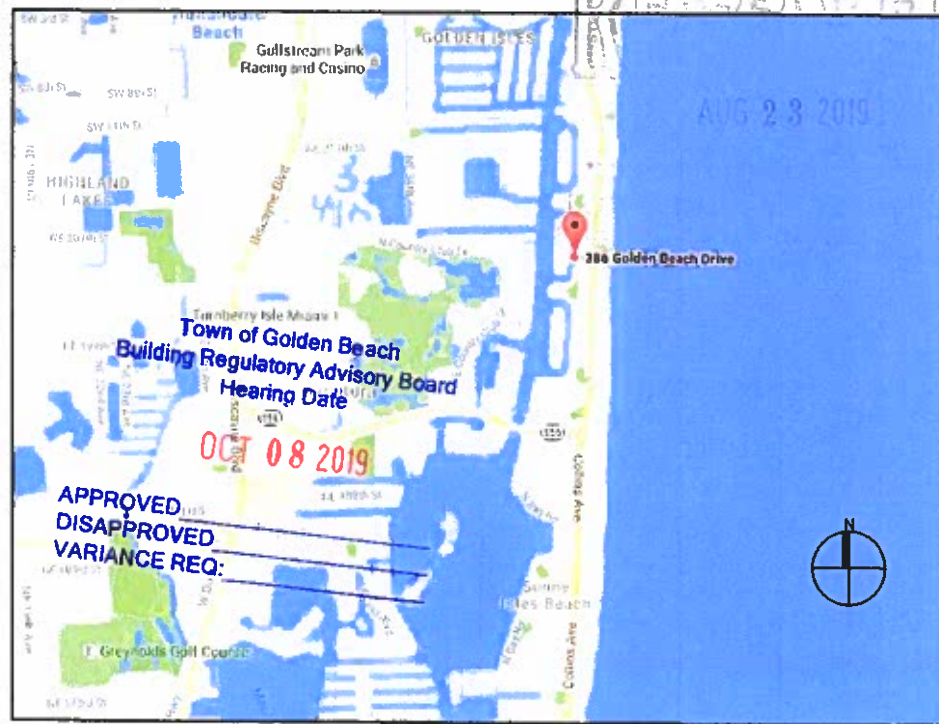
[Handwritten Signature]
Notary Public

Printed, typed or stamped name

22-F-781-001 (rev. 12/00)



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
386 Golden Beach Dr.
Golden Beach, FL 33160

LATITUDE: 25°57'56.21"N
LONGITUDE: 80° 7'17.37"W

FOLIO No.: 19-1235-005-0720

LEGAL DESCRIPTION:

GOLDEN BEACH SEC E PB 8-122

N1/2 OF LOT 48 & LOT 49 BLK G

LOT SIZE 75.000 X 175

OR 17041-3771 1295 4 (CORR DEED)

CU-2016-0292 MOD
**RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**

NAME: SUMT
DATE: 8/23/19

GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2017 EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

BOLTS

- ALL BOLTS SHALL BE STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 PRESSURE TREATED SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

DOCK: LL 60 PSF

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED MINIMUM 15 TON. BEARING CAPACITY FOR WOOD PILES, AND 25 TON. FOR CONCRETE PILES.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

386 GOLDEN BEACH DR. DOCK MODIFICATION PROJECT

Golden Beach, Florida

CLIENT:

Ms. Oksana Kirpenko

386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:

OCEAN

CONSULTING, LLC

340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

**SOUTH EAST MARINE
CONSTRUCTION**

404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381

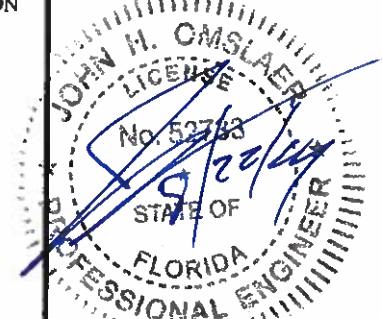
License # CGC060467

PROJECT ENGINEER:

**DYNAMIC ENGINEERING
SOLUTIONS, INC.**

351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



John Omslaer
PE 52733, CA 26829

PERMIT DRAWINGS

Issue # Issue Date

① June 12, 2019

PROJECT: 16-5850

PROJECT LOCATION & NOTES

SCALE: AS SHOWN
SHEET NO.

S-1



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
386 Golden Beach Dr.
Golden Beach, FL 33160

LATITUDE: 25°57'56.21"N
LONGITUDE: 80° 7'17.37"W

FOLIO No.: 19-1235-005-0720

LEGAL DESCRIPTION:

GOLDEN BEACH SEC E PB 8-122
N1/2 OF LOT 48 & LOT 49 BLK G
LOT SIZE 75.000 X 175
OR 17041-3771 1295 4 (CORR DEED)

GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2017 EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE. THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

BOLTS

- ALL BOLTS SHALL BE STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 PINE OR TREATED SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

DOCK: LL 60 PSF

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED MINIMUM 15 TON. BEARING CAPACITY FOR WOOD PILES, AND 25 TON. FOR CONCRETE PILES.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

386 GOLDEN BEACH DR. DOCK MODIFICATION PROJECT

Golden Beach, Florida

CLIENT:

Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:

OCEAN CONSULTING, LLC

340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

SOUTH EAST MARINE CONSTRUCTION

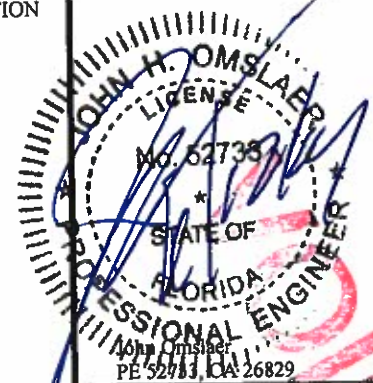
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:

DYNAMIC ENGINEERING SOLUTIONS, INC.

351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
①	June 7, 2019

PROJECT: 16-5850

PROJECT LOCATION & NOTES

SCALE: AS SHOWN
SHEET NO.

S-1

RECEIVED

AUG 23 2019

W. DENNIS... AND...

GARANE CANAL

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

OCT 08 2019

APPROVED
DISAPPROVED
VARIANCE REQ.

386 GOLDEN BEACH DR.
DOCK MODIFICATION
PROJECT

Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:

OCEAN
CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
SOUTH EAST MARINE
CONSTRUCTION

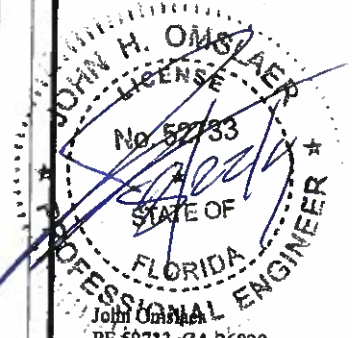
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:

DYNAMIC ENGINEERING
SOLUTIONS, INC.

351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

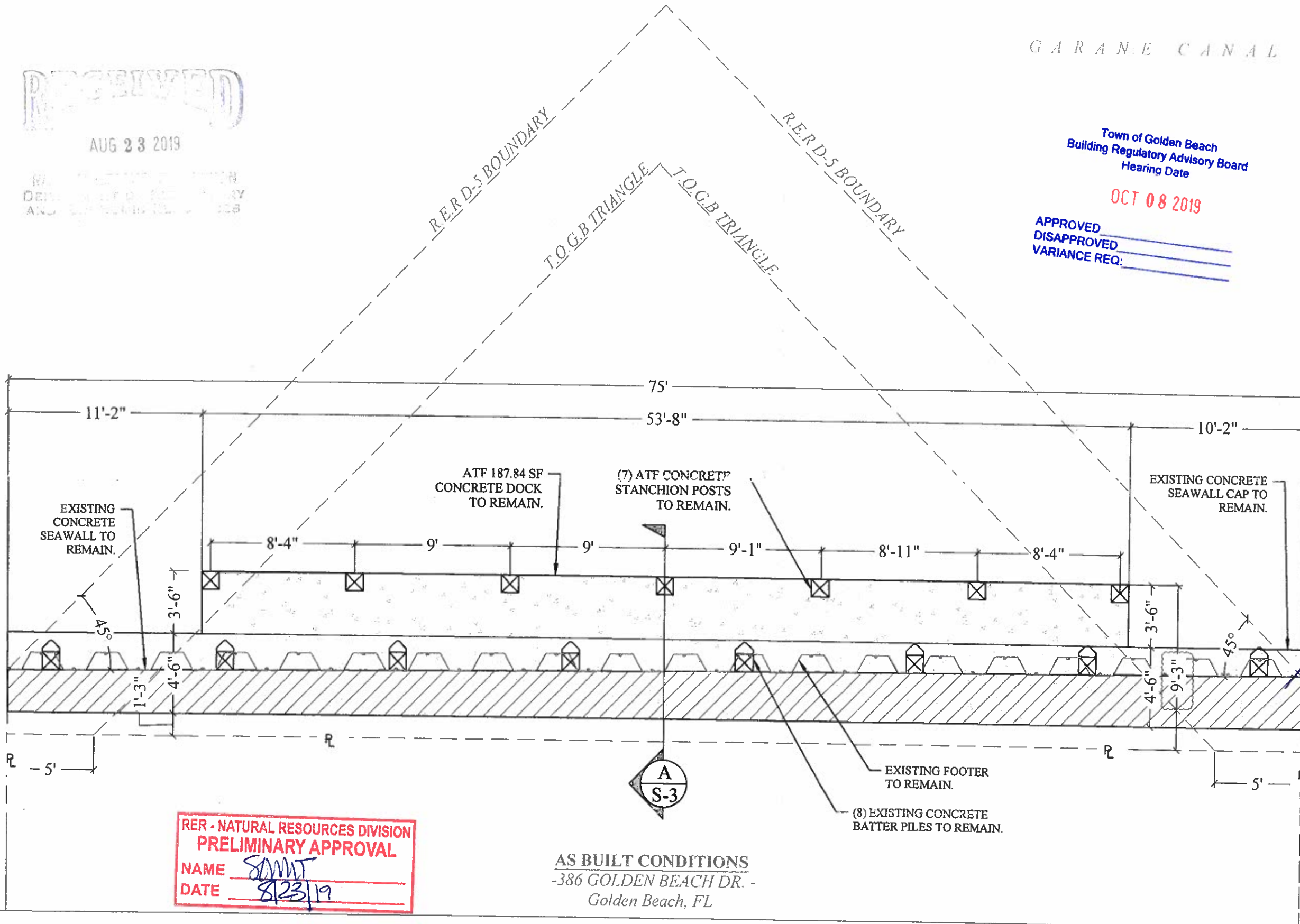
Issue #	Issue Date
①	June 12, 2019

PROJECT: 16-5850

AS BUILT CONDITIONS

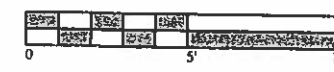
SCALE: AS SHOWN
SHEET NO.

S-2



RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: SMNT
DATE: 8/23/19

AS BUILT CONDITIONS
-386 GOLDEN BEACH DR. -
Golden Beach, FL



SCALE: 3/16" = 1"

Town of Golden Beach
Building Regulatory Advisory Board
Approval Date

VOID
JUN 13 2019

APPROVED
APPROVED
VARIANCE REQ:

GOLDEN BEACH

RECEIVED
JUN 17 2019

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

**386 GOLDEN BEACH DR.
DOCK MODIFICATION
PROJECT**

Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE

JOHN H. DMSLAER
LICENSE
NO. 52728
STATE OF
FLORIDA
REGISTERED PROFESSIONAL ENGINEER

PERMIT DRAWINGS

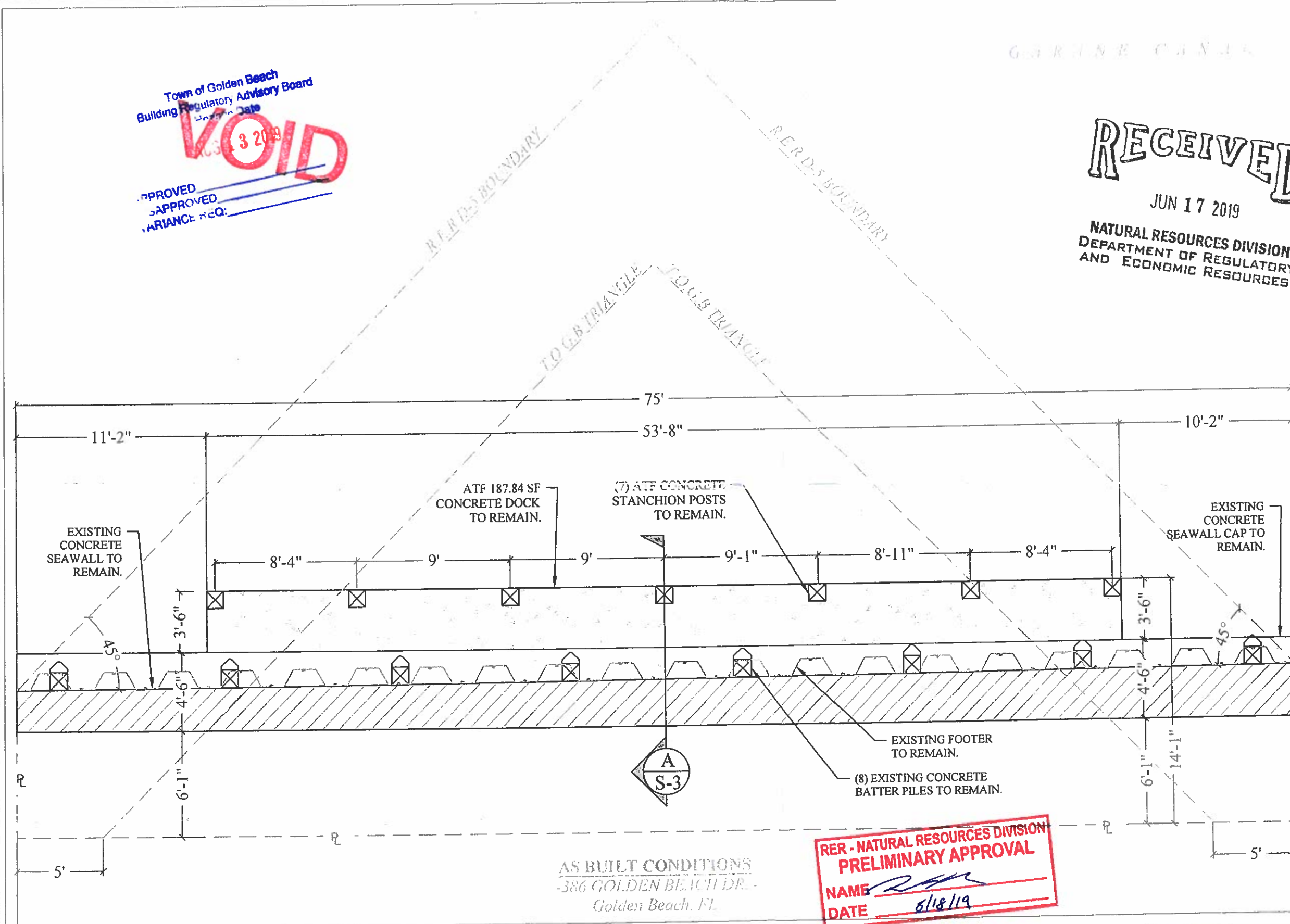
Issue #	Issue Date
①	June 7, 2019

PROJECT: 16-5850

AS BUILT CONDITIONS

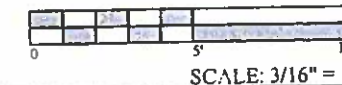
SCALE: AS SHOWN
SHEET NO.

S-2



AS BUILT CONDITIONS
-386 GOLDEN BEACH DR.-
Golden Beach, FL

**RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME RER
DATE 6/18/19



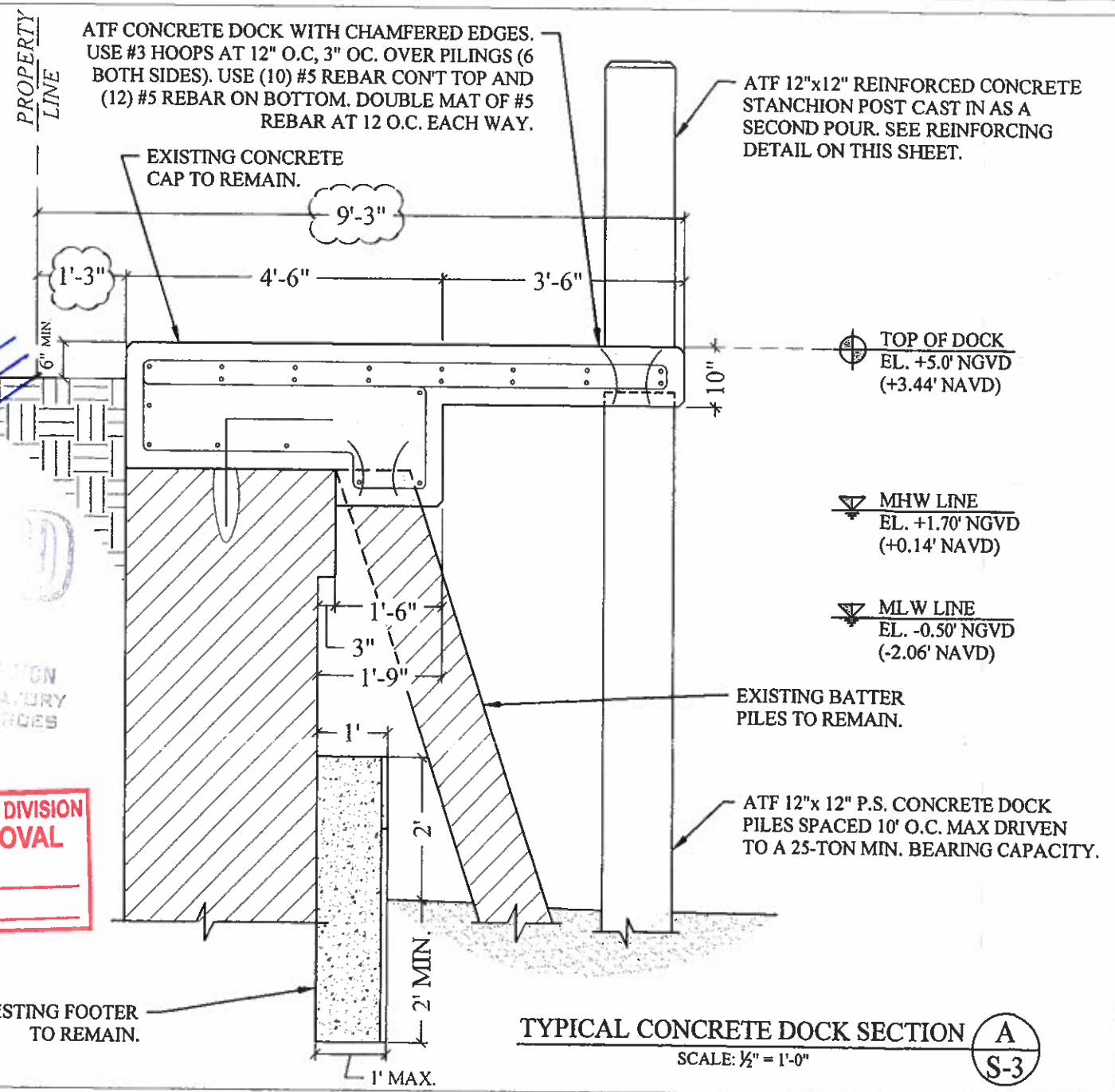
Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date
OCT 08 2019

APPROVED
DISAPPROVED
VARIANCE REQ.

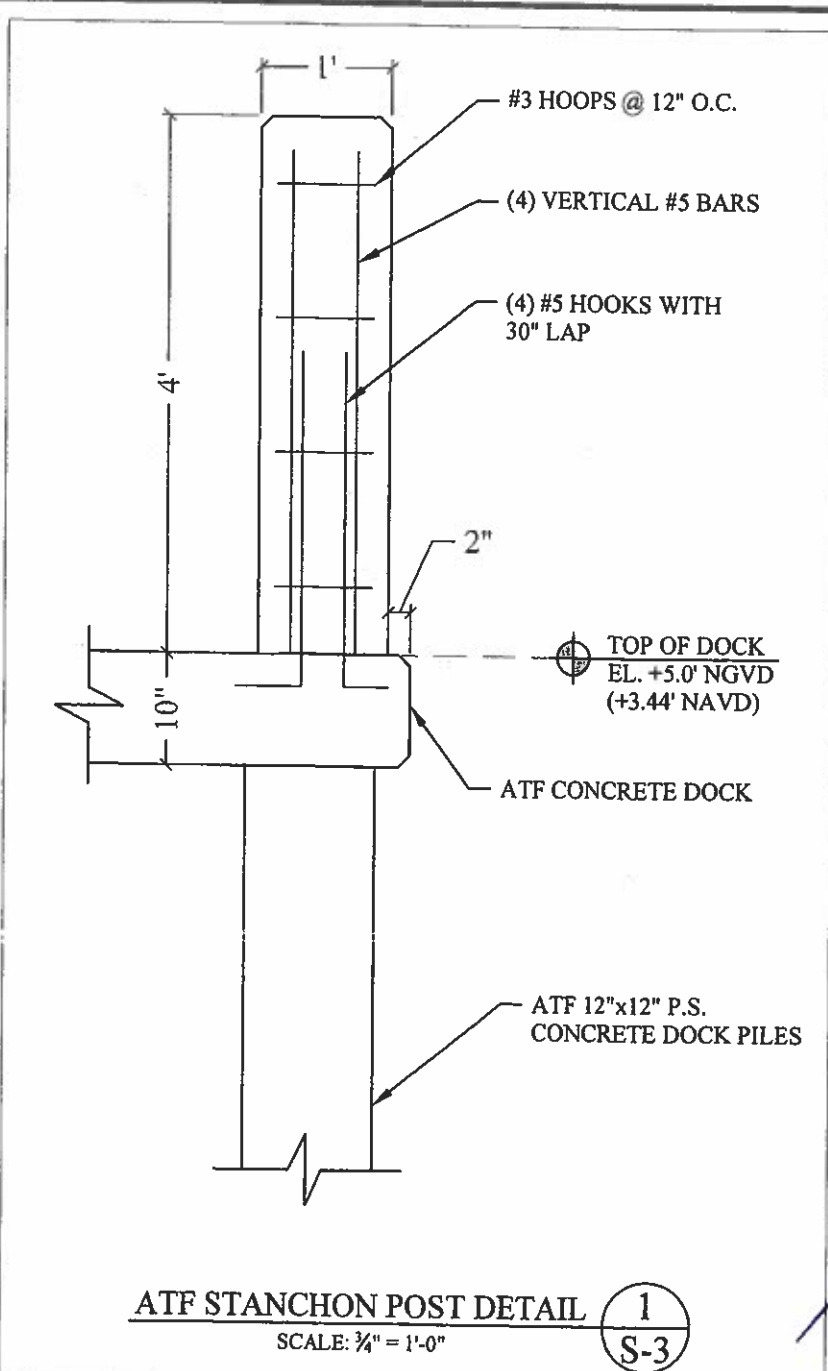
AUG 23 2019

DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

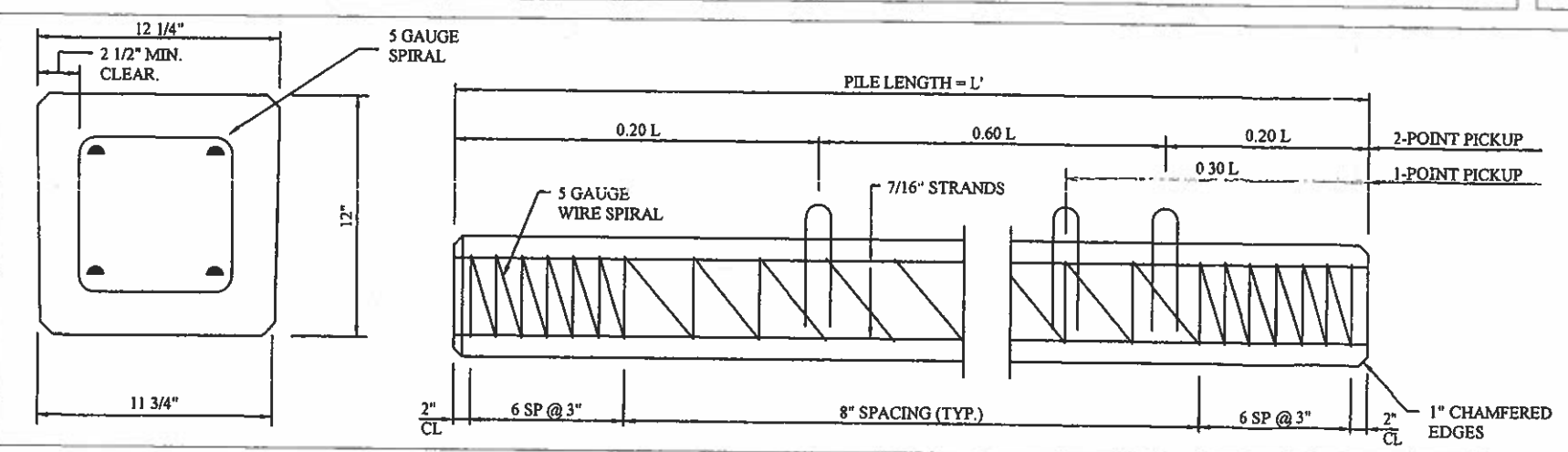
**NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME SOMPT
DATE 8/23/19



TYPICAL CONCRETE DOCK SECTION A
SCALE: 1/2" = 1'-0" (S-3)



ATF STANCHION POST DETAIL 1
SCALE: 3/4" = 1'-0" (S-3)



PILE NOTE:
CONCRETE COMPRESSIVE STRENGTH: 3000 PSI @ RELEASE, 5500 PSI @ DRIVING
SPIRAL TO BE ASTM A-82 TIGHT HARD-DRAWN WIRE
STRANDS - USE FOUR 7/16" (270K) LOW RELAXATION ASTM 416-87 UNCOATED 7-WIRE STRANDS TENSIONED TO 2.33 KIPS EACH
1-POINT PICKUP-MAXIMUM L = 50'
2-POINT PICKUP-MAXIMUM L = 62'

CONCRETE PILE DETAIL 2
NOT TO SCALE (S-3)

**386 GOLDEN BEACH DR.
DOCK MODIFICATION
PROJECT**
Golden Beach, Florida
CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160
ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254
CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467
PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE
JOHN H. OMSLAER
LICENSE
No. 52733
STATE OF
FLORIDA
REGISTERED PROFESSIONAL ENGINEER
John Omslaer
PE 52733, DB 30829

PERMIT DRAWINGS
Issue # Issue Date
① June 12, 2019
PROJECT: 16-5850
TYPICAL CONCRETE DOCK SECTION & PILE DETAIL
SCALE: AS SHOWN
SHEET NO.
S-3

**386 GOLDEN BEACH DR.
DOCK MODIFICATION
PROJECT**

Golden Beach, Florida

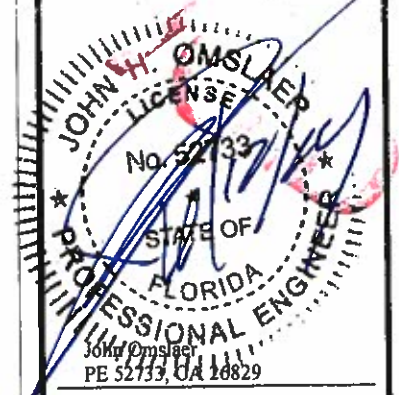
CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
351 S. Cypress Road, Suite 303
Pompano Beach, FL 33060
Office - 954-545-1740
Fax - 954-545-1721

SEAL / SIGNATURE / DATE

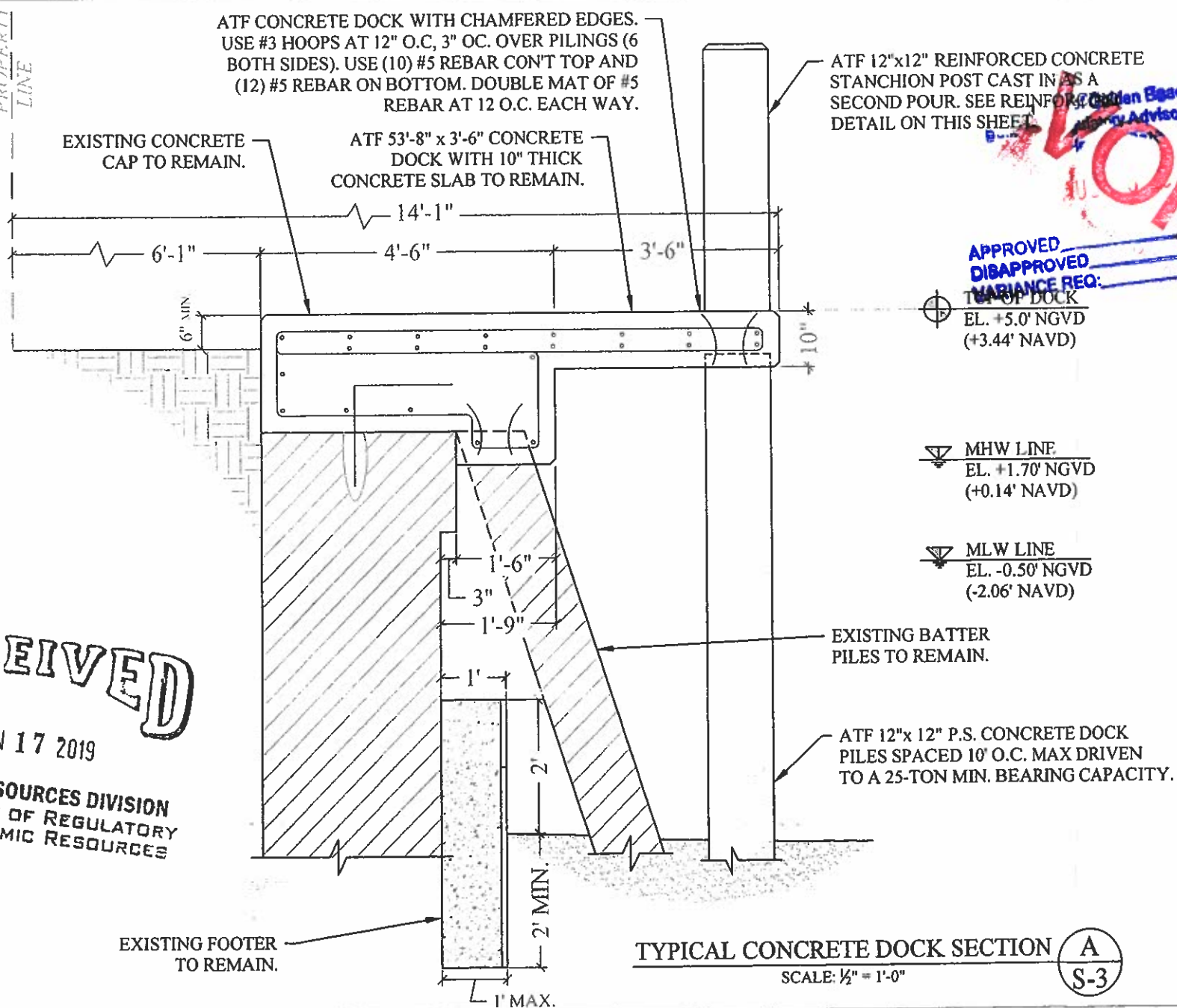


PERMIT DRAWINGS

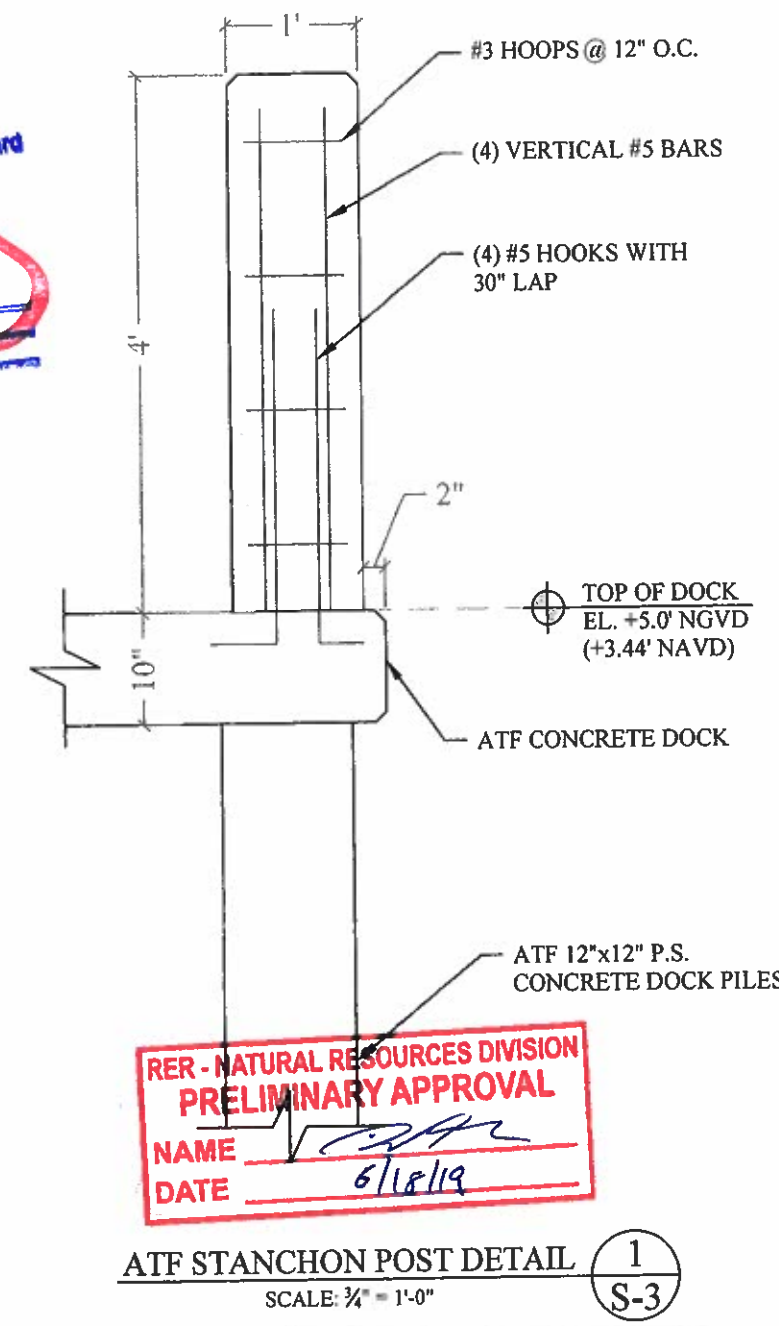
Issue #	Issue Date
①	June 7, 2019

PROJECT: 16-5850
TYPICAL CONCRETE
DOCK SECTION
&
PILASTER DETAIL
SCALE: AS SHOWN
SHEET NO.

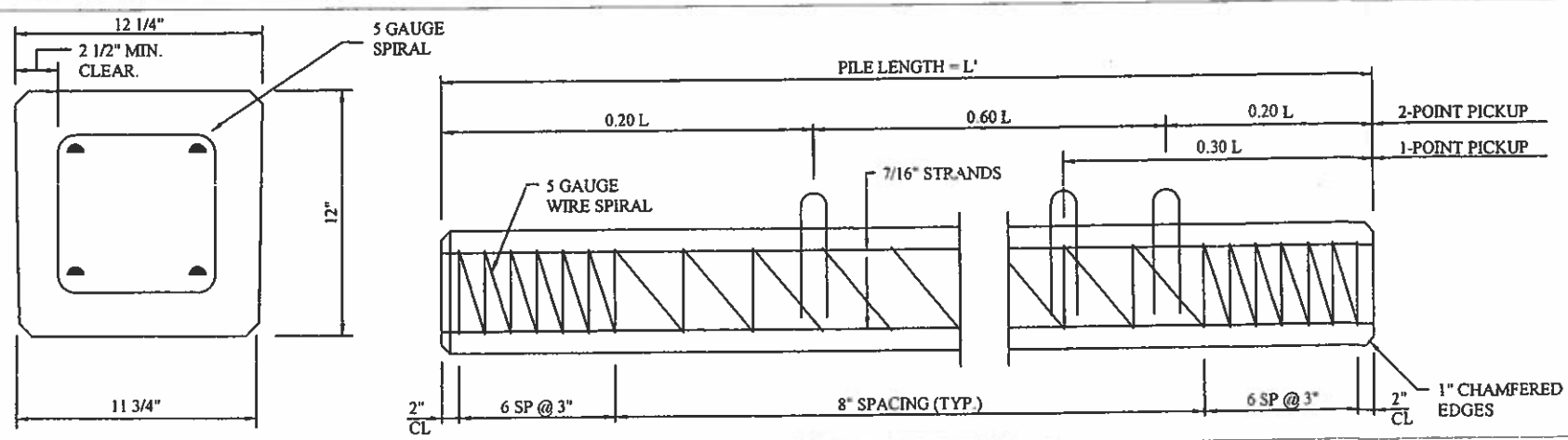
S-3



TYPICAL CONCRETE DOCK SECTION (A)
SCALE: 1/2" = 1'-0"



ATF STANCHION POST DETAIL (1)
SCALE: 3/4" = 1'-0"



CONCRETE PILE DETAIL (2)
NOT TO SCALE

PILE NOTE:
CONCRETE COMPRESSIVE STRENGTH:
3000 PSI @ RELEASE
5000 PSI @ DRIVING
SPIRAL TO BE ASTM A-82 TIGHT
HARD-DRAWN WIRE
STRANDS - USE FOUR 7/16" (270K)
LOW RELAXATION ASTM 416-87 UNCOATED
7-WIRE STRANDS TENSIONED TO 2.33 KIPS
EACH
1-POINT PICKUP-MAXIMUM L = 50'
2-POINT PICKUP-MAXIMUM L = 62'

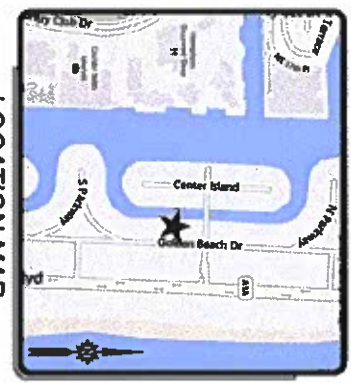
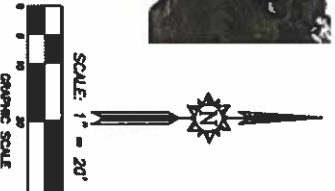
RECEIVED
JUN 17 2019
NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES

APPROVED
DISAPPROVED
VARIANCE REQ.

SKETCH OF BOUNDARY AND TOPOGRAPHIC SURVEY OF:

386 GOLDEN BEACH DR., GOLDEN BEACH, FL

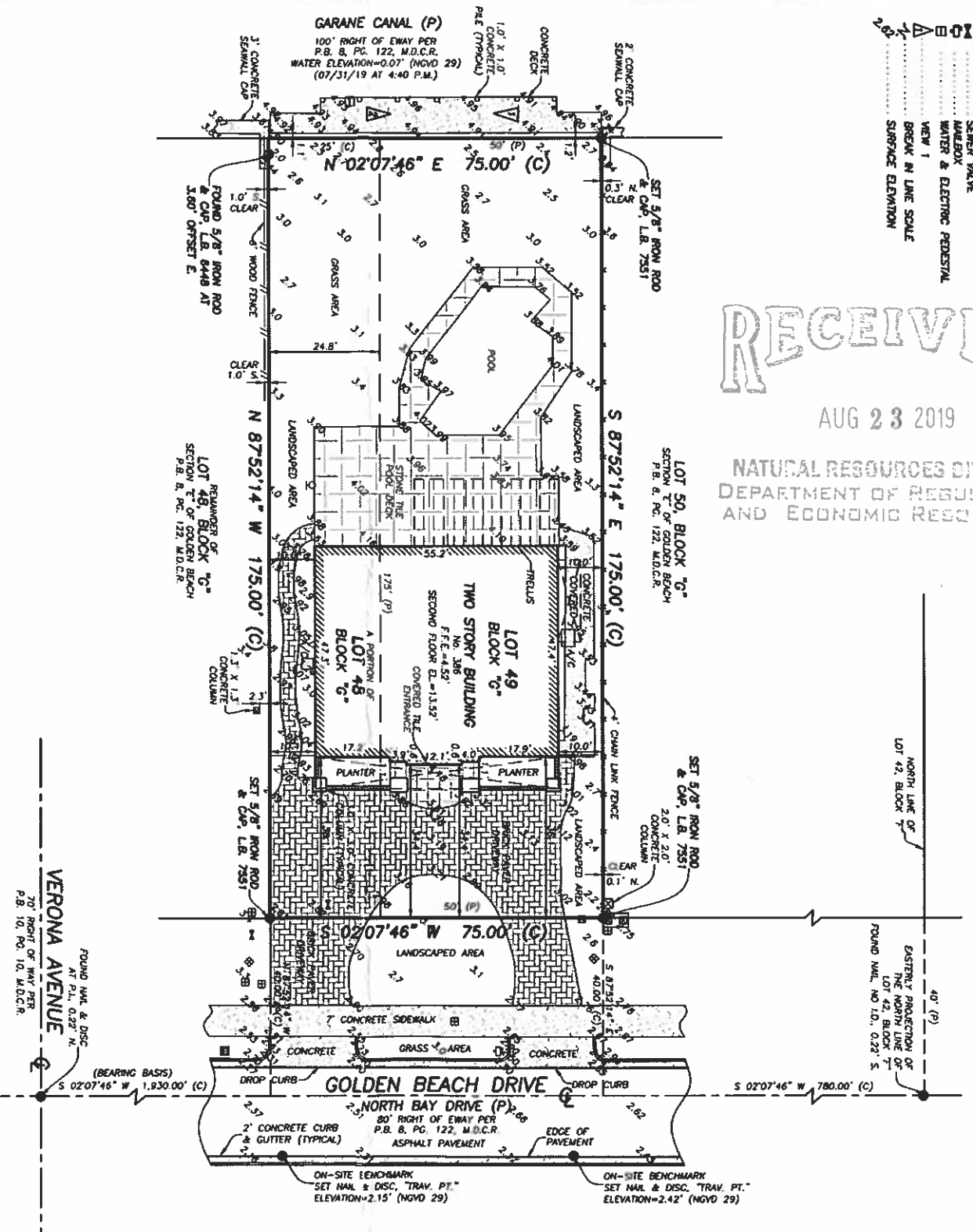
- LEGEND:**
- M.D.C.R. ... MAN-MADE COUNTY RECORDS
 - L.B. ... LICENSED BUSINESS
 - D. ... DEMONSTRATION
 - P.B. ... PLAT BOOK
 - P.C.S. ... PROJECTS
 - A/C. ... AIR CONDITIONING UNITS
 - P.L. ... POINT OF INTERSECTION
 - TRAV. PT. ... TRAVEL INFORMATION BASED
 - (P) ... DEVIATES INFORMATION BASED
 - (C) ... CALCULATED
 - F.F.E. ... FINISHED FLOOR ELEVATION
 - (C) ... CENTERLINE
 - NAD 29 ... NATIONAL GEODETIC VERTICAL DATUM OF 1929
 - CATCH BASIN
 - WIRE PULL BOX
 - TELEPHONE BOX
 - WATER METER
 - ELECTRICAL METER
 - SEWER VALVE
 - MAILBOX
 - WATER & ELECTRIC PEDESTAL
 - VIEW 1
 - BREAK IN LINE SCALE
 - SURFACE ELEVATION



RECEIVED

AUG 23 2019

NATURAL RESOURCES DIVISION
DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES



LEGAL DESCRIPTION:
LOT 49 AND THE NORTH 1/2 OF LOT 48, BLOCK "G", OF SECTION "E" OF GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 122, OF THE PUBLIC RECORDS OF MANA-DADE COUNTY, FLORIDA.

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 31-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RESSD SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF S. 02°07'46" W. ALONG THE CENTERLINE OF GOLDEN BEACH DRIVE AND REFER TO THE FLORIDA STATE PLANE COORDINATES SYSTEM, EAST ZONE, 1983 (1980) ADJUSTMENT.
3. THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONES AE, ELEVATION=7' (NGVD 29), AS SHOWN IN FLOOD INSURANCE RATE MAP NUMBER 12086C 0153 L, COUNTY MAP NUMBER 1206-42, TOWN OF GOLDEN BEACH, MANA-DADE COUNTY, FLORIDA, MAP REVISED DATE, SEPTEMBER 11, 2009.
4. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
5. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
6. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY ECS LAND SURVEYORS, INC. ECS HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (PAPER) BEARS THE RESSD SURVEYOR'S CERTIFICATION SEAL. IF APPLICABLE TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON. TO FURTHER ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON, ECS HAS TAKEN REASONABLE STEPS TO VERIFY THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR RECEIVED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT ECS LAND SURVEYORS DIRECTLY FOR VERIFICATION OF ACCURACY.
7. THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
8. THE PROPERTY SHOWN HEREON CONTAINS 13,125 SQUARE FEET (0.30 ACRES), MORE OR LESS.
9. OWNERSHIP OF WALLS OR FENCES WAS NOT DETERMINED.

SURVEY NOTES:

10. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION OR EXCAVATION, CONTACT FLORIDA STATE ONE CALL OF FLORIDA (1-800-432-4170) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES. THIS SURVEY IS LIMITED TO ABOVEGROUND FEATURES ONLY.
 11. TREES, HERBES, ORNAMENTAL PLANTS, IRRIGATION LINES, WELLS AND SPRINKLER HEADS (IF ANY), NOT LOCATED OR SHOWN HEREON.
 12. ECS LAND SURVEYORS, INC. DID NOT SEARCH THE PUBLIC RECORDS OF MANA-DADE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 13. ADDITIONS OR DELETIONS TO SURVEY LINES OR RECORDS BY OTHER THAN THE SURVEYING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYING PARTY OR PARTIES.
 14. THE ELEVATIONS SHOWN HEREON ARE BASED ON A MAN-MADE COUNTY BENCHMARK "E 202" AND REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29). THE MARK IS A 1" X 1" X 1" BRASS WASHER SET ON CONCRETE FIM OF STONE DRAIN UNRAVISED AND IS LOCATED 57 FEET NORTH OF THE CENTERLINE OF THE STRAND AND 43 FEET EAST OF THE CENTERLINE OF HIGHWAY A-1-A, ELEVATION=4.34.
- THIS SURVEY IS CERTIFIED TO:
OCEAN CONSULTING.
- CERTIFICATE:**
THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

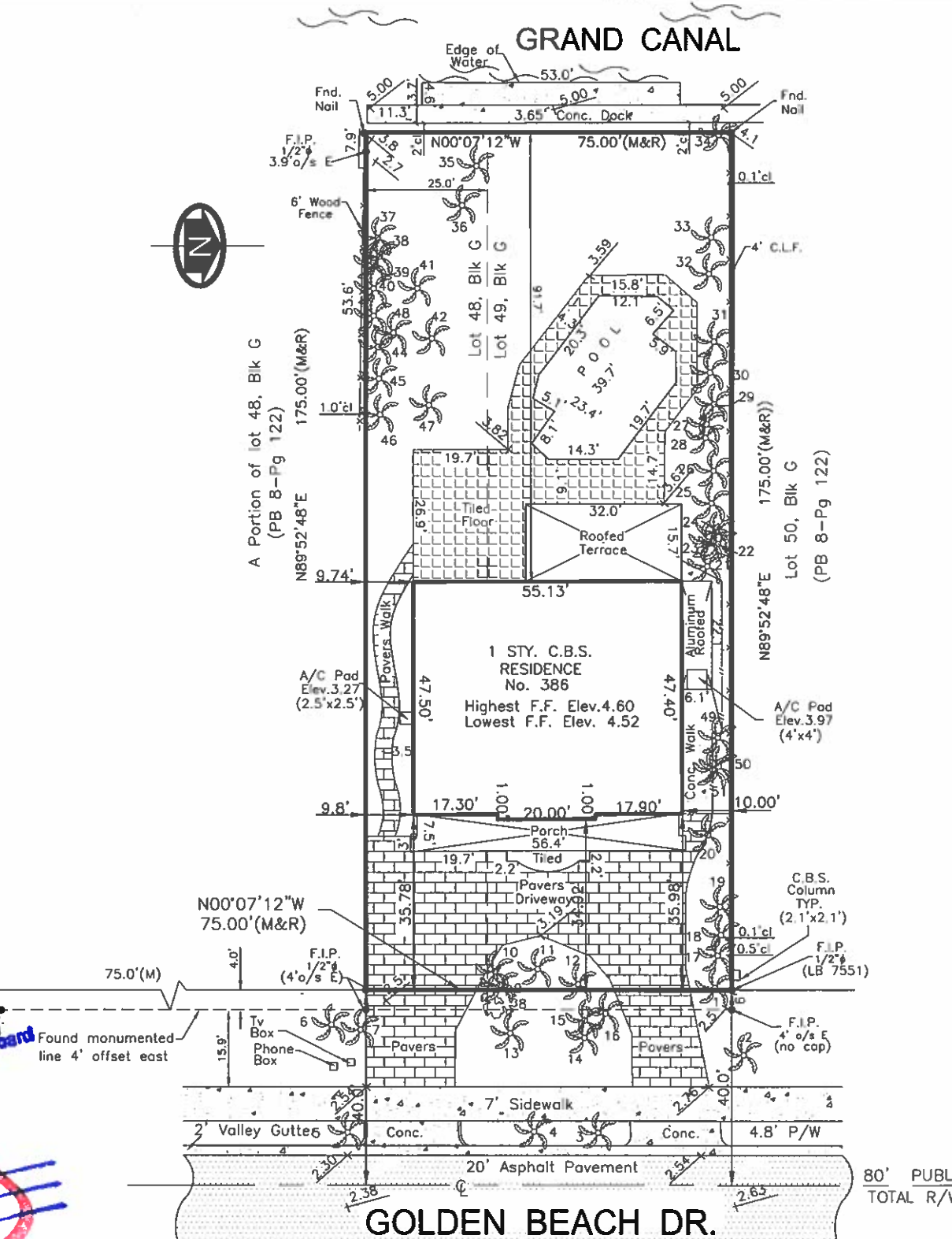
JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA
ECS LAND SURVEYORS, INC. L.B. 7531
JAVIER@ECSURVEYS.COM

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date
OCT 08 2019
APPROVED
DISAPPROVED
VARIANCE REQ.

<p>SKETCH OF BOUNDARY AND TOPOGRAPHIC SURVEY LOT 49 AND THE NORTH 1/2 OF 48 BLOCK "G" SECTION "E" OF GOLDEN BEACH PLAT BOOK 8, PAGE 122, M.D.C.R. 386 GOLDEN BEACH DRIVE, GOLDEN BEACH, FL 33160</p>	<p>TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770</p>	<p>ECS LAND SURVEYORS, INC. L.B. 7531 3460 FAIRLANE FARMS ROAD, SUITE 6, WELLINGTON, FL 33414</p>
<p>DATE: 07/21/18 DRAWN BY: J.E.C. CHECKED BY: J.D.L.R. LAWYER/ENDORSE: 07/21/18</p>	<p>SEAL NOT VALID UNLESS SEALED HERE WITH AN EMBOSSED SURVEYOR'S SEAL.</p>	
<p>REVISIONS:</p>		
<p>SHEET NO. 01 OF 01</p>		

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 30'



City of Golden Beach
Building Regulatory Advisory Board
Meeting Date
APPROVED
DISAPPROVED
VARIANCE REQ.

No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
1	COCONUT	COCOS NUCIFERA	0.8'	8'	8'
2	ROYAL PALM	ROYSTONIA ELATA	1.3'	35'	30'
3-5	COCONUT	COCOS NUCIFERA	1.0'	40'	30'
6	ROYAL PALM	ROYSTONIA ELATA	2.0'	40'	30'
7	ROYAL PALM	ROYSTONIA ELATA	0.8'	8'	8'
8	MANDO TREE	MANGIFERA INDICA	0.5'	8'	8'
9	QUEEN PALM	ARECATHURUS ROMANZOFFIANUM	0.8'	35'	30'
10	QUEEN PALM	ARECATHURUS ROMANZOFFIANUM	0.5'	20'	20'
11-13	CAIRNGIRG PALM	SABAL PALMETTO	1.2'	8'	8'
14-15	ROYAL PALM	ROYSTONIA ELATA	1.5'	40'	40'
16	ROYAL PALM	ROYSTONIA ELATA	1.5'	30'	40'
17-18	COCONUT	COCOS NUCIFERA	1.0'	12'	12'
19	COCONUT	COCOS NUCIFERA	0.8'	8'	5'
20	ROYAL PALM	ROYSTONIA ELATA	2.0'	30'	30'
21-24	CHINESE PALM	LIVISTONA CHINENSIS	0.8'	8'	18'

No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
25	ALEXANDER PALM	PTYCHOSPHERA ELEGANS	0.3'	30'	35'
26-28	CHINESE PALM	LIVISTONA CHINENSIS	1.1'	35'	8'
29	ALEXANDER PALM	PTYCHOSPHERA ELEGANS	0.3'	35'	5'
30-31	CHINESE PALM	LIVISTONA CHINENSIS	1.0'	30'	8'
32-33	CHINESE PALM	LIVISTONA CHINENSIS	0.8'	8'	8'
34	COCONUT	COCOS NUCIFERA	1.3'	25'	30'
35-38	QUEEN PALM	ARECATHURUS ROMANZOFFIANUM	1.0'	12'	8'
37-38	CHINESE PALM	LIVISTONA CHINENSIS	0.8'	18'	8'
39-40	QUEEN PALM	ARECATHURUS ROMANZOFFIANUM	0.8'	12'	8'
41-43	CHINESE PALM	LIVISTONA CHINENSIS	0.8'	8'	8'
44-46	CHINESE PALM	LIVISTONA CHINENSIS	0.8'	8'	8'
47-48	ROYAL PALM	ROYSTONIA ELATA	3.0'	25'	30'
49	ALEXANDER PALM	PTYCHOSPHERA ELEGANS	0.3'	35'	8'
50-51	CHINESE PALM	LIVISTONA CHINENSIS	0.8'	35'	8'

LOCATION MAP

SCALE: NTS



SITE PICTURE



- ### ABBREVIATION (IF ANY APPLIED)
- A/C = CURVE
 - A/C = AIR CONDITIONING UNIT
 - ASPH. = ASPHALT
 - B.M. = BENCH MARK
 - Bk/Com. = BLOCK CORNER
 - CALC.(C) = CALCULATED
 - CB = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - CL = CLEAR
 - CONC. = CONCRETE
 - D.M.E. = DRAINAGE MAINT. EASEMENT
 - Ø = DIAMETER
 - EASMT. = EASEMENT
 - ELEV. = ELEVATION
 - ENC. = ENCROACHMENT
 - F.D.H. = FOUND DRILL HOLE
 - F.H. = FIRE HYDRANT
 - F.N/D = FOUND NAIL AND DISC
 - F.I.P. = FOUND IRON PIPE
 - F.S. = FOUND SPIKE
 - L.P. = LIGHT POLE
 - MEAS.(M) = MEASURED
 - MH = MANHOLE
 - M = MONUMENT
 - M = MONUMENT LINE
 - NTS = NOT TO SCALE
 - P/W = PARKWAY
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.C. = POINT OF CURVATURE
 - P.I. = POINT OF INTERSECTION
 - P = PROPERTY LINE
 - P.P. = POWER POLE
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - P.T. = POINT OF TANGENCY
 - RAD. = RADIAL
 - REC. (R) = RECORDED
 - RES. = RESIDENCE
 - R/W = RIGHT OF WAY
 - SEC. = SECTION
 - S.D.H. = SET DRILL HOLE
 - S.N/D = SET NAIL AND DISC
 - S.I.P. = SET IRON PIPE
 - S.R.B. = SET REBAR
 - STY. = STORY
 - SWC. = SIDEWALK
 - T.O.P. = TOP OF BANK
 - U.E. = UTIL. EASEMENT
 - W.P. = WOODEN POLE
 - W = MONUMENT LINE
 - W = SECTION LINE

- ### SURVEYOR'S LEGEND (IF ANY APPLIED)
- BOUNDARY LINE
 - STRUCTURE (BLDG.)
 - CONCRETE BLOCK WALL
 - METAL FENCE
 - WOODEN FENCE
 - CHAIN LINK FENCE
 - WOOD DECK/DOCK
 - ASPHALTED AREAS
 - CONCRETE
 - BRICKS OR PAVERS
 - ROOFED AREAS
 - WATER (EDGE OF WATER)
 - CATCH BASIN
 - MANHOLE
 - OVERHEAD ELECT.
 - POWER POLE
 - LIGHT POLE
 - HANDICAP SPACE
 - FIRE HYDRANT
 - EASEMENT LINE
 - WATER VALVE
 - TV-CABLE BOX
 - WH WATER METER
 - CONC. LIGHT POLE

CERTIFIED TO:
VOLODYMYR SYMONENKO
OKSANA KIRPENKO

SITE ADDRESS: 386 GOLDEN BEACH DR., GOLDEN BEACH, FL. 33160
JOB NUMBER: 18-560
DATE OF SURVEY: MAY 27, 2018 / DEC. 6, 2018(UPDATE)
FOLIO NUMBER: 19-1235-005-0720

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. 12064-0153L, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 6.00 FEET (NGVD)**
- LAND AREA OF SUBJECT PROPERTY: 13,125 SF (+/-)
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI-DADE COUNTY BENCH MARK No. E-202, WITH AN ELEVATION OF 9.34 FEET.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.00°07'12"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF GOLDEN BEACH DRIVE, AS SHOWN ON PLAT BOOK 8 AT PAGE 122 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.
SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.
UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.
THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.
PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.
THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.
THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.
THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.
THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/8 FOOT FOR NATURAL GROUND SURFACES AND 1/16 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.
THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.
ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.
IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 5J-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:

LOT 49 AND THE NORTH 1/2 OF LOT 48, BLOCK "G", OF SECTION E GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8 AT PAGE 122, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:
-THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
-THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
-THERE NO PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FOR THE FLORIDA STATUTES.

American Services of Miami, Corp.
Consulting Engineers . Planners . Surveyors

9370 S.W. 72nd Street, Suite A-102
Miami, Florida, 33173
PH: (305) 598-5101 FAX: (305) 598-8627
ASOMIAMI.COM

Ed Pino
PROFESSIONAL LAND SURVEYOR
AND MAPPER No. 5771
STATE OF FLORIDA

DATE: DECEMBER 7, 2018

NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

386 Golden Beach - Variance Research			
Location	Date Issued	Address	Notes
Same canal	10/21/2013	434 Golden Beach	Waterward edge of marginal dock is located 7' 6" from the property line Property line is located at wetface of existing seawall
Same canal	10/18/2011	428 Golden Beach	Waterward edge of marginal dock is located 8' from the property line
Same canal	6/19/2007 *Pending	390 Golden Beach	In 2007, a 7.5' wide marginal dock was approved by DERM. The 2017 application for a boatlift on the existing dock shows a 8' 2" wide marginal dock, starting from the waterward edge of the seawall cap, existing on site. Note that the property line appears to be at the wetface of the existing seawall (no dimension to the waterward edge of the seawall cap provided).
Same canal	*Pending	378 Golden Beach	Existing marginal dock permitted in 2002 Property line is located 7.5' from edge of the seawall cap Waterward edge of existing, permitted marginal dock is located 5' from the seawall cap, and 12.5' from the property line Pending project is for installation of boatlift
Same canal	9/16/2014	364 Golden Beach	Property line located 3' behind seawall Waterward edge of marginal dock is located 4' from edge of seawall cap and 7' from property line
Same canal	4/1/2013	354 Golden Beach	Property line located behind edge of seawall cap Waterward edge of marginal dock is 6' 10" from edge of seawall cap
Canal to South	3/14/2011	194 Golden Beach	Waterward edge of marginal dock is 8' 5" from wetface of seawall Property line not located on drawings
Canal to South	8/31/2009	172 Golden Beach	After-the-fact dock extension is located 6' 6" from edge of seawall cap Location of property line not depicted in drawings
Canal to South	4/15/2015	132 S. Island	Waterward edge of FVP is located 8' 6" from the property line Waterward edge of dock is located 8' 3" from property line

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

OCT 08 2019

APPROVED
DISAPPROVED
VARIANCE REQ:



LOCATION MAP AND LEGAL DESCRIPTION

Town of Golden Beach Construction Plan
JOB COPY
 Must Be on Site During Working Hours & For Any Inspections

Approved at ERD Meeting: _____ Date: 12-9-17
 Building Official: _____ Date: 12/17/17
 Zoning: _____ Date: 12/13/17
 Structural: _____ Date: 12/8/17
 Electrical: _____ Date: _____
 Plumbing: _____ Date: _____
 Mechanical: _____ Date: _____
 Landscaping: _____ Date: _____

Handwritten: *Memo 12/19/17*

PROJECT SITE LOCATION:
 386 Golden Beach Dr.
 Golden Beach, FL 33160

LATITUDE: 25°57'56.21"N
LONGITUDE: 80° 7'17.37"W

FOLIO No.: 19-1235-005-0720

LEGAL DESCRIPTION:
 GOLDEN BEACH SEC E PB 8-122
 N1/2 OF LOT 48 & LOT 49 BLK G
 LOT SIZE 75.000 X 175
 OR 17041-3771 1295 4 (CORR DEED)

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
 NAME: _____
 DATE: 6/28/17

04-206-0202

GENERAL NOTES:

- ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2014 EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

BOLTS

- ALL BOLTS SHALL BE STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER ONE SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

DOCK: LL 60 PSF

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED CAPACITY A MIN 12. INTO BERM.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN 1/4" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

386 GOLDEN BEACH DR.
WATERFRONT
IMPROVEMENT
PROJECT
 Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
 386 Golden Beach Drive
 Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
OCEAN
CONSULTING, LLC
 340 Minorca Avenue, Suite 7
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:
SOUTH EAST MARINE
CONSTRUCTION
 404 NE 38th Street
 Oakland Park, Florida 33334
 Tel: (954) 630-2300
 Fax: (954) 630-2381
 License # CGC060467

PROJECT ENGINEER:

RECEIVED

DEC 19 2017

DERM Coastal Resources Section.
 Natural Resources Regulation & Restoration
 SEAL / SIGNATURE / DATE

APPROVED
 DISAPPROVED
 VARIANCE REQ.

RECEIVED

JUN 28 2017

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRRD)



PERMIT DRAWINGS

Issue #	Issue Date
①	September 1, 2016
②	October 19, 2016
③	November 28, 2016

PROJECT: 16-5850

PROJECT LOCATION & NOTES

SCALE: AS SHOWN
 SHEET NO.

S-1

TOWN OF GOLDEN BEACH

G A R A N E C A N A L

Approved at BRB Hearing	_____
Building Official	Date _____
Zoning	Date 12/17/17
Structural/Eng	Date (11)2017
Electrical	Date _____
Plumbing	Date _____
Mechanical	Date _____
Landscaping	Date _____

RECEIVED
DEC 19 2017

RECEIVED
NOV 06 2017
DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME *Mehemetbas*
DATE 11/10/17

RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL
NAME *Mehemetbas*
DATE 12/19/17

**Town Of Golden Beach
Construction Plan
JOB COPY**
Must Be On Site During Working
Hours & For Any Inspections

**386 GOLDEN BEACH DR.
WATERFRONT
IMPROVEMENT
PROJECT**
Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:
Dynamic Engineering Solutions, Inc
John H Omslaer PE 52733, CA 26829
351 Cypress Rd, Suite 303
Pompano Beach, FL 33060

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

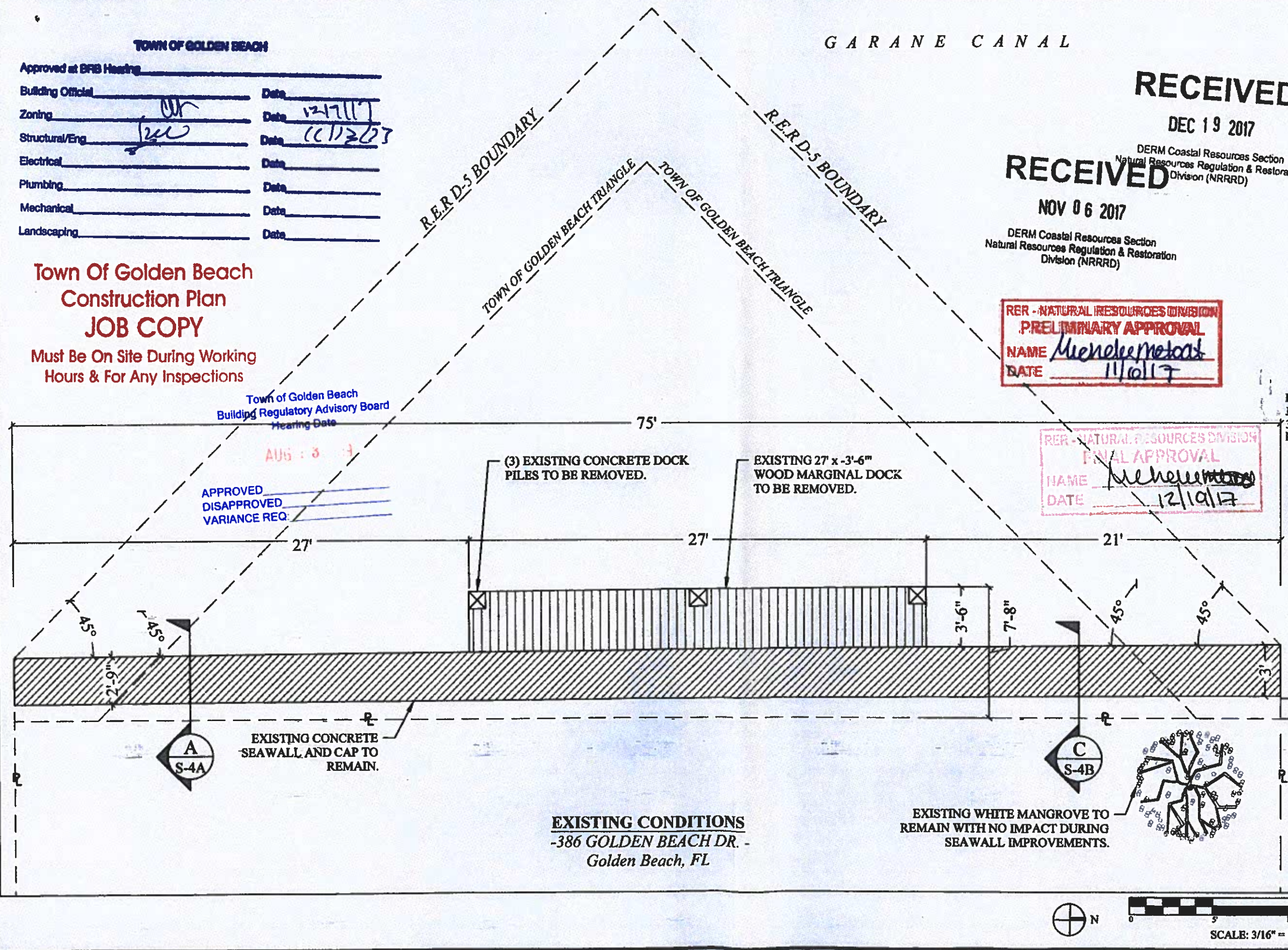
Issue #	Issue Date
①	September 1, 2016
②	October 23, 2016

PROJECT: 16-5850

EXISTING CONDITIONS

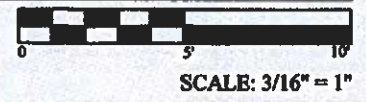
SCALE: AS SHOWN
SHEET NO.

S-2



EXISTING CONDITIONS
-386 GOLDEN BEACH DR. -
Golden Beach, FL

EXISTING WHITE MANGROVE TO
REMAIN WITH NO IMPACT DURING
SEAWALL IMPROVEMENTS.



TOWN OF GOLDEN BEACH

Approved at BRB Hearing _____
 Building Official _____ Date 12/17/17
 Zoning _____ Date 11-13-17
 Structural/Eng _____ Date _____
 Electrical _____ Date _____
 Plumbing _____ Date _____
 Mechanical _____ Date _____
 Landscaping _____ Date _____

Town Of Golden Beach
Construction Plan
JOB COPY

Must Be On Site During Working
 Hours & For Any Inspections

Town of Golden Beach
 Building Regulatory Advisory Board
 Hearing Date
AUG 13 17

APPROVED
 DISAPPROVED
 VARIANCE REQ.

RECEIVED ARANE CANAL

DEC 19 2017

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRRD)

RECEIVED
 RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
 NAME Mechanical
 DATE 11/16/17

RECEIVED

NOV 06 2017

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRRD)

386 GOLDEN BEACH DR.
 WATERFRONT
 IMPROVEMENT
 PROJECT
 Golden Beach, Florida

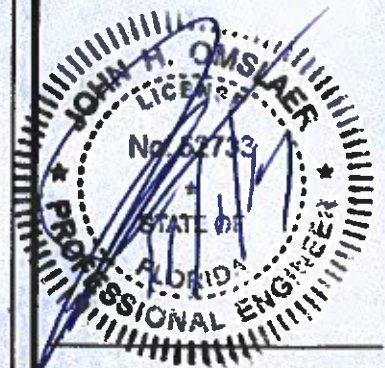
CLIENT:
 Ms. Oksana Kirpenko
 386 Golden Beach Drive
 Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
 OCEAN
 CONSULTING, LLC
 340 Minorca Avenue, Suite 7
 Coral Gables, Florida 33134
 Tel: (305) 921-9344
 Fax: (305) 677-3254

CONTRACTOR:
 SOUTH EAST MARINE
 CONSTRUCTION
 404 NE 38th Street
 Oakland Park, Florida 33334
 Tel: (954) 630-2300
 Fax: (954) 630-2381
 License # CGC060467

PROJECT ENGINEER:
 Dynamic Engineering Solutions, Inc
 John H Omslaer PE 52733, CA 26829
 3515 S Cypress Rd, Suite 303
 Pompano Beach, FL 33060

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

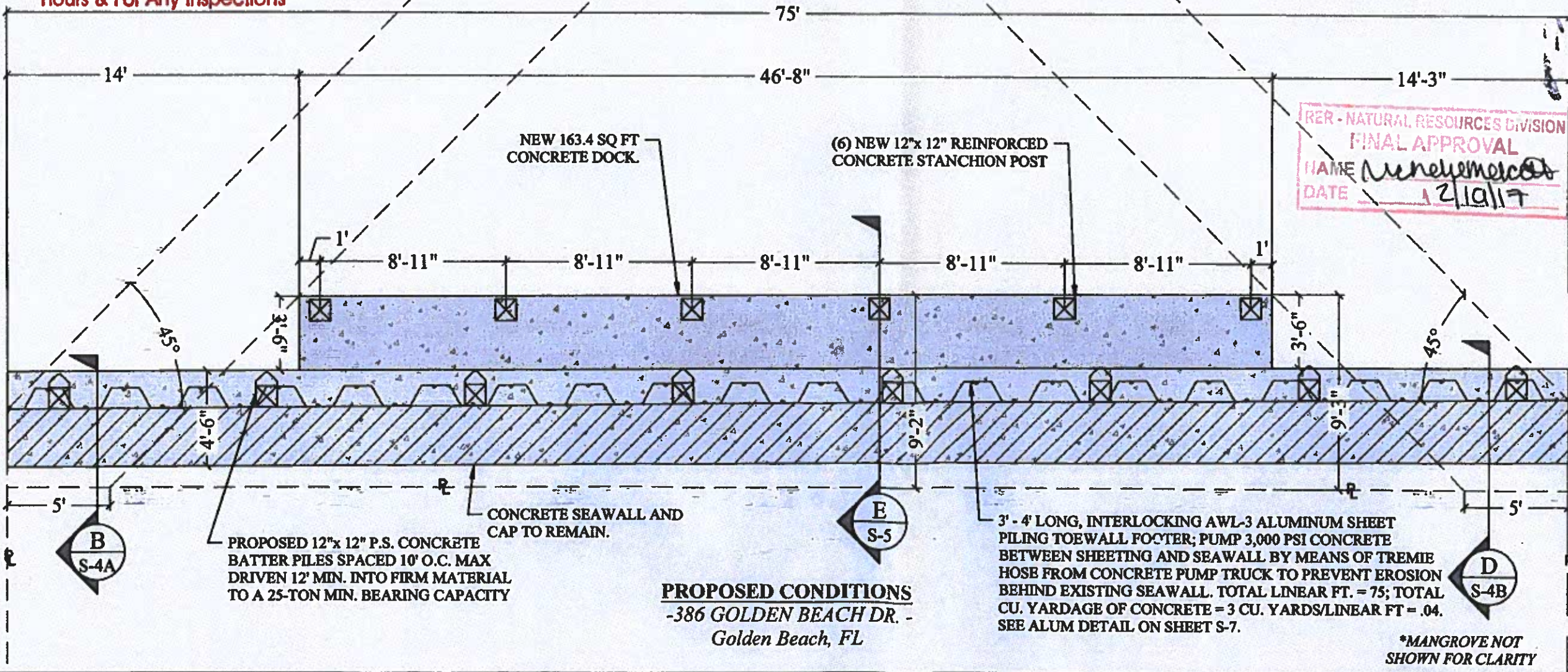
Issue #	Issue Date
①	September 1, 2016
②	October 23, 2016

PROJECT: 16-5850

PROPOSED CONDITIONS

SCALE: AS SHOWN
 SHEET NO.

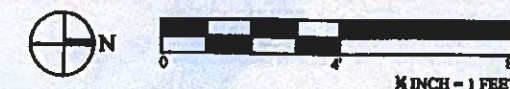
S-3



PROPOSED CONDITIONS
 -386 GOLDEN BEACH DR. -
 Golden Beach, FL

3' - 4' LONG, INTERLOCKING AWL-3 ALUMINUM SHEET
 PILING TOEWALL FOOTER; PUMP 3,000 PSI CONCRETE
 BETWEEN SHEETING AND SEAWALL BY MEANS OF TREMIE
 HOSE FROM CONCRETE PUMP TRUCK TO PREVENT EROSION
 BEHIND EXISTING SEAWALL. TOTAL LINEAR FT. = 75; TOTAL
 CU. YARDAGE OF CONCRETE = 3 CU. YARDS/LINEAR FT = .04.
 SEE ALUM DETAIL ON SHEET S-7.

*MANGROVE NOT
 SHOWN FOR CLARITY



**386 GOLDEN BEACH DR.
WATERFRONT
IMPROVEMENT
PROJECT**
Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
310 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
①	September 1, 2016
②	October 19, 2016
③	November 28, 2016

PROJECT: 16-5850

**SEAWALL SECTION
DETAILS**

SCALE: AS SHOWN
SHEET NO.

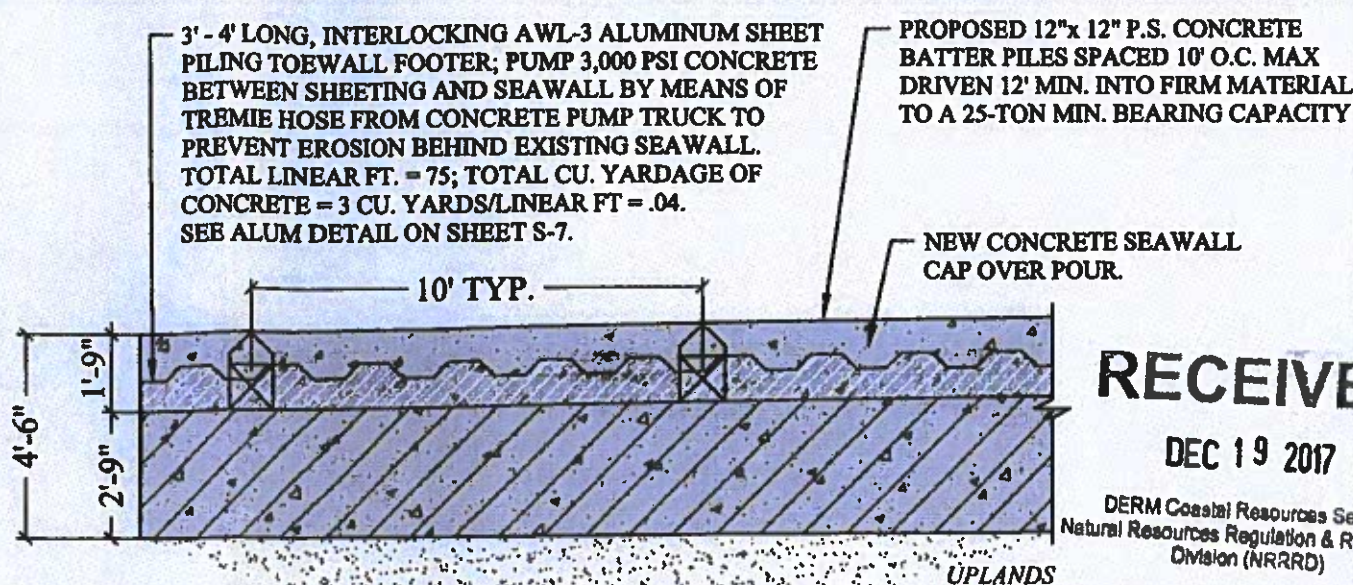
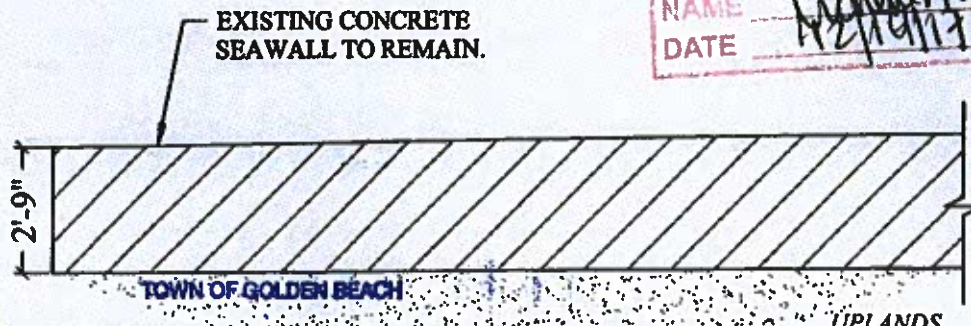
S-4A

**REC - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
NAME: *[Signature]*
DATE: *11/21/17*

RECEIVED
DEC 19 2017

**REC - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME: *[Signature]*
DATE: *6/28/17*

RECEIVED
JUN 28 2017

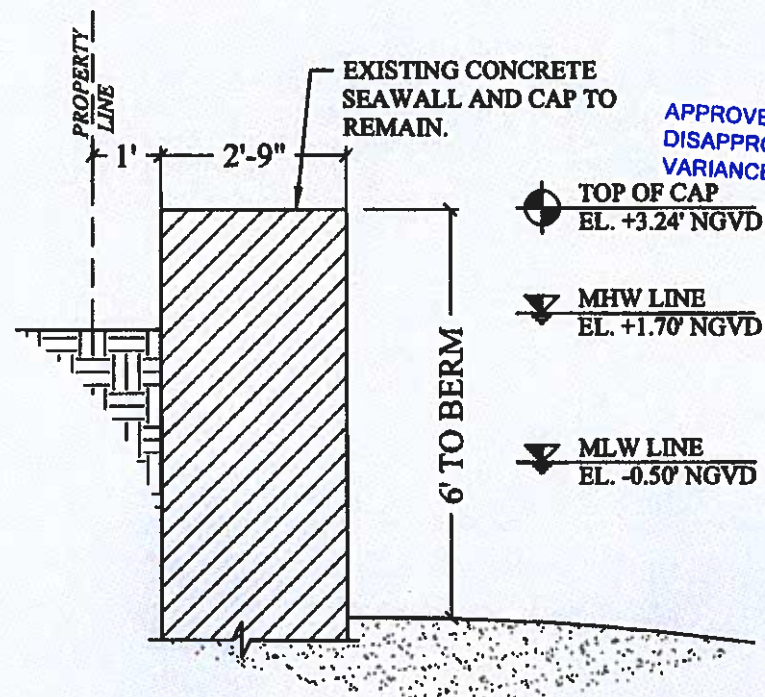


Approved at BRB Hearing _____ Date _____
Building Official _____ Date _____
Zoning *[Signature]* **TYP SEAWALL SECTION A**
Structural/Eng *[Signature]* SCALE: 1/4" = 1'-0" S-4A
Electrical _____ Date _____
Plumbing _____ Date _____
Mechanical _____ Date _____
Landscaping _____ Date _____

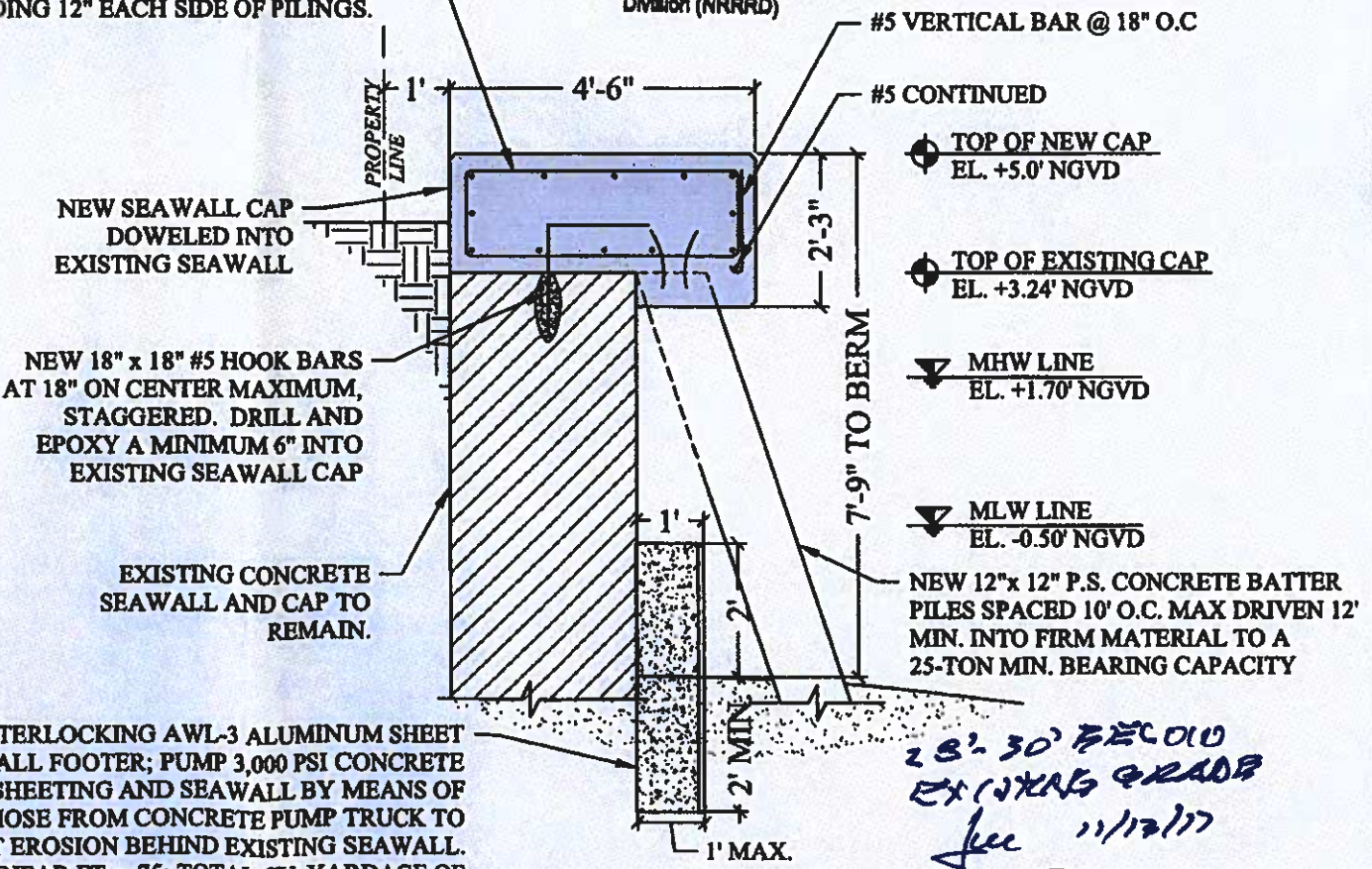
Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date _____

NEW 4'-6" REINFORCED CONCRETE SEAWALL
CAP OVER POUR WITH 3/4 CHAMFERED
EDGES. USE (5) #5 BARS TOP; (2) #5 BARS
MIDDLE; (5) #5 BARS BOTTOM; AND #3
HOOPS AT 12" O.C., 3" O.C. OVER ALL PILING
EXTENDING 12" EACH SIDE OF PILING.

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)



EXISTING SEAWALL SECTION A
SCALE: 3/8" = 1'-0" S-4A



3' - 4' LONG, INTERLOCKING AWL-3 ALUMINUM SHEET
PILING TOEWALL FOOTER; PUMP 3,000 PSI CONCRETE
BETWEEN SHEETING AND SEAWALL BY MEANS OF
TREMIE HOSE FROM CONCRETE PUMP TRUCK TO
PREVENT EROSION BEHIND EXISTING SEAWALL.
TOTAL LINEAR FT. = 75; TOTAL CU. YARDAGE OF
CONCRETE = 3 CU. YARDS/LINEAR FT = .04.
SEE ALUM DETAIL ON SHEET S-7.

CONCRETE OVER POUR SECTION B
SCALE: 3/8" = 1'-0" S-4A

*28'-30' EXISTING GRADE
see 11/21/17*

**386 GOLDEN BEACH DR.
WATERFRONT
IMPROVEMENT
PROJECT**
Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CG0009467

PROJECT NUMBER: _____

RECEIVED
DEC 19 2017
DERM Coastal Resources Section
386 Golden Beach Drive
Golden Beach, FL 33160

SEAL / SIGNATURE / DATE

JOHN H. OMSLAER
LICENSED PROFESSIONAL ENGINEER
No. 52733
STATE OF FLORIDA
PERMIT DRAWINGS

Issue #	Issue Date
①	September 1, 2016
②	October 19, 2016
③	November 28, 2016

PROJECT: 16-5850

**SEAWALL SECTION
DETAILS**

SCALE: AS SHOWN
SHEET NO.

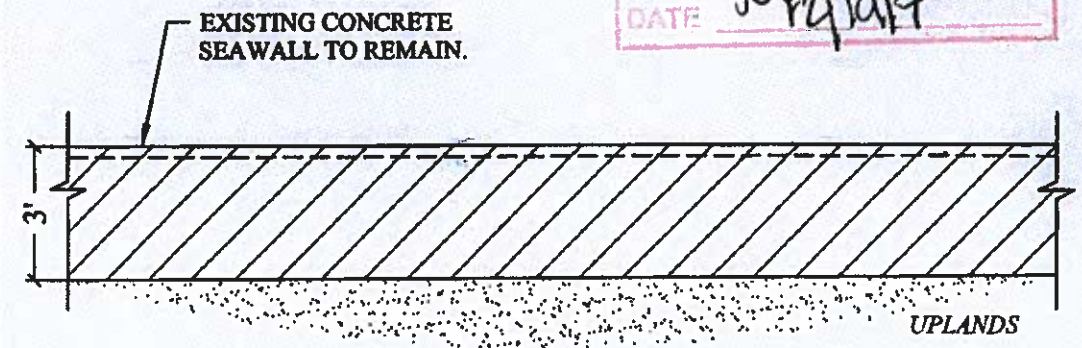
S-4B

RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL
NAME: *[Signature]*
DATE: *12/19/17*

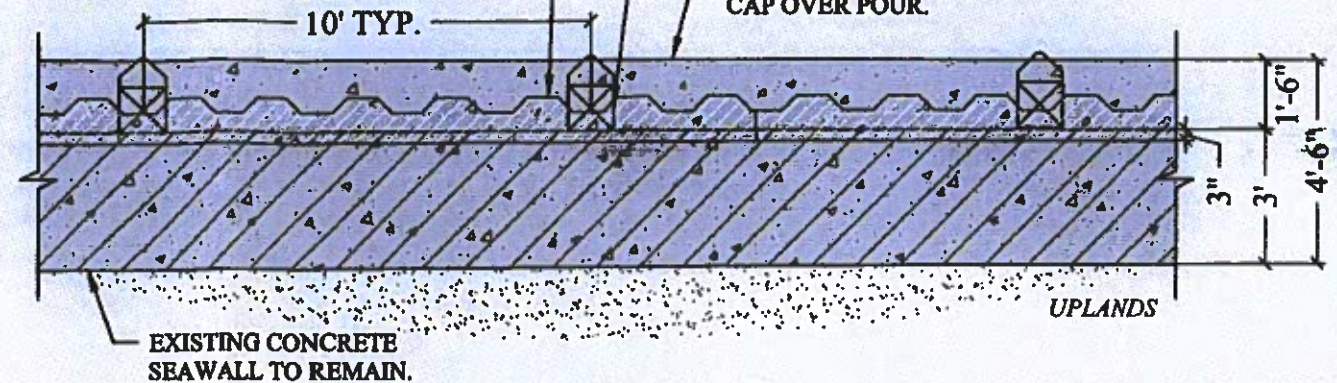
3' - 4' LONG, INTERLOCKING AWL-3 ALUMINUM SHEET PILING TOEWALL FOOTER; PUMP 3,000 PSI CONCRETE BETWEEN SHEETING AND SEAWALL BY MEANS OF TREMIE HOSE FROM CONCRETE PUMP TRUCK TO PREVENT EROSION BEHIND EXISTING SEAWALL. TOTAL LINEAR FT. = 75; TOTAL CU. YARDAGE OF CONCRETE = 3 CU. YARDS/LINEAR FT = .04. SEE ALUM DETAIL ON SHEET S-7.

PROPOSED 12"x 12" P.S. CONCRETE BATTER PILES SPACED 10' O.C. MAX DRIVEN 12' MIN. INTO FIRM MATERIAL TO A 25-TON MIN. BEARING CAPACITY

NEW CONCRETE SEAWALL CAP OVER POUR.



TYP. SEAWALL SECTION C
SCALE: 1/4" = 1'-0"
S-4B



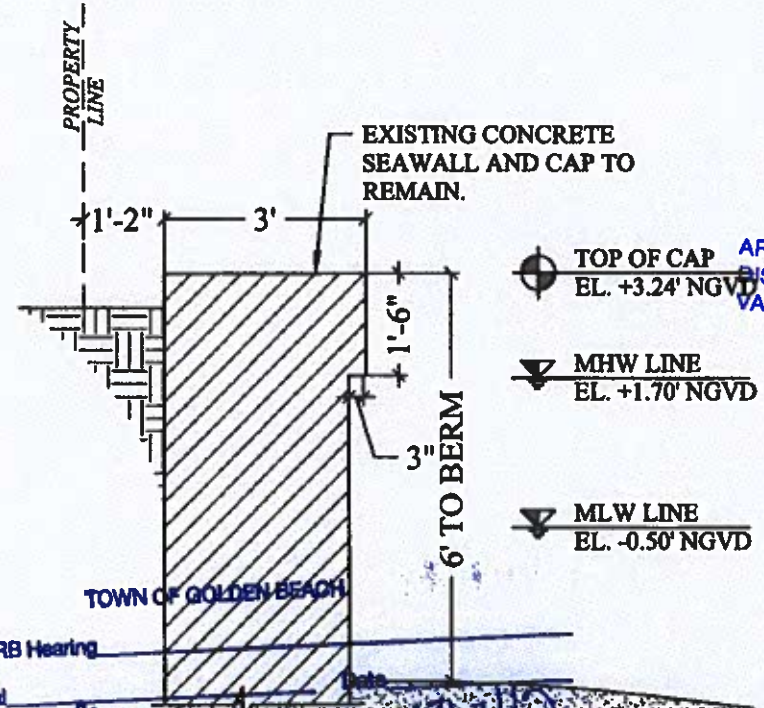
TYP. SEAWALL SECTION D
SCALE: 1/4" = 1'-0"
S-4B

RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL
NAME: *[Signature]*
DATE: *12/28/17*

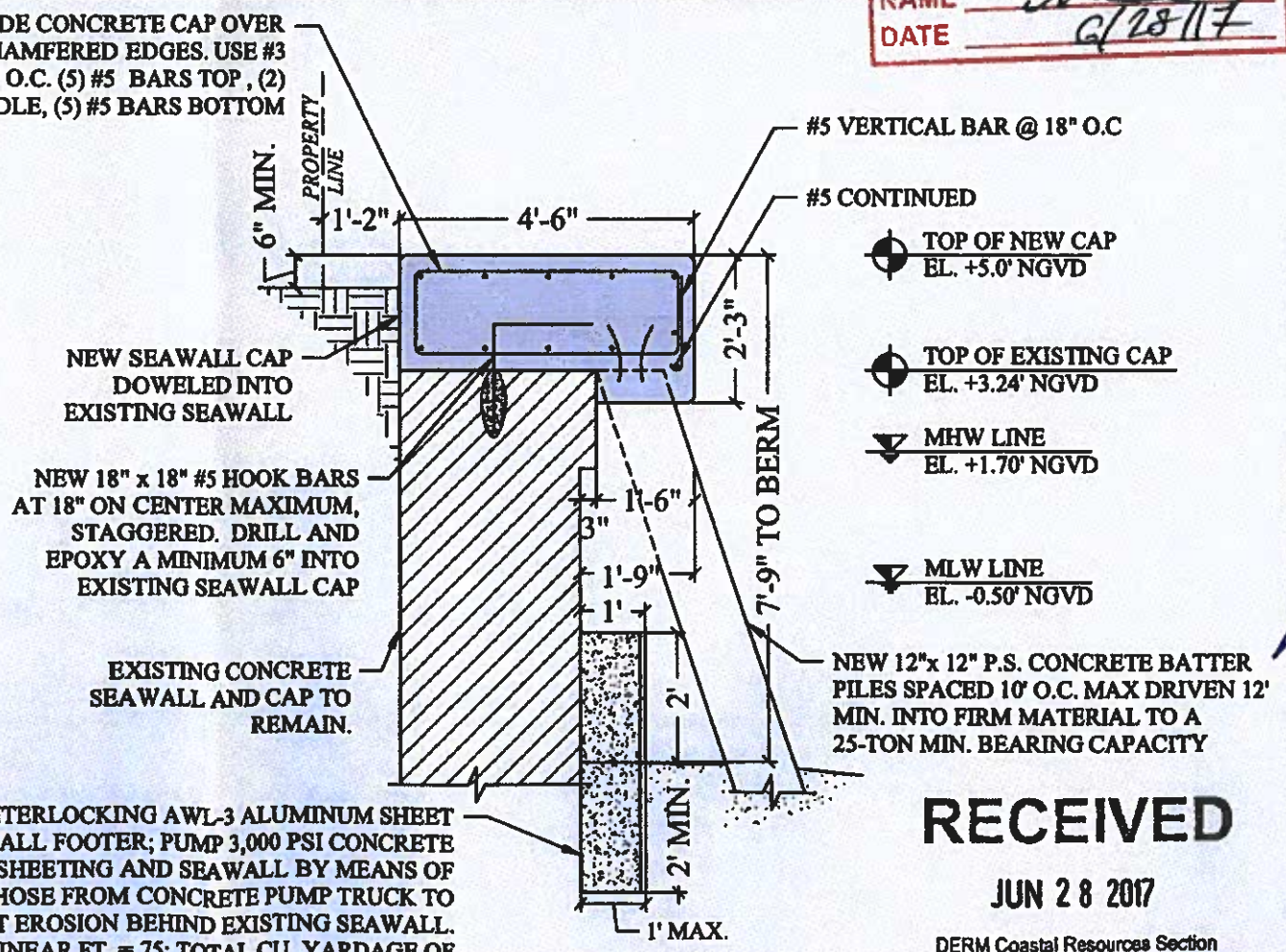
NEW 4'-6" WIDE CONCRETE CAP OVER POUR WITH CHAMFERED EDGES. USE #3 HOOPS AT 12" O.C. (5) #5 BARS TOP, (2) #5 REBAR MIDDLE, (5) #5 BARS BOTTOM

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

APPROVED
DISAPPROVED
VARIANCE REQ.



EXISTING SEAWALL SECTION C
SCALE: 3/8" = 1'-0"
S-4B



CONCRETE OVER POUR SECTION D
SCALE: 3/8" = 1'-0"
S-4B

RECEIVED

JUN 28 2017

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

Approved at BRB Hearing

Building Official	Date
Zoning	Date
Structural/Eng	Date
Electrical	Date
Plumbing	Date
Mechanical	Date
Landscaping	Date

**386 GOLDEN BEACH DR.
WATERFRONT
IMPROVEMENT
PROJECT**
Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 610-3881
License # CEC060467

PROJECT ENGINEER:

RECEIVED
DEC 18 2017

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
①	September 1, 2016
②	October 19, 2016
③	November 28, 2016

PROJECT: 16-5850

TYPICAL CONCRETE
DOCK SECTION
&
PILASTER DETAIL

SCALE: AS SHOWN
SHEET NO.

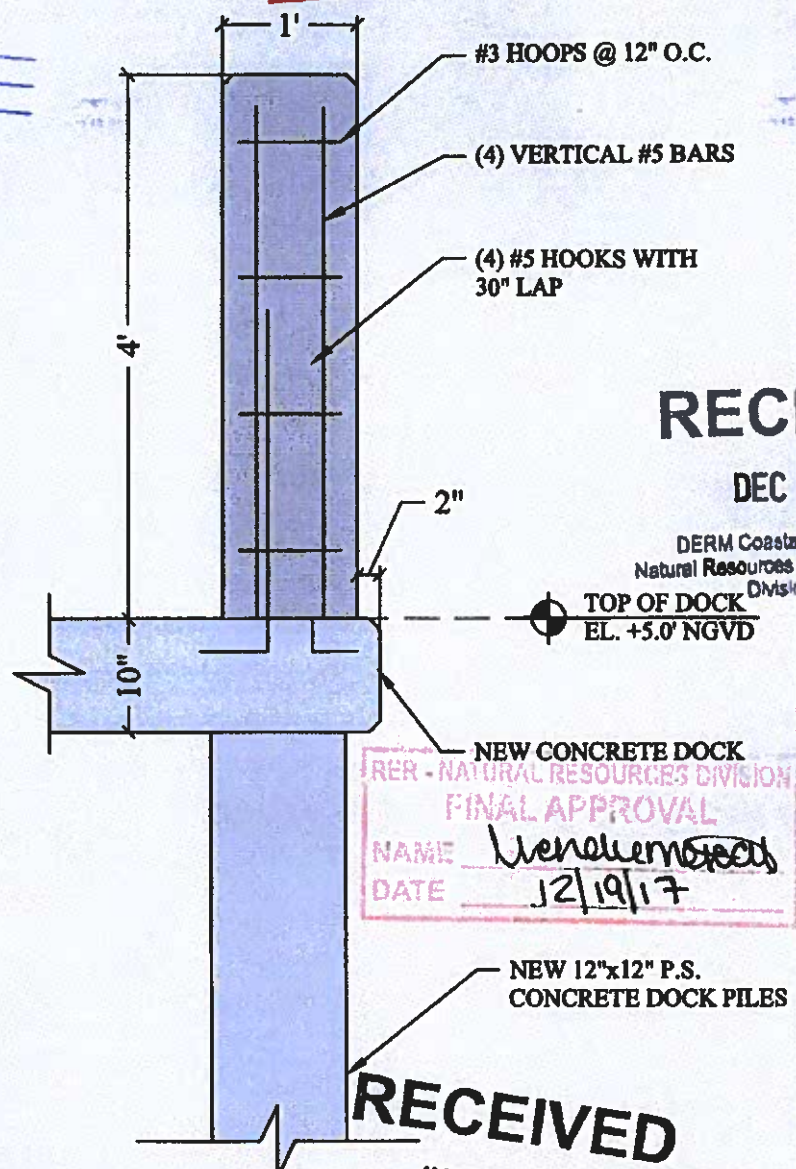
S-5

**RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME *[Signature]*
DATE *8/28/17*

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

AUG 28 2017

APPROVED
DISAPPROVED
VARIANCE REQ.



**RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
NAME *[Signature]*
DATE *12/19/17*

RECEIVED
JUN 28 2017

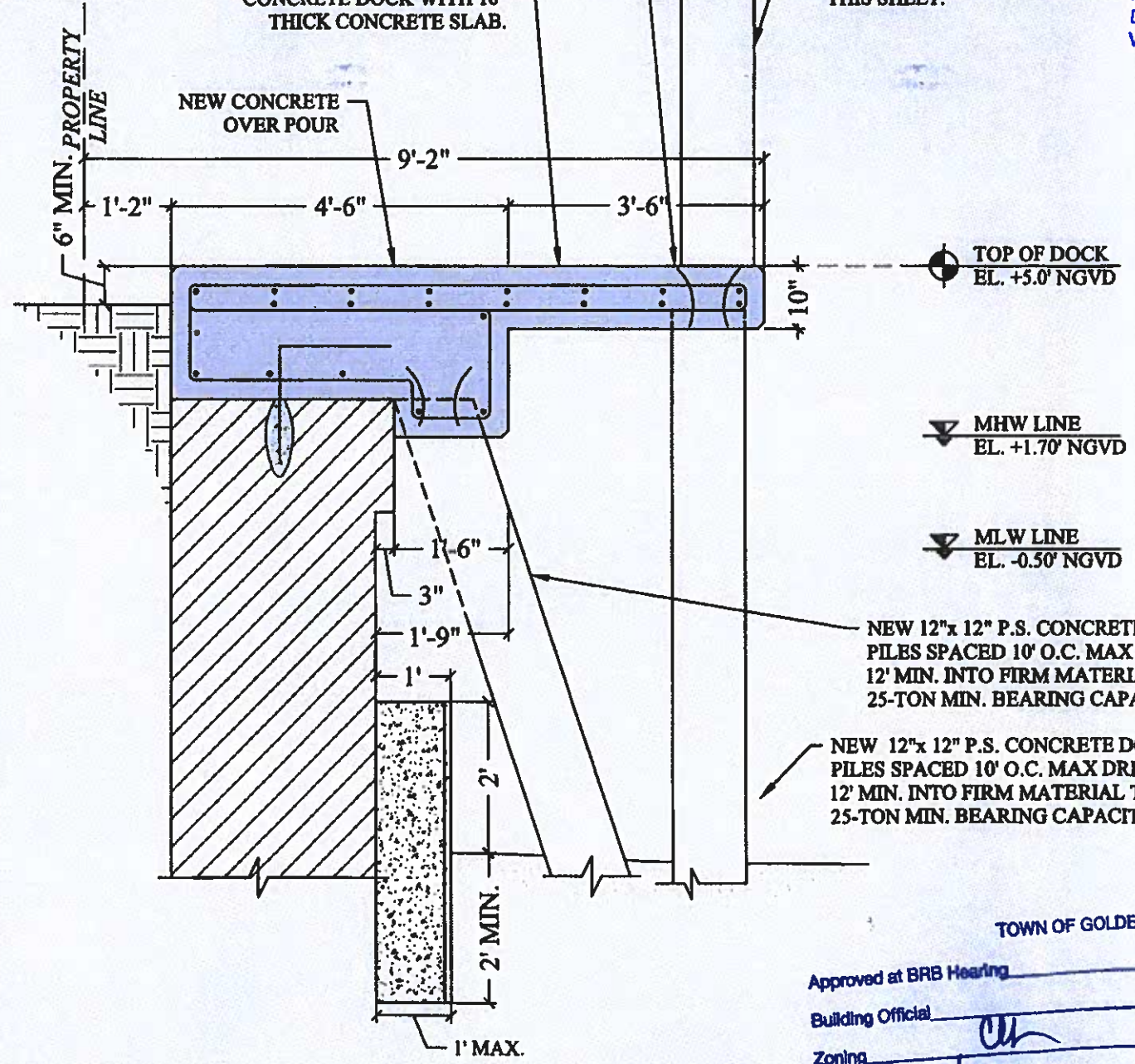
DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

STANCHION POST DETAIL (1)
SCALE: 3/4" = 1'-0" (S-5)

NEW CONCRETE DOCK WITH CHAMFERED EDGES. USE #3 HOOPS AT 12" O.C, 3" OC. OVER PILINGS (6 BOTH SIDES). USE (10) #5 REBAR CONT TOP AND (12) #5 REBAR ON BOTTOM. DOUBLE MAT OF #5 REBAR AT 12 O.C. EACH WAY.

NEW 54'-4" x 3'-6" CONCRETE DOCK WITH 10" THICK CONCRETE SLAB.

NEW 12"x12" REINFORCED CONCRETE STANCHION POST CAST IN AS A SECOND POUR. SEE REINFORCING DETAIL ON THIS SHEET.



TYPICAL CONCRETE DOCK SECTION (E)
SCALE: 1/2" = 1'-0" (S-5)

TOWN OF GOLDEN BEACH

Approved at BRB Hearing	Date
Building Official <i>[Signature]</i>	Date <i>12/3/17</i>
Zoning <i>[Signature]</i>	Date <i>12/19/17</i>
Structural/Eng <i>[Signature]</i>	Date
Electrical	Date
Plumbing	Date
Mechanical	Date
Landscaping	Date

**386 GOLDEN BEACH DR.
WATERFRONT
IMPROVEMENT
PROJECT**
Golden Beach, Florida

CLIENT:
Ms. Oksana Kirpenko
386 Golden Beach Drive
Golden Beach, FL 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:
**SOUTH EAST MARINE
CONSTRUCTION**
404 NE 38th Street
Oakland Park, Florida 33334
Tel: (954) 630-2300
Fax: (954) 630-2381
License # CGC060467

PROJECT ENGINEER:

Town of Golden Beach
Building Regulatory Advisory Board
Hearing Date

APPROVED
DISAPPROVED
VARIANCE REQ:

**RER - NATURAL RESOURCES DIVISION
PRELIMINARY APPROVAL**
NAME
DATE 6/28/17

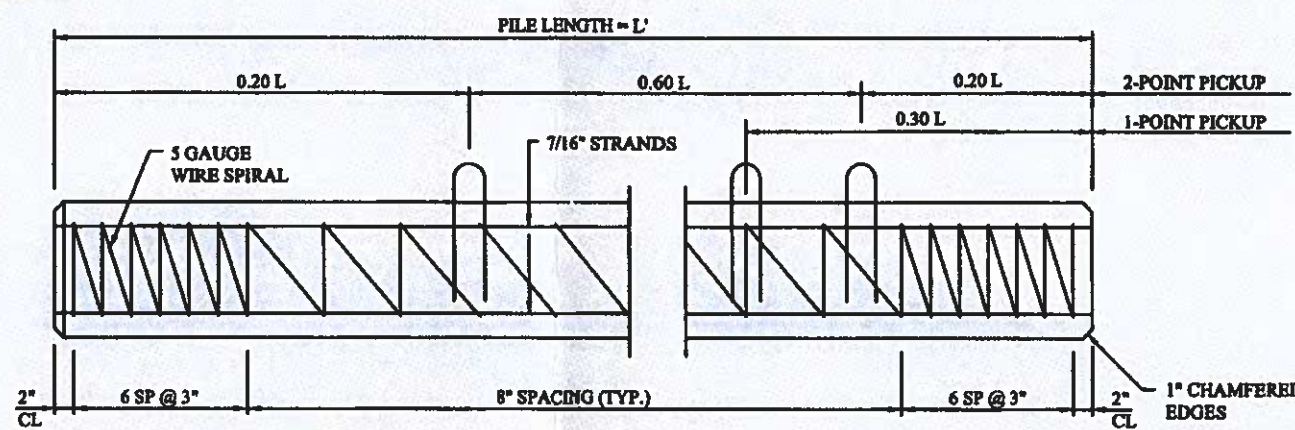
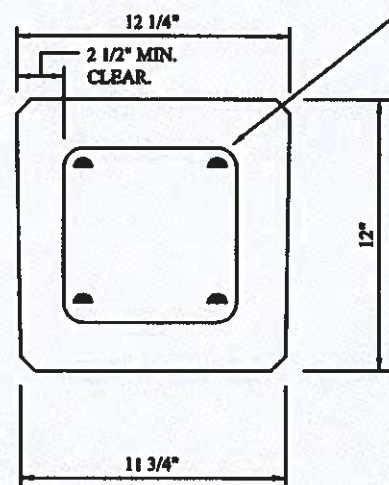
PILE NOTE:

CONCRETE COMPRESSIVE STRENGTH:
3000 PSI @ RELEASE
5000 PSI @ DRIVING

SPIRAL TO BE ASTM A-82 TIGHT
HARD-DRAWN WIRE

STRANDS - USE FOUR 7/16" (270K)
LOW RELAXATION ASTM 416-87 UNCOATED
7-WIRE STRANDS TENSIONED TO 2.33 KIPS
EACH

1-POINT PICKUP-MAXIMUM L = 50'
2-POINT PICKUP-MAXIMUM L = 62'



CONCRETE PILE DETAIL

RECEIVED
DEC 19 2017

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

SEAL / SIGNATURE / DATE



PERMIT DRAWINGS

Issue #	Issue Date
①	September 1, 2016
②	October 19, 2016
③	November 28, 2016

PROJECT: 16-5850

**CONCRETE DOCK
DETAILS**

SCALE: AS SHOWN
SHEET NO.

S-6

TOWN OF GOLDEN BEACH

Approved at BRB Hearing	Date
Building Official <u> </u>	Date <u>12/19/17</u>
Zoning <u> </u>	Date <u>12/19/17</u>
Structural/Eng <u> </u>	Date <u> </u>
Electrical <u> </u>	Date <u> </u>
Plumbing <u> </u>	Date <u> </u>
Mechanical <u> </u>	Date <u> </u>
Landscaping <u> </u>	Date <u> </u>

**RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
Monhemstedt
12/19/17

RECEIVED
JUN 28 2017

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

GENERAL NOTES

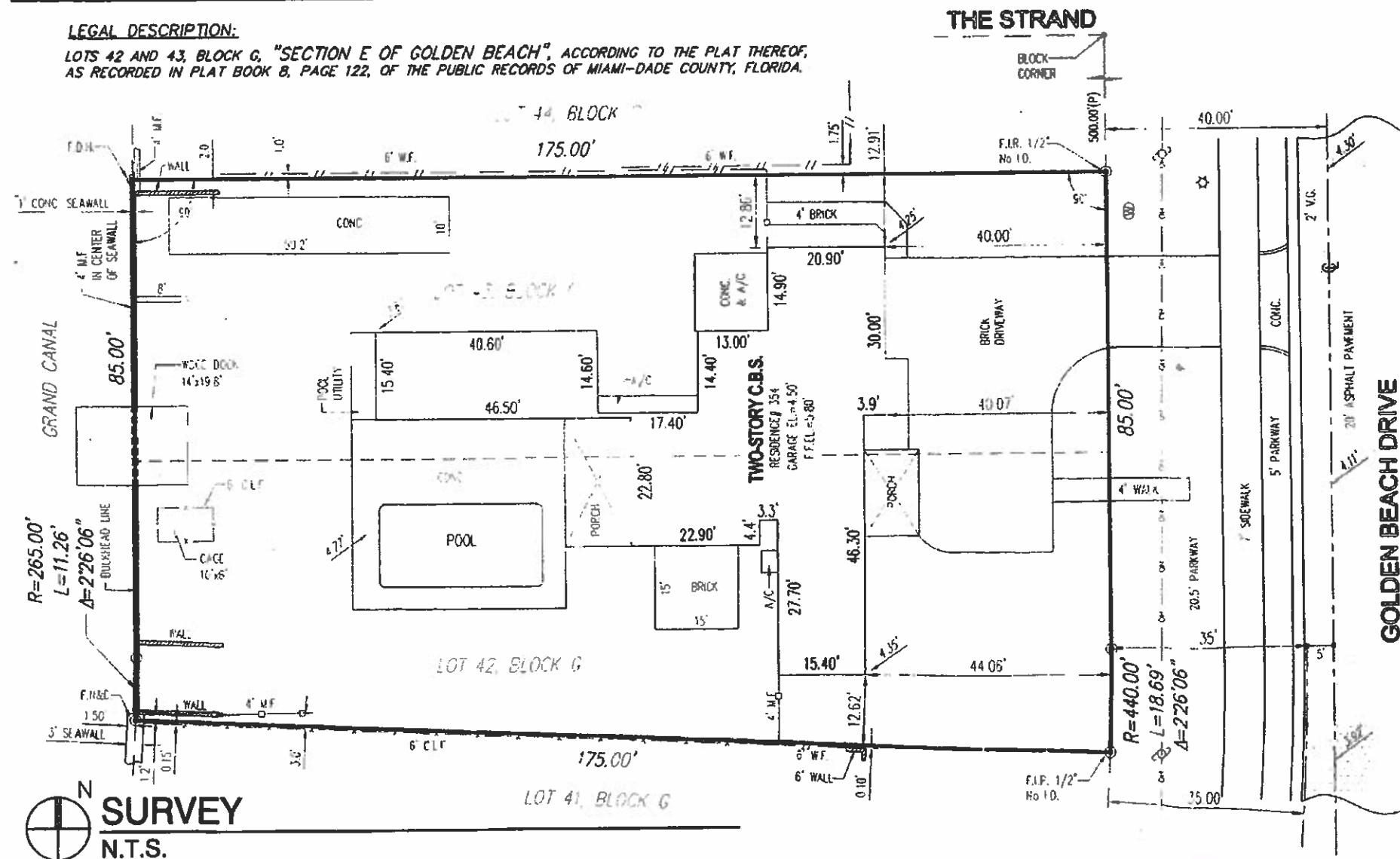
DESIGN: IN ACCORDANCE WITH IBC 2007 EDITION & ASCE 7-05
 PILE NOTES: ALL WOOD PILES TO BE SOUTHERN PINE AND COMPLY WITH A.S.T.M. d25-79 AND BE PRESSURE TREATED W/ C.C.A.
 FEDERAL SPECIFICATIONS TT-W-550D(1) OR TT-W-00550E(1) AND AWFA-MP-4 A MIN. DIA. OF 12"
 PRESTRESSED CONCRETE: RECOGNIZED TESTING LABORATORY TO VERIFY CONCRETE STRENGTH OF 6000 psi IN 28 DAYS.
 CONCRETE SHALL ATTAIN A STRENGTH OF 3500 psi BEFORE STRANDS ARE RELEASED. REINFORCING SHALL BE PER ASTM A416-6820K
 STRANDS WITH #5 GAUGE WIRE SPIRALS AT AN 8 INCH PITCH EXCEPT AT ENDS WITH 3 TURN AT A 3 INCH PITCH.
 MINIMUM PENETRATION OF ALL PILES TO BE AS FOLLOWS:
 INTO BEDROCK- 6 FEET MIN.

MINIMUM SAFE BEARING: 10 TONS WOOD PILE & 25 TONS CONCRETE PILE
 CONCRETE: CONCRETE FOR THE CAP SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 5000 psi AT THE END OF 28 DAYS.
 REINFORCING STEEL: ALL REINFORCEMENT SHALL BE 60K psi MINIMUM YIELD NEW BILLET STEEL IN ACCORDANCE WITH ASTM A615
 GRADE 60. ALL BAR LAPS SHALL BE A MINIMUM OF 48 BAR DIAMETERS. PLACING OF REINFORCEMENT SHALL CONFORM TO THE LATEST
 ACI AND MANUAL OF STANDARD PRACTICE CODES.
 STRUCTURAL LUMBER: ALL DIMENSIONAL LUMBER TO BE PRESSURE TREATED, #1 GRADE S.P. OR BETTER (BEAMS TO BE NON-DENSE
 SELECT STRUCTURAL) AND COMPLY WITH NSD 2005 SPECIFICATIONS.
 HARDWARE: ALL HARDWARE TO BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A-153-80 OR AS SPECIFIED.
 BOLTS: ALL MACHINE BOLTS TO BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A307-83A.
 DESIGN LOADS: 60lbs/FT² OF LIVE LOADS, 8lbs/FT² OF DEAD LOADS

- ALL EXISTING STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED TO BE REMOVED.
- THIS DRAWING IS THE PROPERTY OF SOUTHERN MARINE CONSTRUCTION, INC. AND IS AN INSTRUMENT OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR PART WITHOUT THE EXPRESSED WRITTEN PERMISSION OF SOUTHERN MARINE CONSTRUCTION, INC.

LEGAL DESCRIPTION:

LOTS 42 AND 43, BLOCK G, "SECTION E OF GOLDEN BEACH", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



PROPOSED SEAWALL AND DOCK REPAIR FOR:

MR. ALAN BEHAR
 354 GOLDEN BEACH DRIVE
 GOLDEN BEACH, FLORIDA

CONSULTANTS:

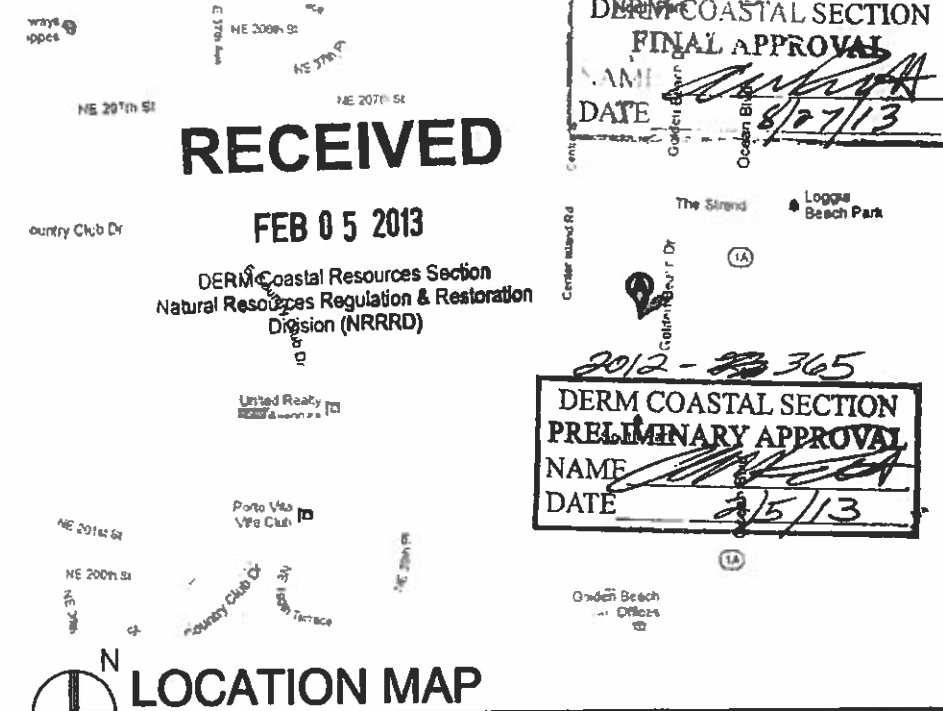
J.N. SHEINGOLD P.E.
 12420 SW 75 AVENUE
 MIAMI, FLORIDA 33156

RECEIVED

PHONE: 305 378 1244
 FAX: 305 253 4455

AUG 27 2013

CONSULTING ENGINEERS- GENERAL CONTRACTORS
 PROFESSIONAL BUILDING INSPECTION EST. 1976
 PE #21181



RECEIVED

FEB 05 2013

DERM Coastal Resources Section
 Natural Resources Regulation & Restoration
 Division (NRRRD)

DERM COASTAL SECTION
FINAL APPROVAL
 NAME: [Signature]
 DATE: 8/27/13

2012-3365
 DERM COASTAL SECTION
PRELIMINARY APPROVAL
 NAME: [Signature]
 DATE: 2/5/13

N.T.S.



VICINITY MAP

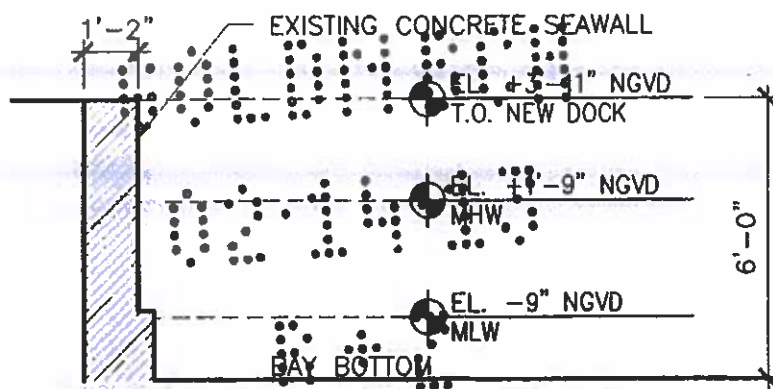
N.T.S.

S.M.C.
 SOUTHERN MARINE CONSTRUCTION, INC.
 FOUNDATION SPECIALISTS
 PIN PILES-WOOD PILES-AUGER CAST PILES-PRESTRESSED PILES-SHEET STEEL

PROPOSED SEAWALL AND DOCK REPAIR
 OWNER:
 ALAN BEHAR
 354 Golden Beach Drive
 Golden Beach, Florida

CONSULTING ENGINEERS
 J.N. SHEINGOLD P.E. (P) 305 378 1244
 12420 SW 75 AVENUE (O) 305 253 4455
 MIAMI, FLORIDA 33156
 PE #21181

A-1
 1 OF 3



EXISTING SEAWALL SECTION

1/4" = 1'-0"

RECEIVED

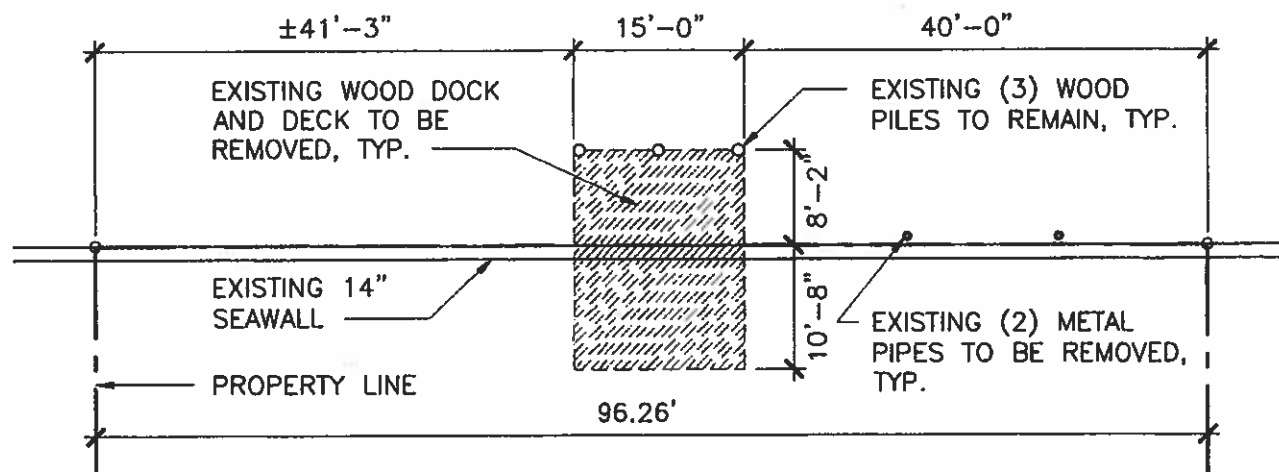
FEB 05 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
PRELIMINARY APPROVAL

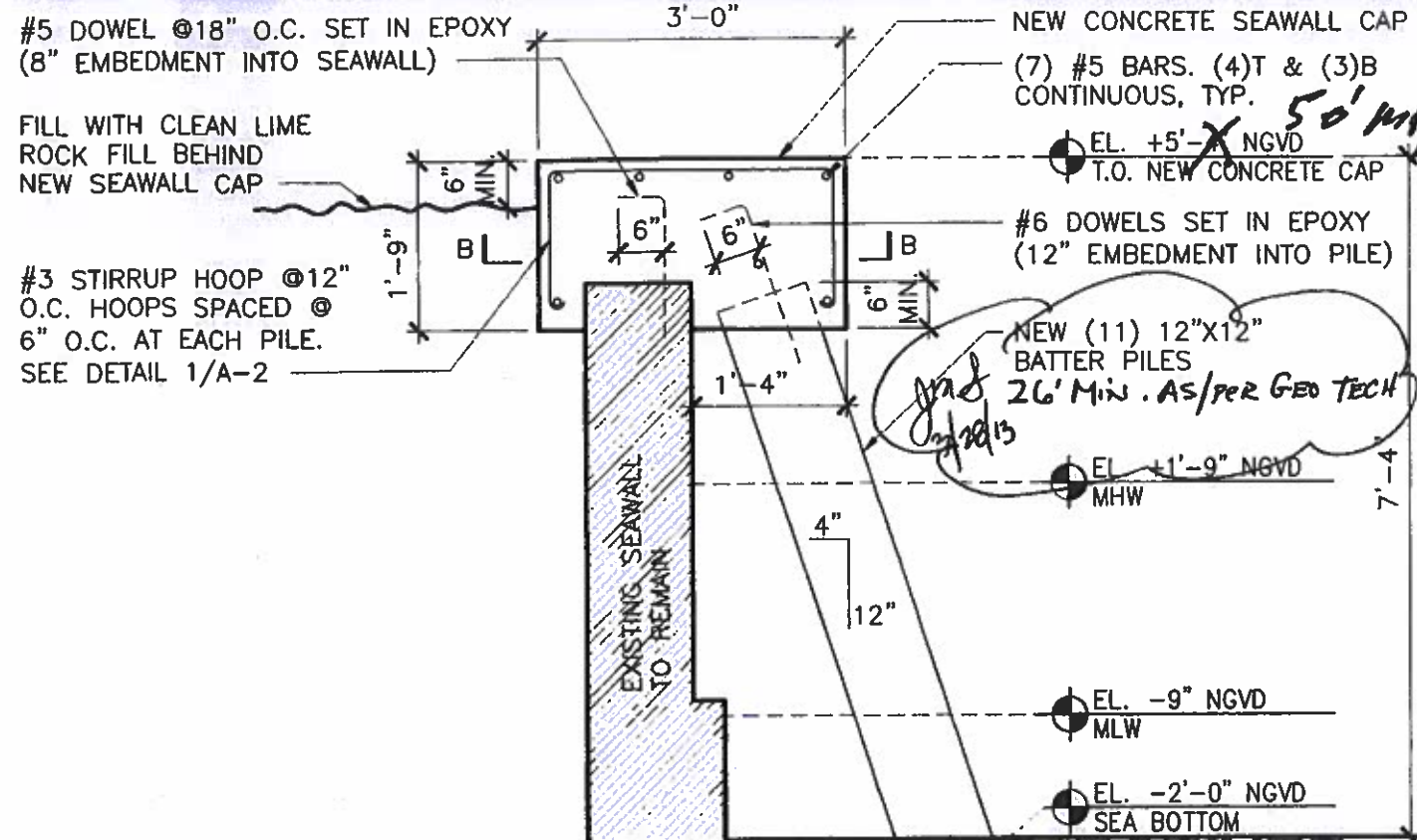
NAME *[Signature]*
DATE 2/5/13

GRAND CANAL



EXISTING CONDITIONS AND DEMOLITION PLAN

1/16" = 1'-0"



SECTION AA

1/2" = 1'-0"

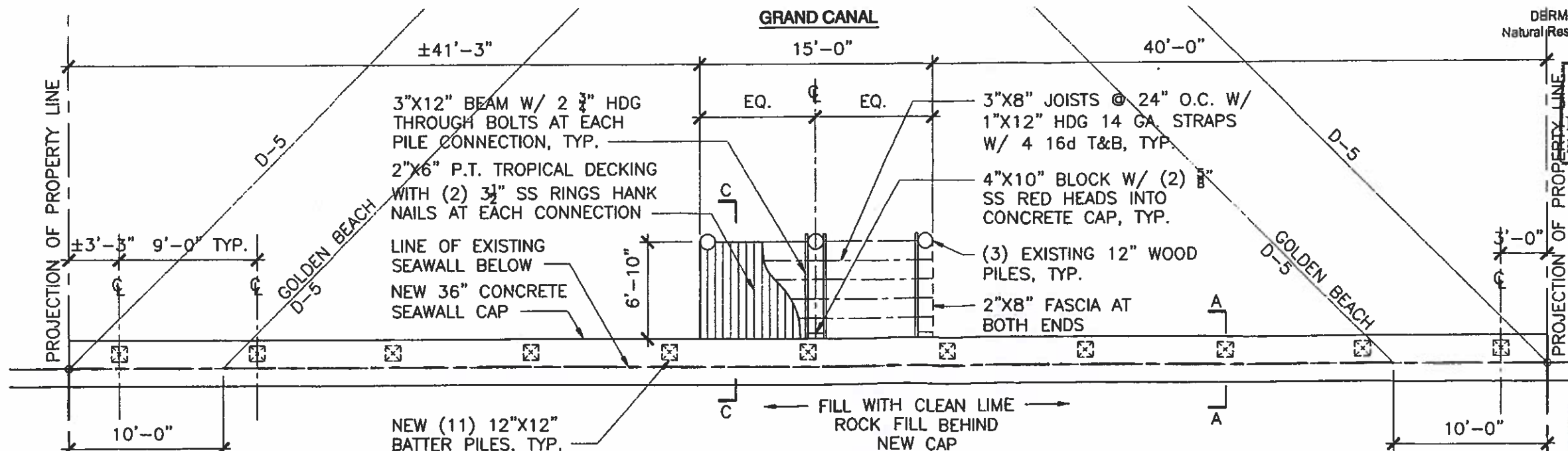
RECEIVED

AUG 27 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
FINAL APPROVAL

NAME *[Signature]*
DATE 8/27/13



PROPOSED SEAWALL AND DOCK REPAIR PLAN

1/8" = 1'-0"

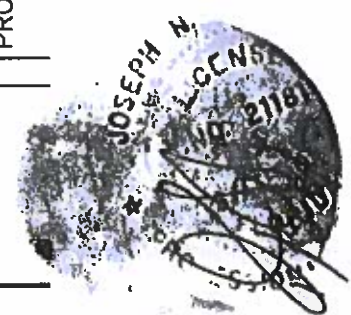
305-861-2766 (F)
305-865-4948 (C)

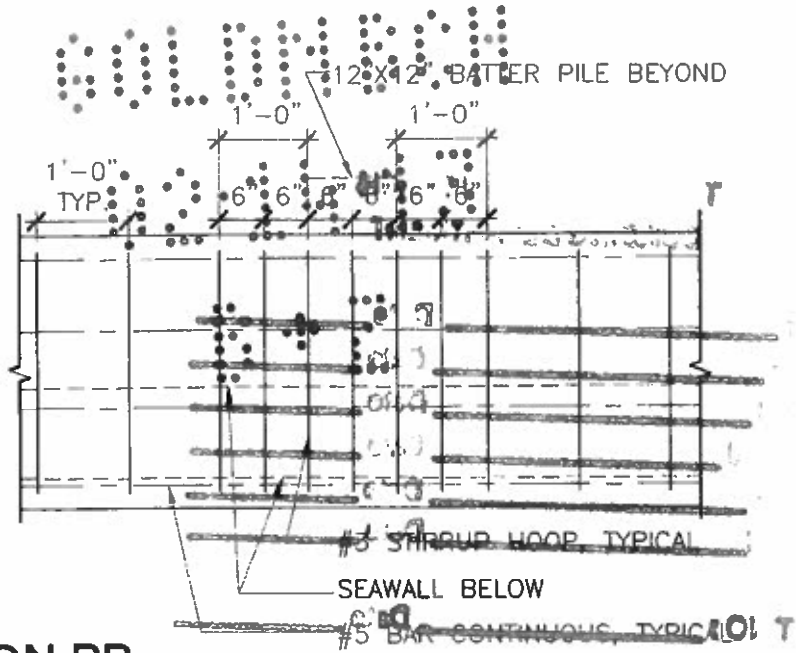
S.M.C.
SOUTHERN MARINE CONSTRUCTION, INC.
FOUNDATION SPECIALISTS
PIN PILES-WOOD PILES-ALU-GAST
PILES-PRESTRESSED PILES-SHEET PILE

PROPOSED SEAWALL AND DOCK
REPAIR
OWNER:
ALAN BEHAR
354 Golden Beach Drive
Golden Beach, Florida

CONSULTING ENGINEERS
J.N. SHEINGOLD P.E. (F) 305 378 1244
12420 SW 75 AVENUE (C) 305 253 4455
MIAMI, FLORIDA 33156
PE #21181

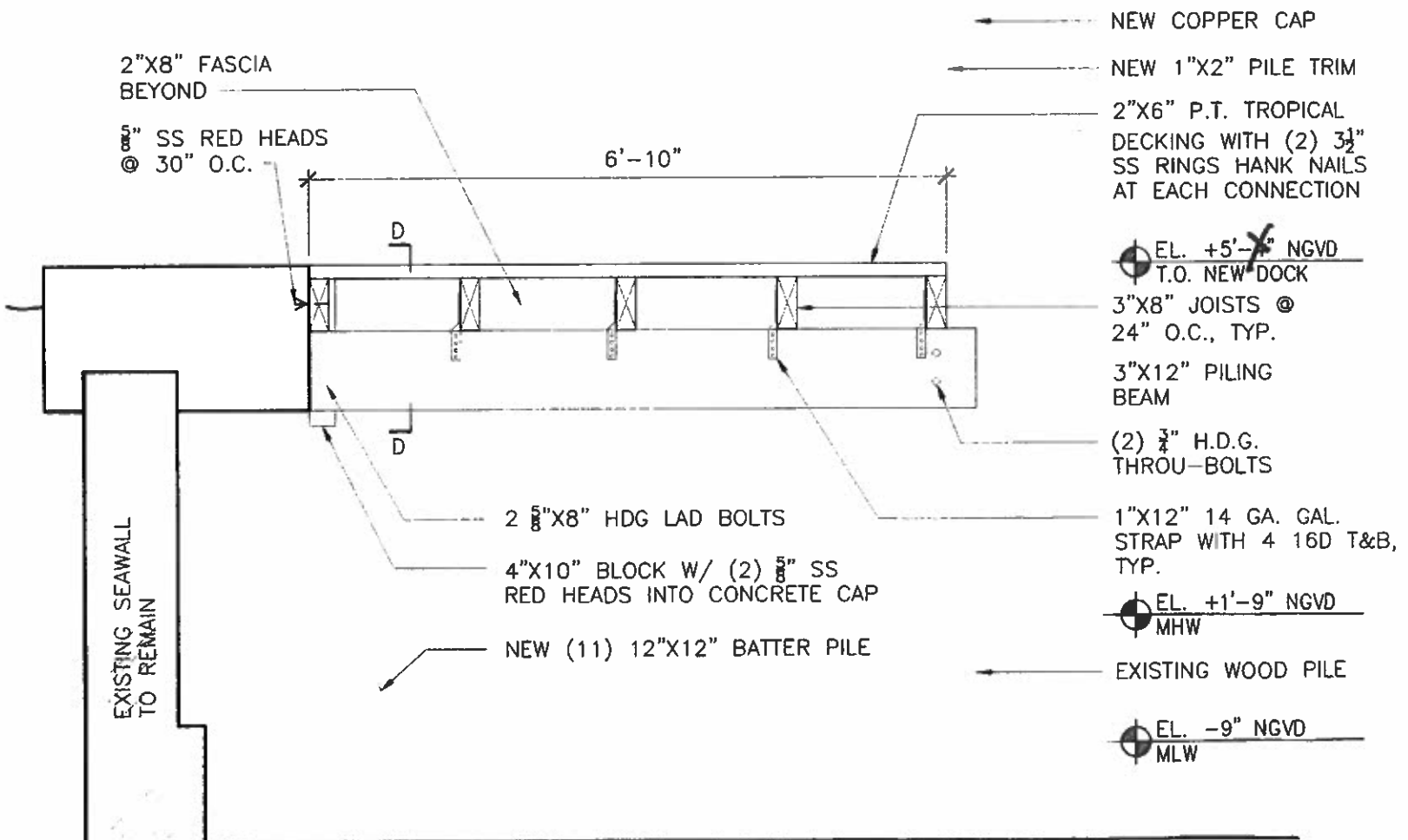
A-2
2 OF 3





SECTION BB
(TYPICAL AT BATTER PILES)

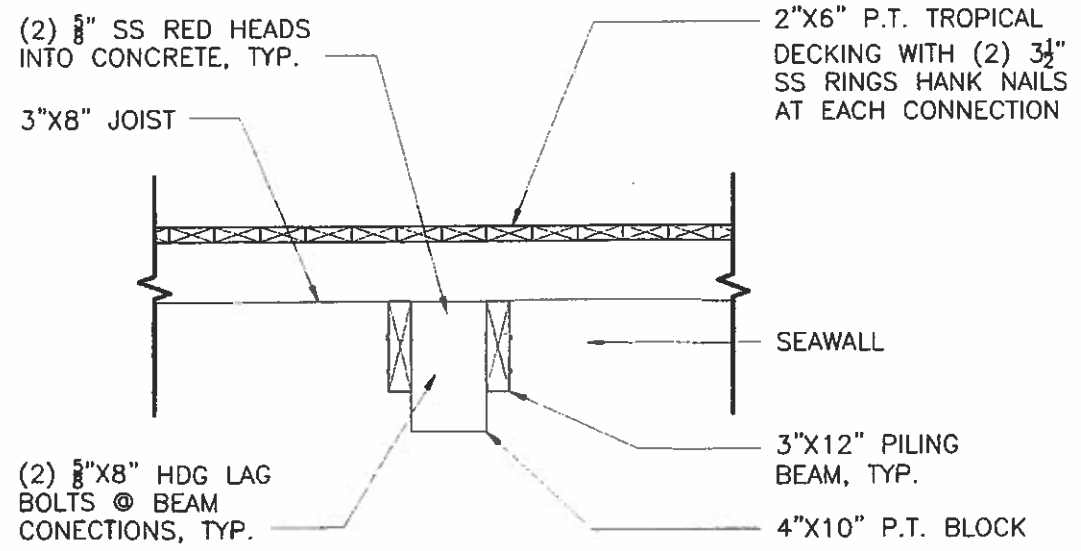
1/2" = 1'-0"



SECTION CC

1/2" = 1'-0"

5'-0" MAX.



SECTION DD

1/2" = 1'-0"

RECEIVED

FEB 05 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

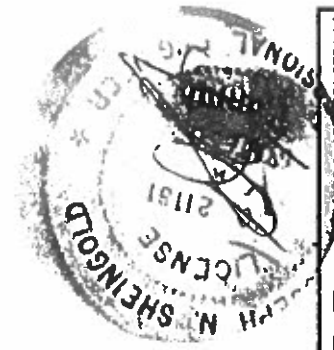
DERM COASTAL SECTION
PRELIMINARY APPROVAL
NAME *[Signature]*
DATE 2/5/13

RECEIVED

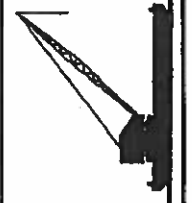
AUG 27 2013

DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

DERM COASTAL SECTION
FINAL APPROVAL
NAME *[Signature]*
DATE 8/27/13



S.M.C.
SOUTHERN MARINE CONSTRUCTION, INC.
FOUNDATION SPECIALISTS
PIN PILES-WOOD PILES-AUGER CAST
PILES- PRESTRESSED PILES-SHEET STEEL



PROPOSED SEAWALL AND DOCK
REPAIR
OWNER:
ALAN BEHAR
354 Golden Beach Drive
Golden Beach, Florida

CONSULTING ENGINEERS
J.N. SHEINGOLD P.E. (P) 305 378 1244
12420 SW 75 AVENUE (O) 305 253 4455
MIAMI, FLORIDA 33156
PE #21181

A-3
3 OF 3

**Cohen Residence
Seawall & Dock
Replacement Project**
Golden Beach, Florida

CLIENT:
Tony Cohen
364 Golden Beach Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
.950 N. Federal Highway, Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

John Omslaer
PE 52733, EE 26829

PERMIT SKETCHES

Issue #	Issue Date
②	July 22, 2013
③	November 15, 2013
④	December 11, 2013
⑤	March 24, 2014

PROJECT: 13-3520

PROPOSED SITE PLAN

SCALE: AS SHOWN
SHEET NO.

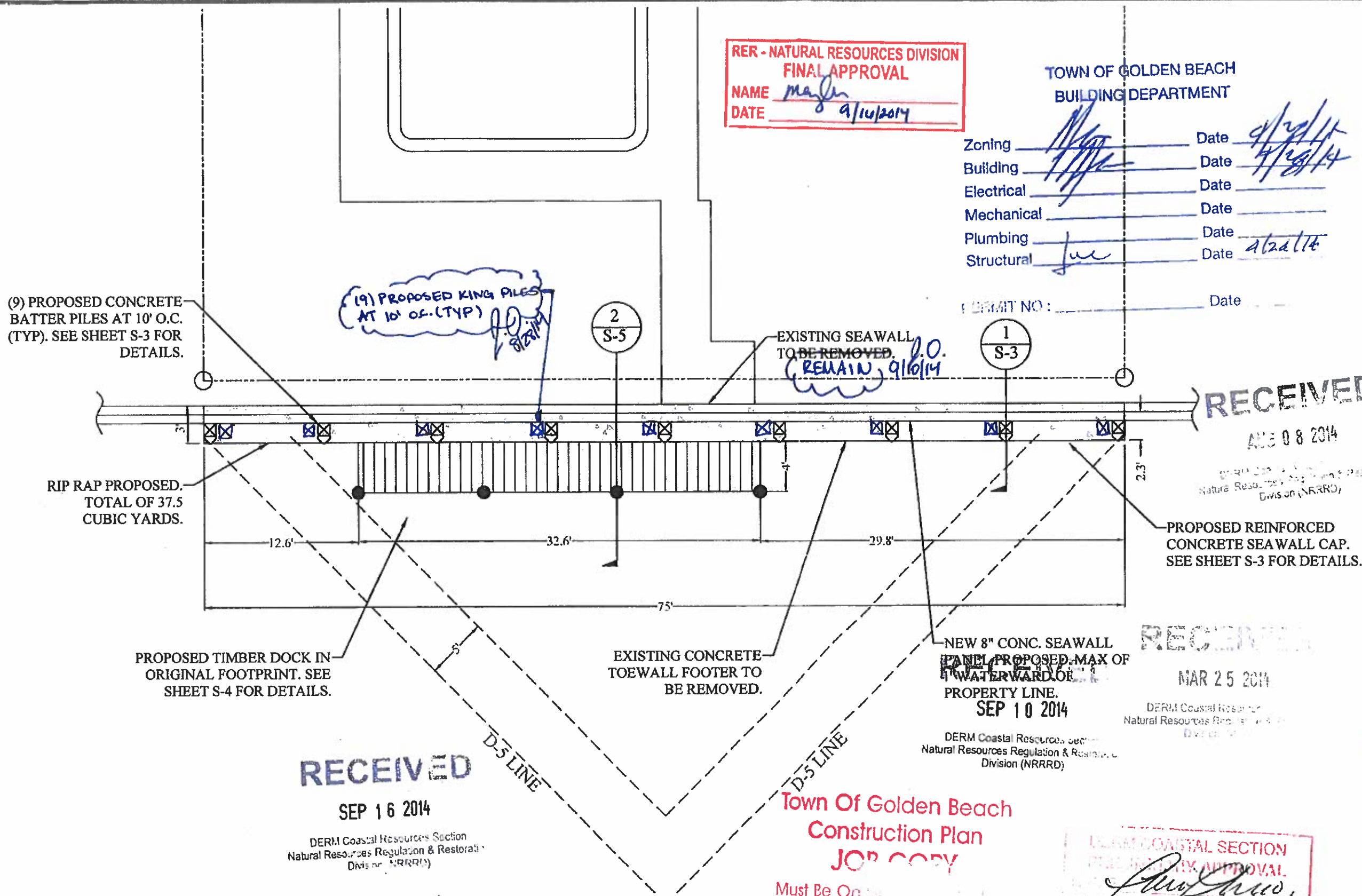
S-2

**RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
NAME ma
DATE 9/10/2014

TOWN OF GOLDEN BEACH
BUILDING DEPARTMENT

Zoning MS Date 4/24/14
Building MS Date 4/24/14
Electrical _____ Date _____
Mechanical _____ Date _____
Plumbing Joe Date 4/24/14
Structural _____ Date _____

PERMIT NO: _____ Date _____

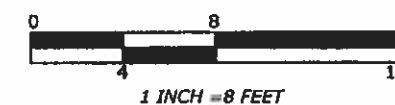


APPROXIMATE QUANTITIES

PROPOSED SEAWALL CAP LENGTH	75 LF
PROPOSED CONCRETE BATTER PILES	9 EA
PROPOSED DOCK AREA	130 SF
PROPOSED 12"Ø TIMBER DOCK SUPPORT PILES	4 EA
PROPOSED RIP RAP	37.5 CY

NOTES:

1. TURBIDITY CURTAIN SHALL BE PROPERLY INSTALLED AND IN PLACE DURING ALL CONSTRUCTION.



**Cohen Residence
Seawall & Dock
Replacement Project**

Golden Beach, Florida

CLIENT:
Tony Cohen
364 Golden Beach Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
950 N. Federal Highway, Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

John Omslaer
PE 52733, EB 26829

PERMIT SKETCHES

Issue #	Issue Date
③	November 15, 2013
④	December 11, 2013
⑤	March 24, 2014
⑥	April 21, 2014

PROJECT: 13-3520

**PROPOSED SEAWALL
IMPROVEMENT
DETAIL & SECTION**
SCALE: AS SHOWN
SHEET NO.

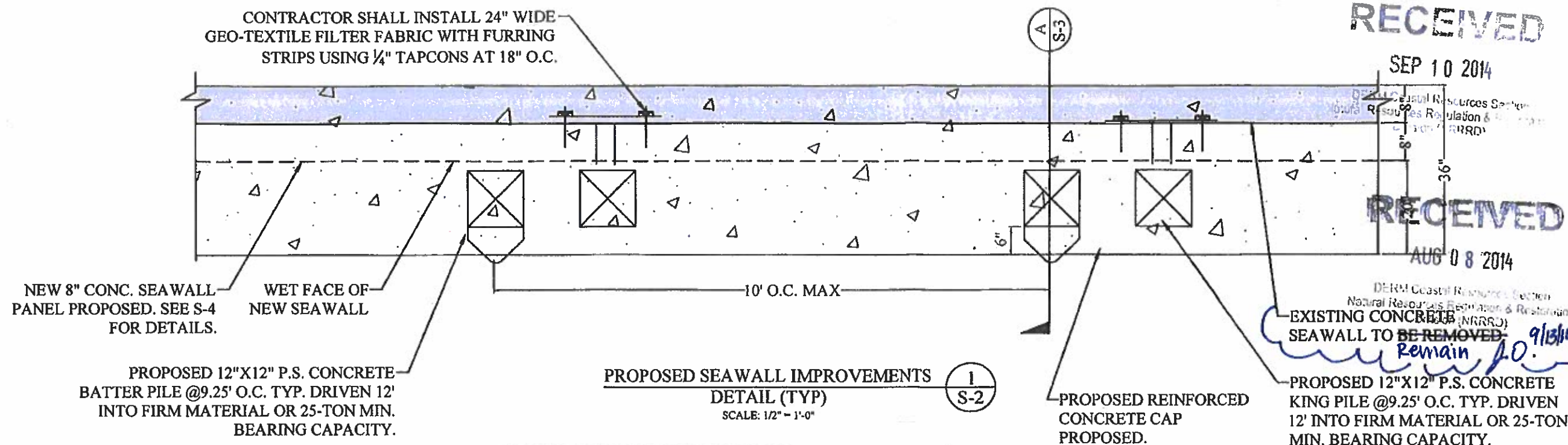
S-3

RECEIVED

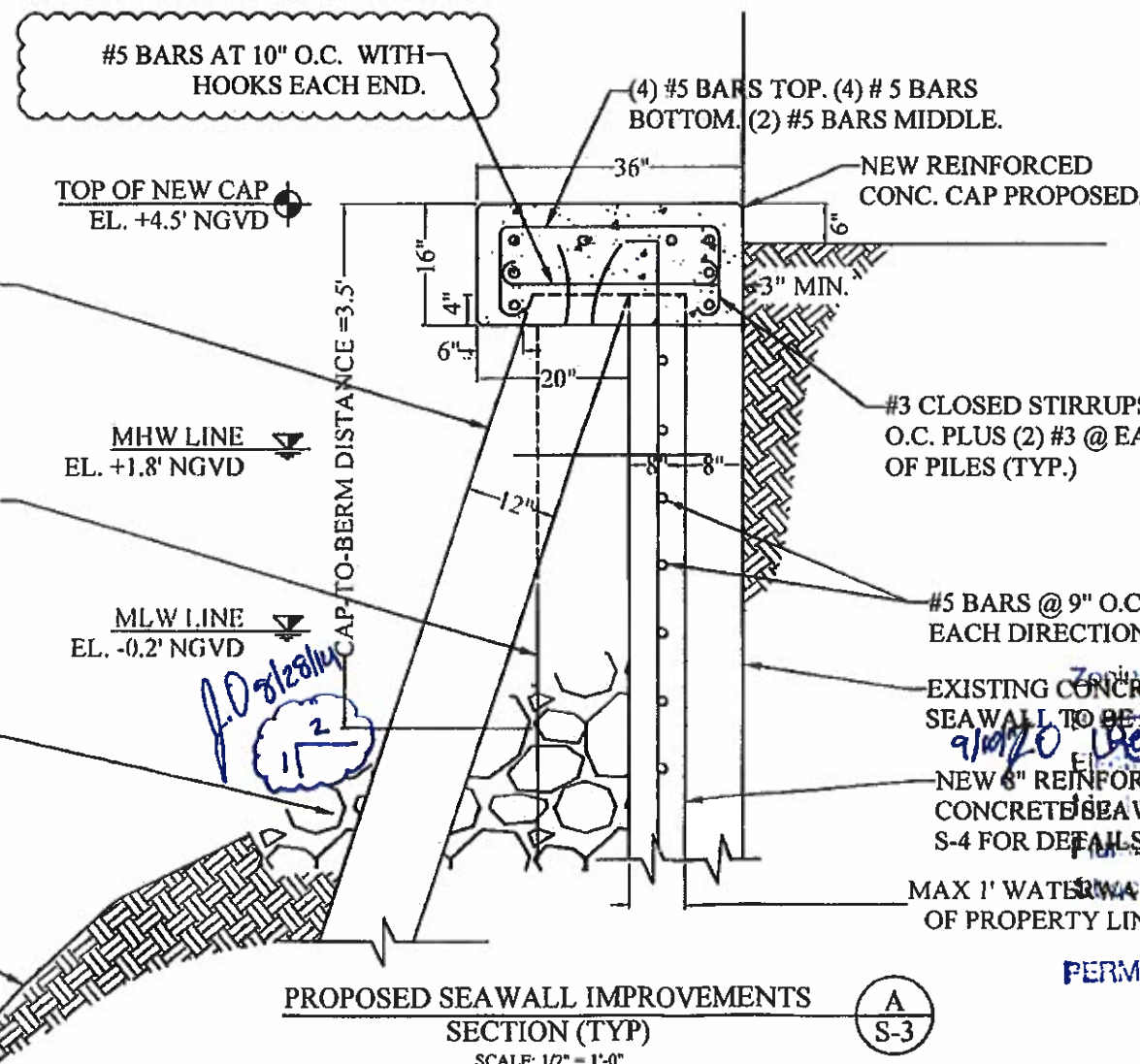
SEP 10 2014

RECEIVED

AUG 08 2014



**REC - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
NAME *me*
DATE *9/10/2014*



**Town Of Golden Beach
Construction Permit
JOB COPY**
Must Be On Site During Working Hours & For Any Inspection

TOWN OF GOLDEN BEACH
BUILDING DEPARTMENT

PERMIT NO: _____ Date _____

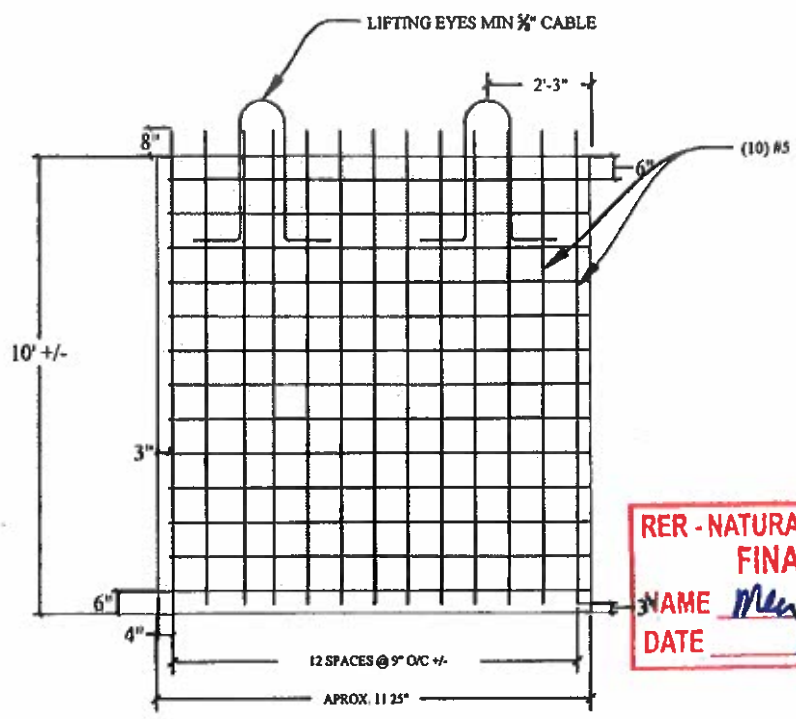
RECEIVED

SEP 10 2014

DERM Coastal Resources Section
Natural Resources Regulation & Restoration Division

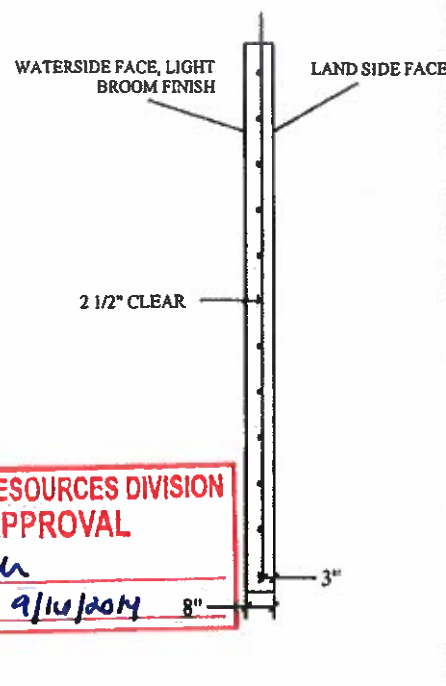
[Handwritten Signature]
Date *9/25/14*

Date *9/25/14*
Date *9/25/14*
Date _____
Date _____
Date *4/22/14*



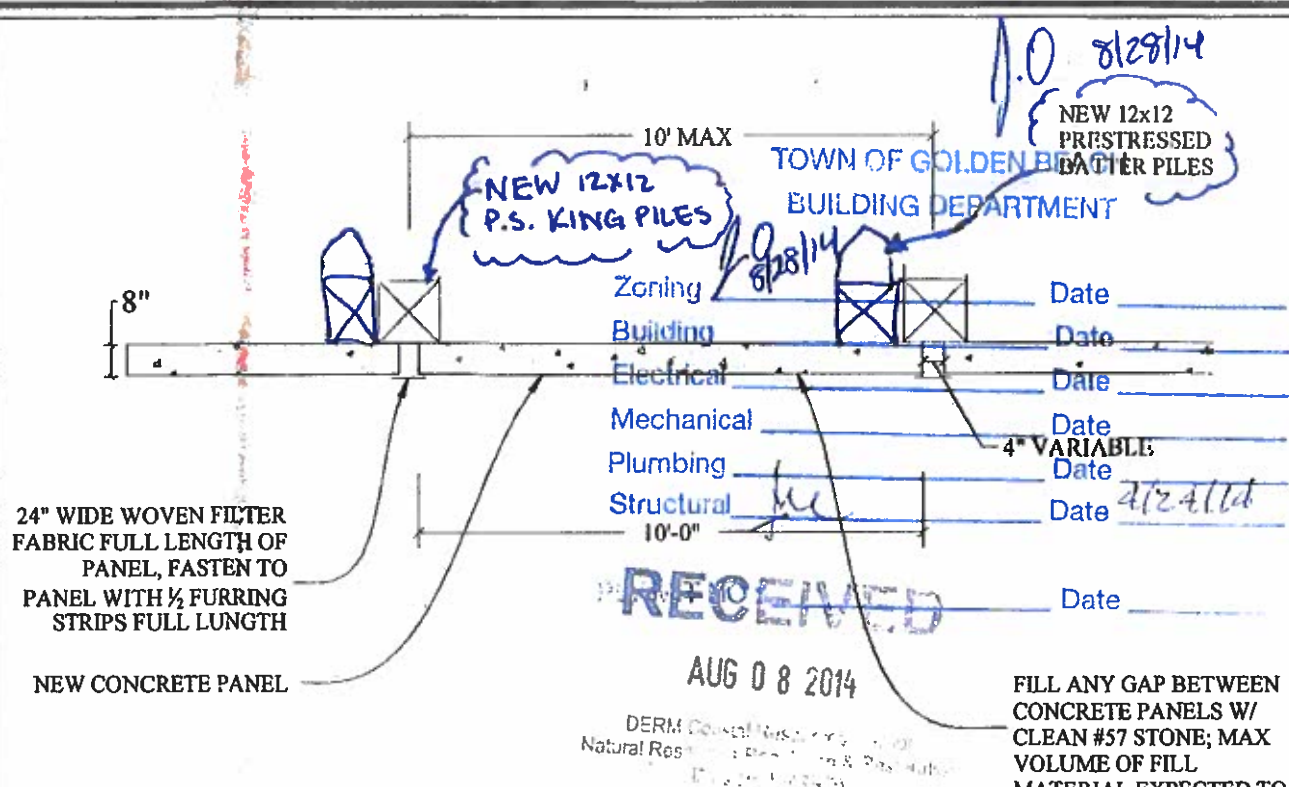
PANEL DETAIL
SCALE: AS SHOWN

STEEL DETAIL



TYP. SECTION OF
CONCRETE PANEL
SCALE: AS SHOWN

**RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
NAME *Meyler*
DATE *9/10/2014*



CONCRETE PANEL LAYOUT
Town of Golden Beach
Construction Plan
JOB COPY

PILE DRIVING NOTES

1. Pile driving operations shall be observed by a special inspector, including test piles sufficient to determine the approximate length required to meet design capacity.
2. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of the hammer energy.
3. Piles shall be driven to required capacity a minimum of 6 feet into rock or a minimum of 10 feet into yielding material.
4. Piles shall be driven with a drop hammer or gravity hammer provided the weight of the hammer is no less than 3000 pounds, and the fall of the hammer shall not exceed 6 feet.
5. Piles shall be driven with a variation of not more than 1/4" per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than 3 inches.
6. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

CONCRETE PILE NOTES

1. Concrete pile concrete shall attain 6000 psi compressive strength in 28 days.
2. Concrete piles shall be reinforced with (4) 7/16" lo-lax strands, 270 kips, and #5 spiral ties.
3. Concrete piles shall be 12"x12" square, 20 feet minimum length.
4. Concrete piles shall be driven to a minimum bearing capacity of 25 tons.

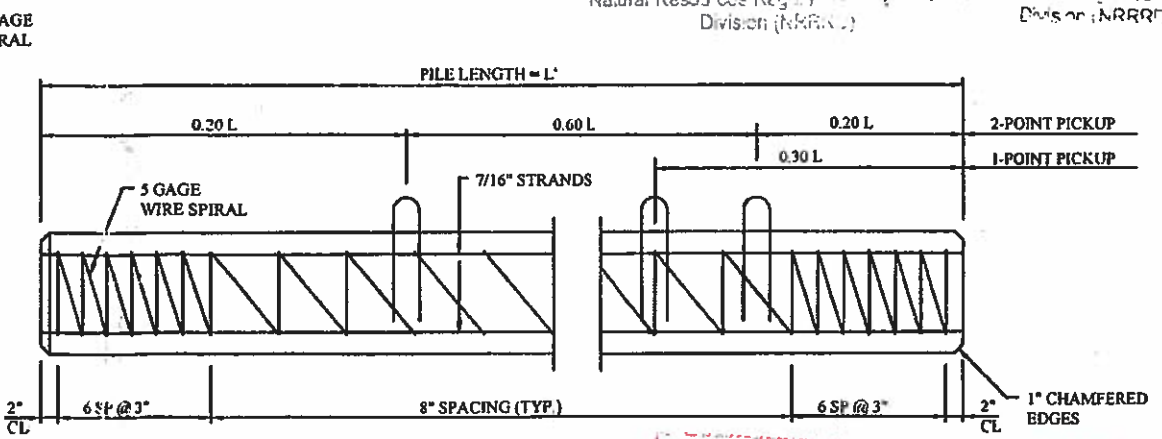
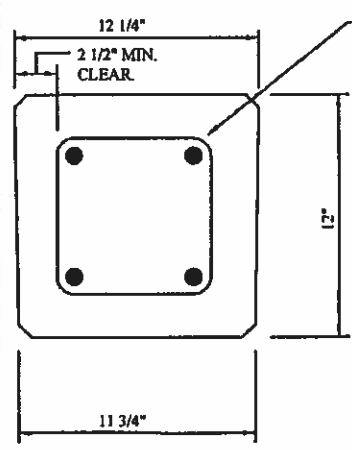
PILE NOTE:

CONCRETE COMPRESSIVE STRENGTH:
3000 PSI @ RELEASE
5000 PSI @ DRIVING

STRANDS - USE FOUR 7/16" (270K)
LOW RELAXATION ASTM 416-87 UNCOATED
7-WIRE STRANDS (TENSIONED TO 233 KIPS EACH)

SPIRAL TO BE ASTM A-82 TIGHT
HARD-DRAWN WIRE

1-POINT PICKUP-MAXIMUM L = 50'
2-POINT PICKUP-MAXIMUM L = 62'



CONCRETE PILE DETAIL
N.T.S

RECEIVED
SEP 10 2014
DERM Coastal Resources
Natural Resources Regulation & Enforcement (NRRRE)

RECEIVED
MAR 25 2014
DERM Coastal Resources
Natural Resources Regulation & Enforcement (NRRRE)

RECEIVED
SEP 16 2014
DERM Coastal Resources
Natural Resources Regulation & Enforcement (NRRRE)

Must Be On Site During Working Hours & For Any Inspections

DERM COASTAL SECTION
(THIS SECTION BY APPROVAL)
DATE *03/25/2014*

**Cohen Residence
Seawall & Dock
Replacement Project**
Golden Beach, Florida

CLIENT:
Tony Cohen
364 Golden Beach Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
950 N. Federal Highway, Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
John Ormslaer
PE 52733, EB 26829

PERMIT SKETCHES

Issue #	Issue Date
②	July 22, 2013
③	November 15, 2013
④	December 11, 2013
⑤	March 24, 2014

PROJECT: 13-3520

SEAWALL SECTIONS & DETAILS

SCALE: AS SHOWN
SHEET NO.

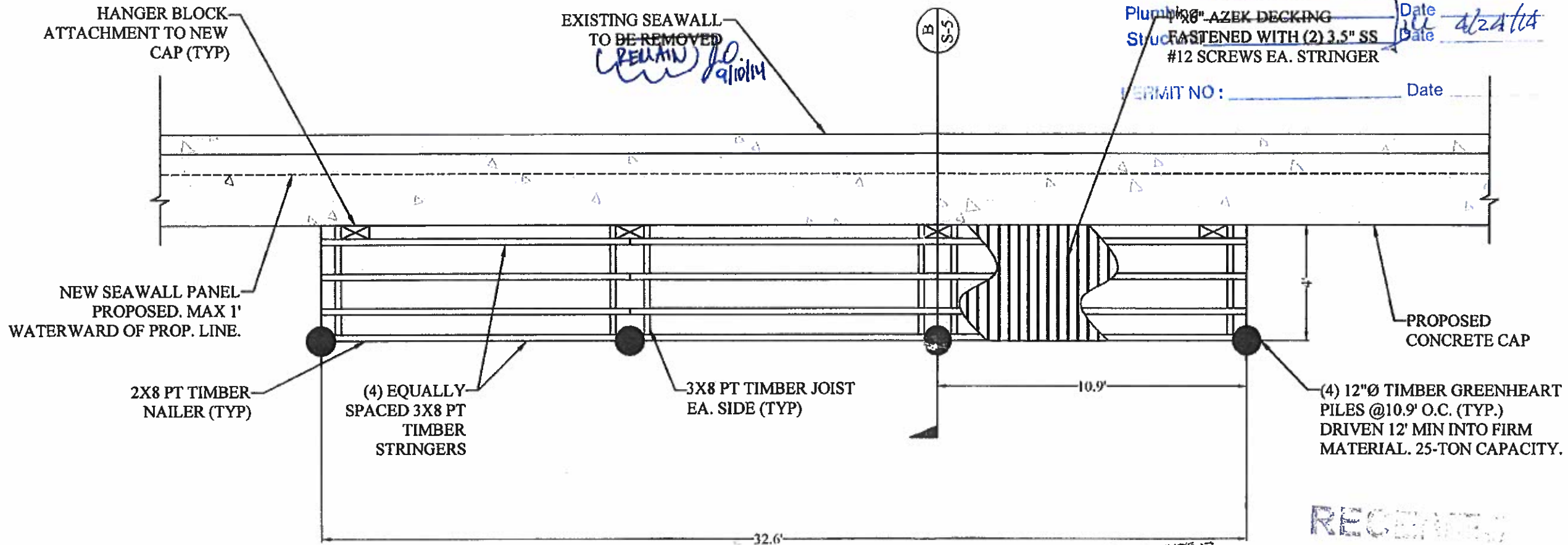
S-4

**RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL**
NAME Meyls
DATE 9/14/2014

RECEIVED

**TOWN OF GOLDEN BEACH
BUILDING DEPARTMENT**

Zoning _____ Date _____
Building _____ Date _____
Electrical _____ Date _____
Mechanical _____ Date _____
Plumbing _____ Date _____
Structural _____ Date 4/24/14
#12 SCREWS EA. STRINGER



PERMIT NO: _____ Date _____

RECEIVED
SEP 16 2014
DERM Coastal Resources Section
Natural Resources Regulation & Administration
Department of Planning

RECEIVED
MAR 25 2014
DERM Coastal Resources Section
Natural Resources Regulation & Administration
Department of Planning

PROPOSED TIMBER DOCK DETAIL (TYP)
SCALE: 1/4" = 1'-0"

2
S-2

**Town Of Golden Beach
Construction Plan
JOB COPY**
Must Be On Site During Working
Hours & For Any Inspections

RECEIVED
SEP 10 2014
DERM Coastal Resources Section
Natural Resources Regulation & Administration
Division of Planning

**DERM COASTAL SECTION
PRELIMINARY APPROVAL**
NAME [Signature]
DATE 03/25/2014

**Cohen Residence
Seawall & Dock
Replacement Project**
Golden Beach, Florida

CLIENT:
Tony Cohen
364 Golden Beach Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
**DYNAMIC ENGINEERING
SOLUTIONS, INC.**
950 N. Federal Highway, Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaet
PE 52733, EB 26829

PERMIT SKETCHES

Issue #	Issue Date
②	July 22, 2013
③	November 15, 2013
④	December 11, 2013
⑤	March 24, 2014

PROJECT: 13-3520

**PROPOSED TIMBER
DOCK DETAIL**

SCALE: AS SHOWN
SHEET NO.

S-5

RECEIVED
SEP 16 2014

RER - NATURAL RESOURCES DIVISION
FINAL APPROVAL
NAME *M. J. [Signature]*
DATE *9/16/2014*

RECEIVED
AUG 08 2014
DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

TOWN OF GOLDEN BEACH
BUILDING DEPARTMENT

Zoning _____ Date _____
Building _____ Date _____
Electrical _____ Date _____
Mechanical _____ Date _____
Plumbing *free* Date _____
Structural *free* Date *2/24/14*

PERMIT NO: _____ Date _____

Cohen Residence
Seawall & Dock
Replacement Project
Golden Beach, Florida

CLIENT:
Tony Cohen
364 Golden Beach Drive
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:
OCEAN CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
DYNAMIC ENGINEERING SOLUTIONS, INC.
950 N. Federal Highway, Suite 212
Pompano Beach, FL 33062
Tel: (954) 545-1740
Fax: (954) 545-1721

SEAL / SIGNATURE / DATE

[Signature]
John Omslaer
PE 52733, EB 76829

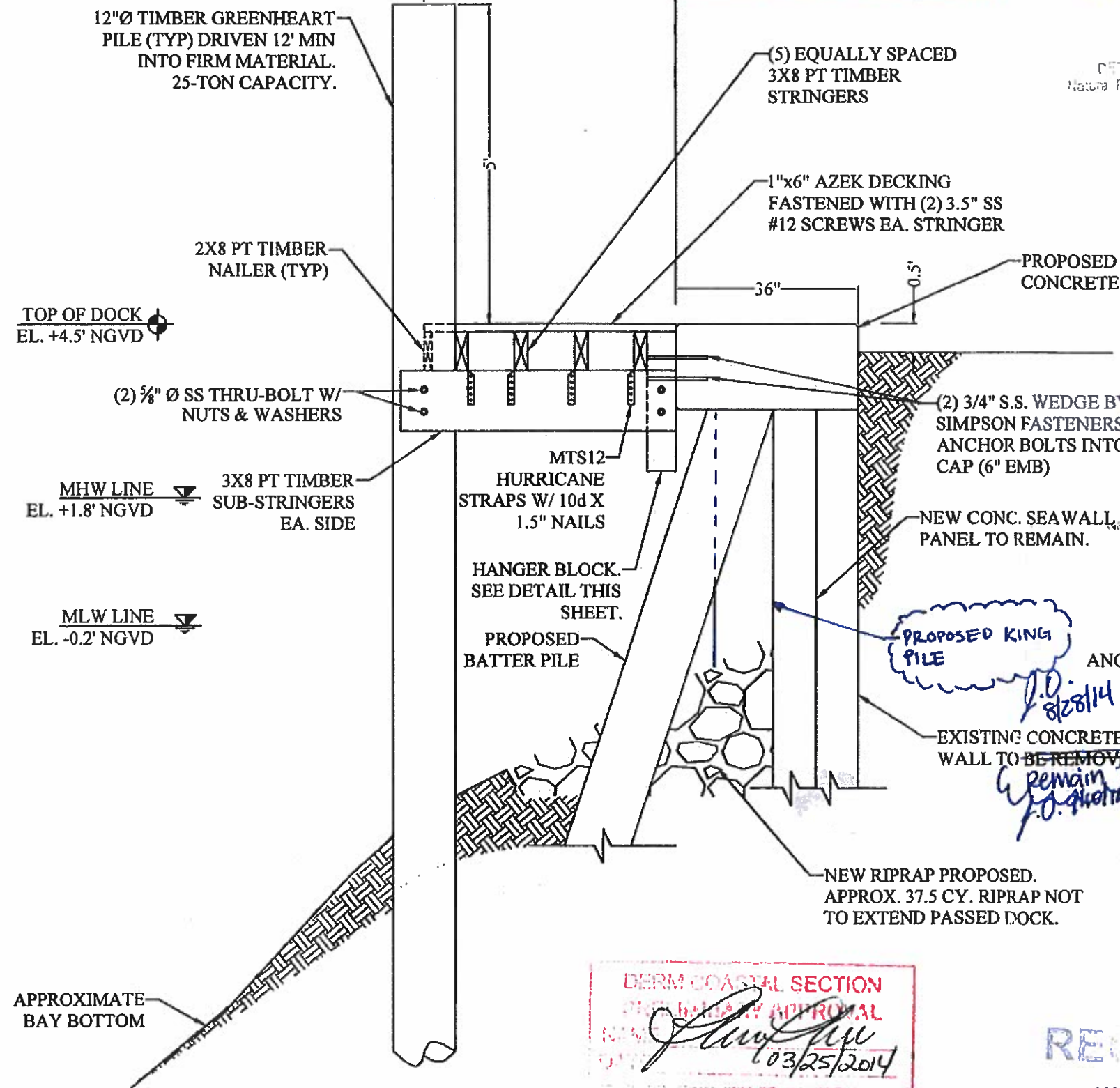
PERMIT SKETCHES

Issue #	Issue Date
②	July 22, 2013
③	November 15, 2013
④	December 11, 2013
⑤	March 24, 2014

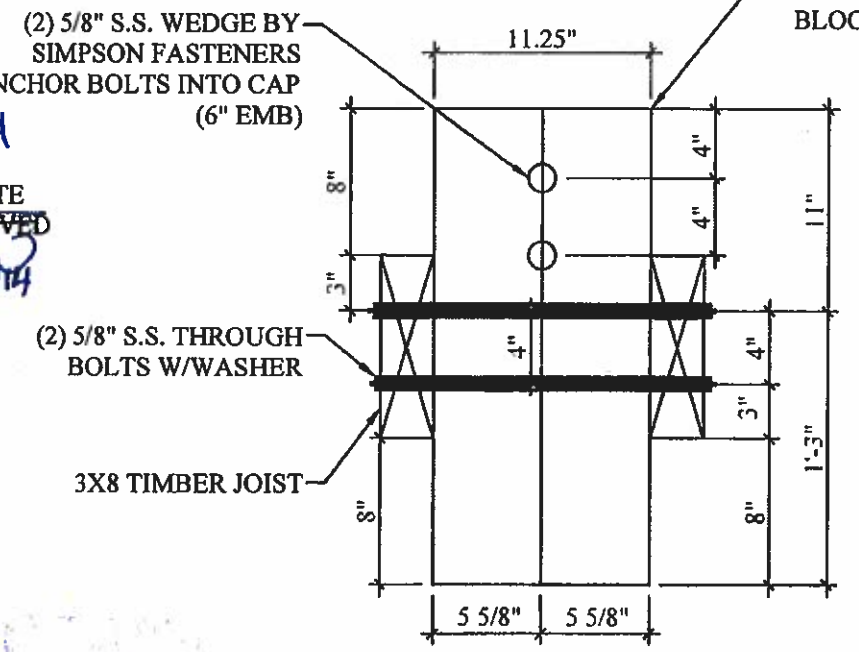
PROJECT: 13-3520

PROPOSED TIMBER DOCK SECTION & DETAIL
SCALE: AS SHOWN
SHEET NO.

S-6



RECEIVED
SEP 10 2014
Town Of Golden Beach
Construction Plan
JOB COPY
Must Be On Site During Working Hours & For Any Inspections



HANGER BLOCK DETAIL (TYP) 2
N.T.S. S-6

DERM COASTAL SECTION
PRELIMINARY APPROVAL
[Signature]
03/25/2014

RECEIVED
MAR 25 2014
DERM Coastal Resources Section
Natural Resources Regulation & Restoration
Division (NRRRD)

PROPOSED TIMBER DOCK & DECKING SECTION (TYP) B
SCALE: 1/2\"/>